

PRELIMINARY/FINAL SITE PLAN OF BUILDING PAD-CHASE BANK AT PLAINSBORO PLAZA CENTER FOR PLAINSBORO PLAZA, OWNER, LLC BLOCK 1602, LOT 5 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

OWNER/Applicant:

PLAINSBORO PLAZA OWNER, LLC
1 GATEWAY CENTER, SUITE 2400
NEWARK, NJ 07102

ATTORNEY:

PRIME & TUVEL ATTORNEYS AT LAW
1 UNIVERSITY PLAZA DRIVE, SUITE 500
HACKENSACK, NJ 07054

ARCHITECT:

CORE STATES GROUP
110 N. 11TH STREET, SUITE 101,
TAMPA, FL. 33602

CIVIL ENGINEER:

VAN NOTE-HARVEY ASSOCIATES, INC.
103 COLLEGE ROAD EAST
PRINCETON, NJ 08540

LANDSCAPE ARCHITECT/PLANNER:

STEARNS ASSOCIATES, LLC
15 WILLIAMSON LANE
LAMBERTVILLE, NJ 08530-3528

TRAFFIC ENGINEER:

BOWMAN
6 CAMPUS DR, 3RD FLOOR
PARSIPPANY, NJ 07054

SHEET INDEX
CIVIL ENGINEERING PLANS
VAN NOTE-HARVEY ASSOCIATES, INC.:

SHT.#	TITLE
CVR	COVER SHEET
VIC	VICINITY PLAN AND KEY MAP
OVL	OVERALL SITE PLAN
CE-1	SITE DEMOLITION PLAN
CE-2	SITE LAYOUT PLAN
CE-3	SITE GRADING PLAN
CE-4	SITE DRAINAGE AND UTILITY PLAN
CE-5	SOIL EROSION & SEDIMENT CONTROL PLAN
CE-6	SOIL EROSION & SEDIMENT CONTROL NOTES
CE-7	SOIL EROSION & SEDIMENT CONTROL DETAILS
CE-8	CONSTRUCTION DETAILS 1
CE-9	CONSTRUCTION DETAILS 2
TURN-1	TURNING MOVEMENT PLAN
1	EXISTING CONDITIONS SURVEY

<u>LANDSCAPE/LIGHTING PLANS</u>	
<u>STEARNS ASSOCIATES:</u>	
SHT.#	TITLE
L1.0	TREE REPLACEMENTS, 20 SCALE
L1.1	PLANTING PLAN, 50 SCALE
L1.2	PLANTING PLAN, 10 SCALE
L2.0	PLANTING DETAILS
L3.0	Hardscape Details
L4.0	LIGHTING PLAN, PREVIOUS APPROVED FOR REFERENCE 50 SCALE
L4.1	LIGHTING PLAN 20 SCALE
L4.2	LIGHTING DETAILS

APPROVED BY THE PLAINSBORO TOWNSHIP PLANNING PT#
BOARD.

CHAIRMAN DATE

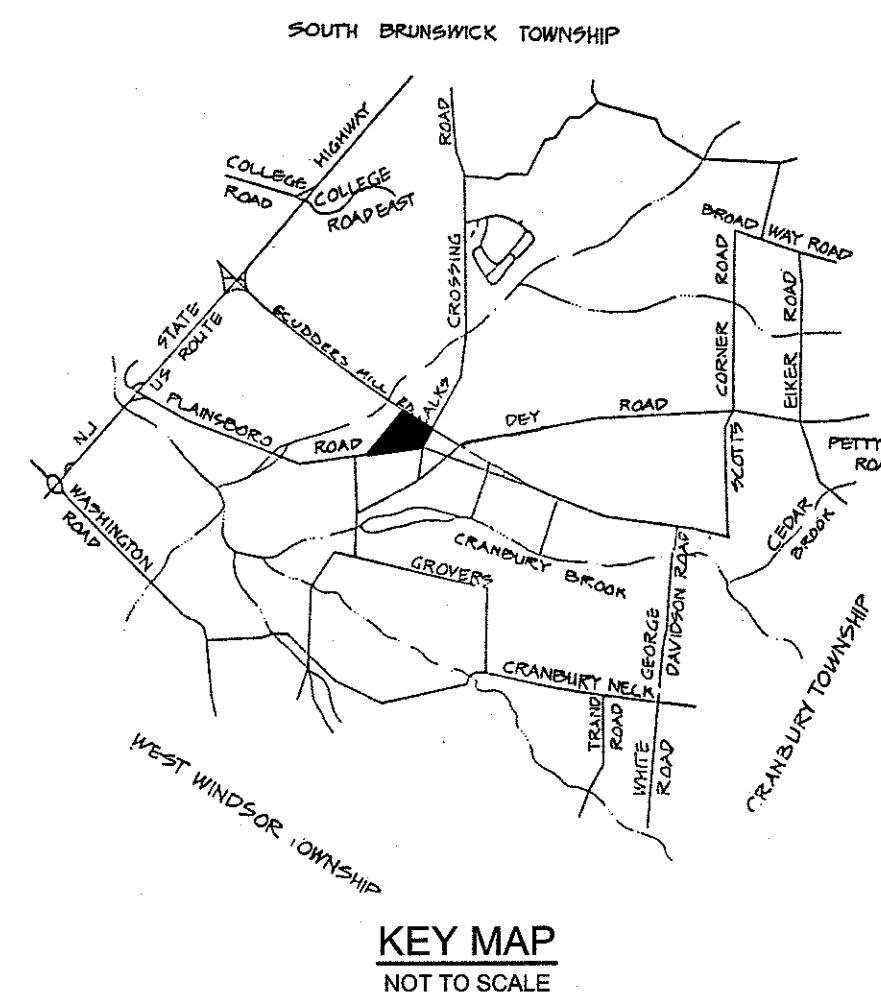
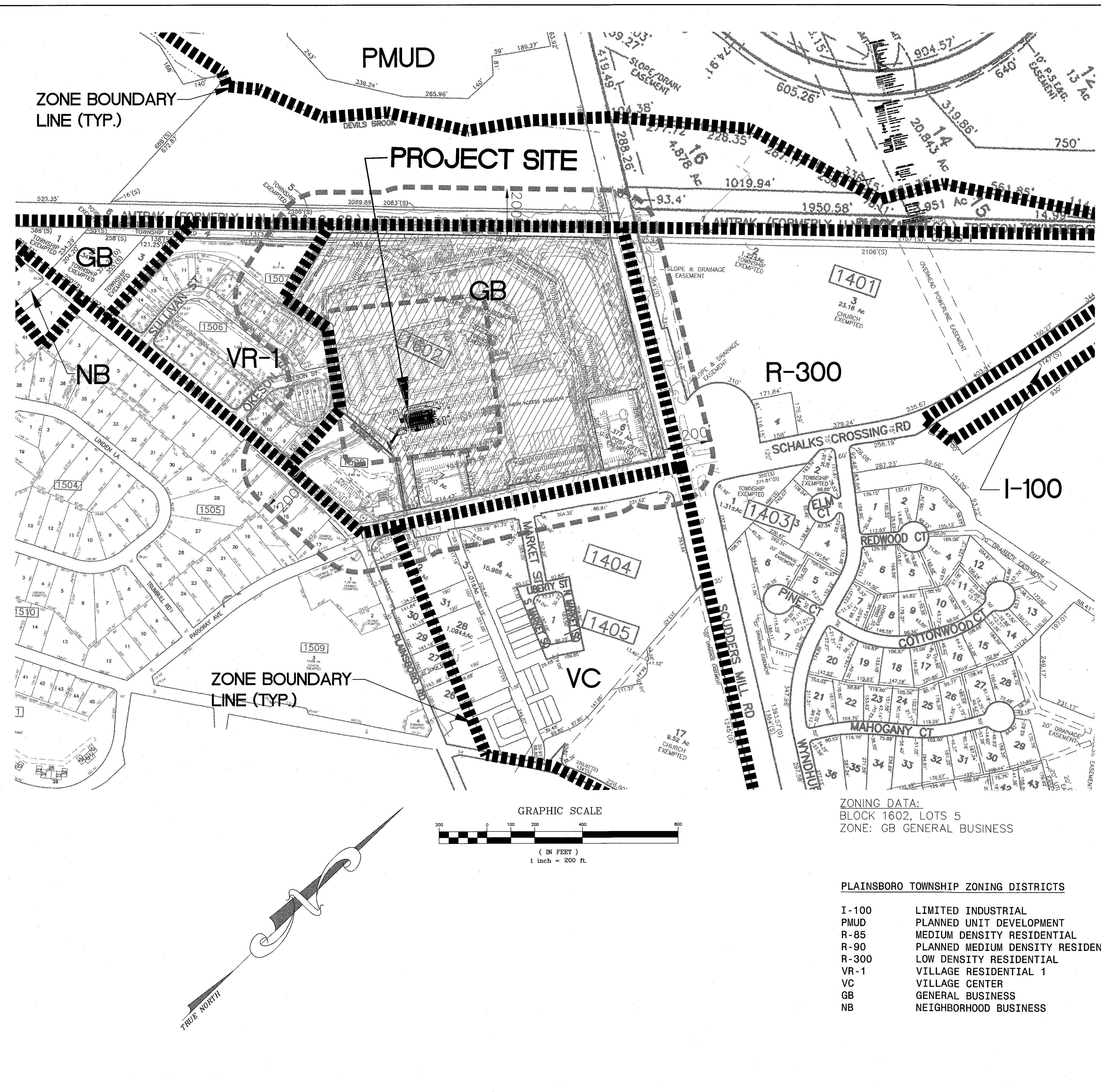
SECRETARY DATE

ENGINEER DATE

VNHA Project No.
PLPOL23001

CVR

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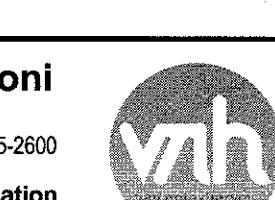


PROPERTY OWNERS LIST WITHIN 200 FT. OF SUBJECT SITE: (NOW OR FORMERLY)

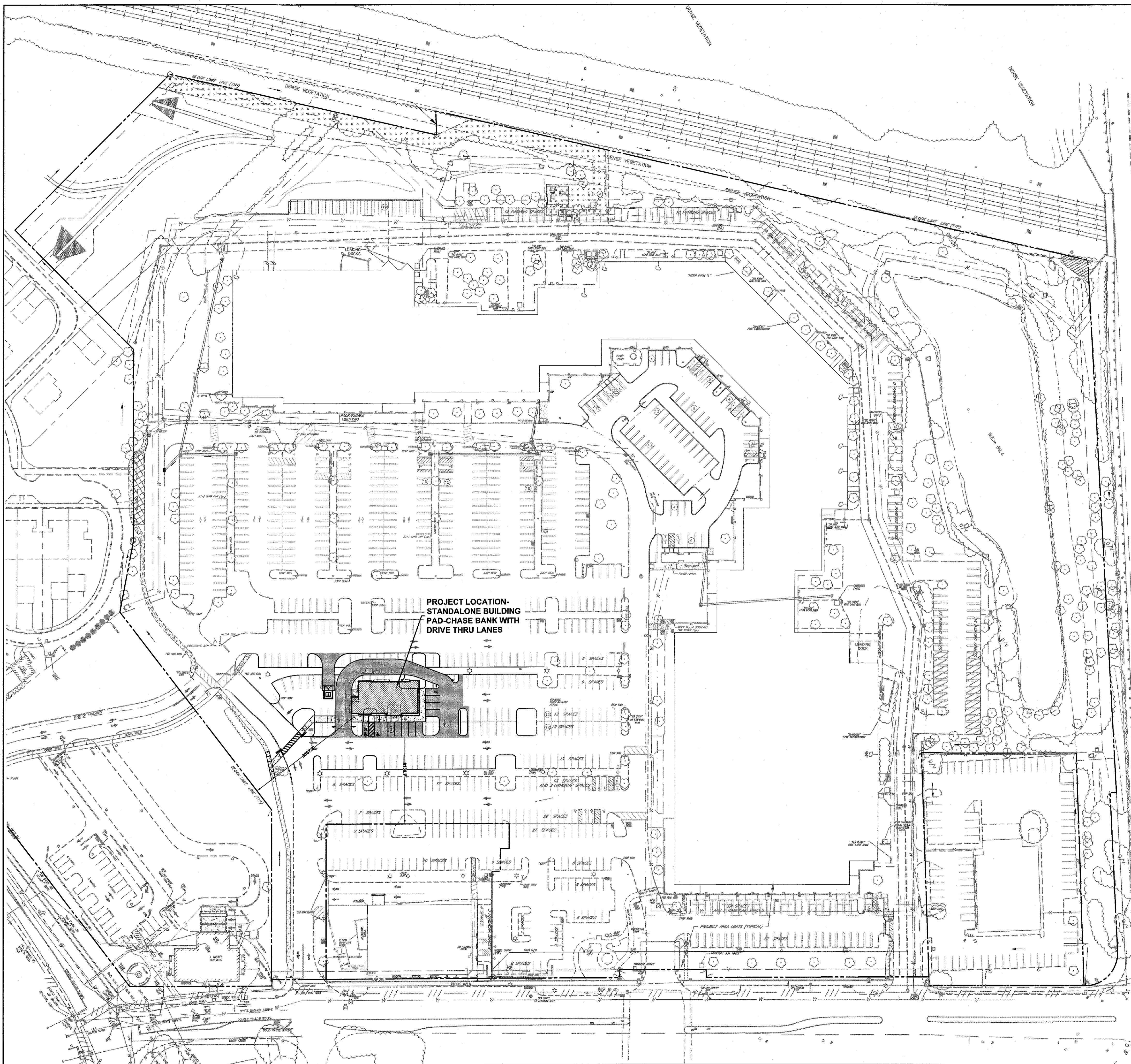
CERTIFIED LIST PROVIDED BY PLAINSBORO TOWNSHIP OCTOBER 14, 2013

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
1401	3	The Princeton Alliance Church PO Box 9000 Plainsboro, NJ 08536	1508	7	PNC Bank/Tax Administration 620 Liberty Ave 19th Fl Pittsburgh, PA 15222
1404	2	Habibian, Moran 12 Petty Road Cranbury, NJ 08512	1508	8	Woford, Warren & Cynthia 441 Plainsboro Road Plainsboro, NJ 08536
1403	3	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1508	9	Arora, Anil & Reena 439 Plainsboro Road Plainsboro, NJ 08536
1404	401	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	3	Princeton Three Hospitality Group 1950 Street Road, Ste 204 Bensalem, PA 19020
1404	43	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	5	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536
1506	1	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536	1601	6	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	1	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1602	4	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	2	Shroff, A. & Mazagonwalla, R. 25 Sullivan Street Plainsboro, NJ 08536	1602	6	United States Post Office 12 Schalks Crossing Road Plainsboro, NJ 08536
1507	3	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691			Director of Planning for Middlesex County 40 Livingston Avenue New Brunswick, NJ 08901
1507	4	Rupani, Zahid & Shehla 23 Sullivan Street Plainsboro, NJ 08536			NJ American Water 1341 North Avenue Plainfield, NJ 07061-0001
1507	5	Jiang, Jincai & Liu, Zengying 21 Sullivan Street Plainsboro, NJ 08536			NJ Dept. of Transportation 1035 Parkway Ave, CN 600 Trenton, NJ 08625
1507	6	Yoon, Brian & Young 19 Sullivan Street Plainsboro, NJ 08536			PSE&G Manager - Corporate Properties 80 Park Plaza, T6B Newark, NJ 07102
1507	7	Suri, Naveen & Nirmala 17 Sullivan Street Plainsboro, NJ 08536			Comcast Cable Vision 90 Lake Avenue East Windsor, NJ 08520
1507	8	Gamperer, Brett & Jamie 15 Sullivan Street Plainsboro, NJ 08536			Verizon 1490 Prospect Street Trenton, NJ 08638
1507	9	Chen-Hayes, L. S & Hayes, LF 13 Sullivan Street Plainsboro, NJ 08536			United Water Princeton Meadows & a subsidiary of United Water Mid-Atlantic 111 Howard Boulevard, Suite 203 Mount Arlington, NJ 07856-1315
1508	1	Ananthakrishnan, V. & Venkatesan, U 4 Okeson Street Plainsboro, NJ 08536			Stony Brook Regional Sewerage Authority 290 River Road Princeton, NJ 08540
1508	2	Singh, Gurpreet & Jeevanjot 6 Okeson Street Plainsboro, NJ 08536			Right-of-Way Dept. Sun Pipe Line Co. Ten Penn Center 26th Floor 1801 Market Street Philadelphia, PA 19103-1699
1508	3	Chandrika, Pillutla & Gopal, Maddipati 8 Okeson Street Plainsboro, NJ 08536			Director of Planning for Mercer County PO Box 8068 Trenton, NJ 08650
1508	4	Tsai, Chihjang & Zhang, Fang 10 Okeson Street Plainsboro, NJ 08536			Comcast Cable Communications, Inc. Andy Cortes Area Construction Supervisor - Mommouth Cluster 751 Brick Blvd Brick, NJ 08723
1508	5	Eugen, Sult & Fernandes, Cheryl 12 Okeson Street Plainsboro, NJ 08536			811 Know what's below. Call before you dig.
1508	6	Sharbell Development Corporation 1 Washington Blvd Suite 9 Robbinsville, NJ 08691			

REV.	DESCRIPTION	DATE	DFD/BY
			CKD/BY
<i>Ralph A. Petrella</i>			
07/20/2023			
DATE OF SIGN.			
RALPH A. PETRELLA			
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160			
PLAINSBORO TOWNSHIP SITUATED IN MIDDLESEX CO. N.J.			
VICINITY PLAN AND KEY MAP			
OVER PART OF BLOCK 1602, P.O. LOT 5			
PLAINSBORO PLAZA CENTER			
CHASE BANK PAD SITE			
PREPARED FOR PLAINSBORO PLAZA OWNER, LLC			
JULY 20, 2023			
DRAWN BY	WDV	FIELD BK	ORDER NO.
DATE			FILE NO.
CHECKED BY	RAP	PAGE	207-C-3
DATE			VIC



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EXISTING LEGEND

LAND STAKE
SANITARY MANHOLE
HANDICAP PARKING SPACE
SIGN
OVERFLOW STRUCTURE
F.E.S.
STORM MANHOLE
HEADWALL
CURB
DRAIN/DEPRESSION
INLET
TRANSFORMER
"A" INLET
GAS VALVE
WATER VALVE
CURB
PARKING STRIPE
CONTUR

PROPOSED LEGEND
PAVEMENT MARKING
CONCRETE PATH/ SIDEWALK
PAVEMENT MILLING
EDGE OF PAVEMENT
CURB
FLUSH CURB
PARKING STRIPE (HAIRPIN)
HANDICAP SYMBOL
PARKING COUNT
TRAFFIC SIGN
WALK REMOVAL
SESC LEGEND
CONSTRUCTION ENTRANCE
LIMITS OF DISTURBANCE

ZONING DATA:
TAX SHEET 16, BLOCK 1602, LOTS 5 AND 7
TAX SHEET 15, BLOCK 1508, LOT 7
ZONE: GB GENERAL BUSINESS

DESCRIPTION	CODE REQUIREMENTS	EXISTING LOTS 5 AND 7	LOTS 5 AND 7 APPROVED JUNE 10, 2014	PROPOSED BUILDING PAD FOR CHASE BANK
MINIMUM				
LOT AREA	25 ACRES	28.223± AC.	NO CHANGE	NO CHANGE
LOT FRONTAGE	425 FEET	±905 FT.	NO CHANGE	NO CHANGE
LOT DEPTH	450 FEET	±937 FT.	NO CHANGE	NO CHANGE
FRONT BUILDING SETBACK	1	±4.6 FT.	NO CHANGE	NO CHANGE
BACK BUILDING SETBACK	1	±71 FT.	NO CHANGE	NO CHANGE
SIDE BUILDING SETBACK (ONE SIDE ONLY)	1	±59 FT.	NO CHANGE	NO CHANGE
IMPROVEMENT SETBACK FROM PLAINSBORO RD.	100 FEET	N/A	N/A	N/A
MAXIMUM				
PAD SITE BUILDING FROM SCHALKS CROSSING RD.	5 FEET	4.6 FT.	NO CHANGE	NO CHANGE
LOT COVERAGE- BUILDINGS	20%	18.07%	NO CHANGE	18.39%
LOT COVERAGE- IMPROVEMENTS	65%	61.8% ² (±758,400 SF)	61.0% ³ (±749,700 SF)	61.0% ³ (±749,700 SF)
FLOOR AREA RATIO	0.20	0.181 (±224,794 SF)	0.186 (±228,294 SF)	0.189 (±232,219 SF)
BUILDING HEIGHT	1 STORY (28 FT. OR 30 FT. FOR OFFICE)	±276"	NO CHANGE	NO CHANGE

¹ NO CODE REQUIREMENT

² BASED ON IMPERVIOUS AREAS OF LOT. EXISTING IMPERVIOUS AREA TOTALS 16.606 AC., PROPOSED IMPERVIOUS AREA TOTALS 16.503 AC. YIELDING A NET DECREASE OF 0.103 AC. IN IMPERVIOUS AREAS.

³ 6,400 S.F. OF NET IMPERVIOUS AREAS REMOVED

PARKING SCHEDULE:

PARKING DATA	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228.294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3478/250 ²	14	-	-75
LANDBANKED SPACES		-	-	46
TOTAL SPACES	(228.294 x 5.5) + (3,478/250)	1266	1030	947
HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41
VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

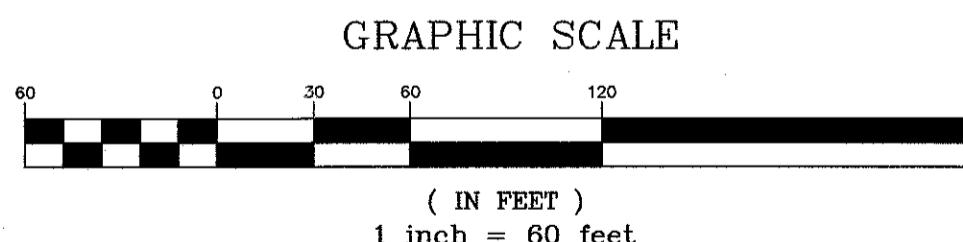
* CURRENT CONDITIONS

¹ EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13-11, PLAINSBORO TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00-02, APPROVED AUGUST 21, 2000.

² PER PLAINSBORO TOWNSHIP CODE SECTION 85-44, MINIMUM NUMBER OF PARKING SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.

³ PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL SPACES MUST BE HANDICAP-ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15 SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE HANDICAP-ACCESSIBLE.

⁴ PER ADA REQUIREMENTS



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OVERALL SITE PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
SITUATED IN MIDDLESEX CO. N.J.
JULY 20, 2023

Ralph A. Petrella
Ralph A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160
REV. DESCRIPTION DATE DFT.BY CKD.BY
07/20/2023 DATE OF SIGN.

1 inch = 60'

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division of pennoni

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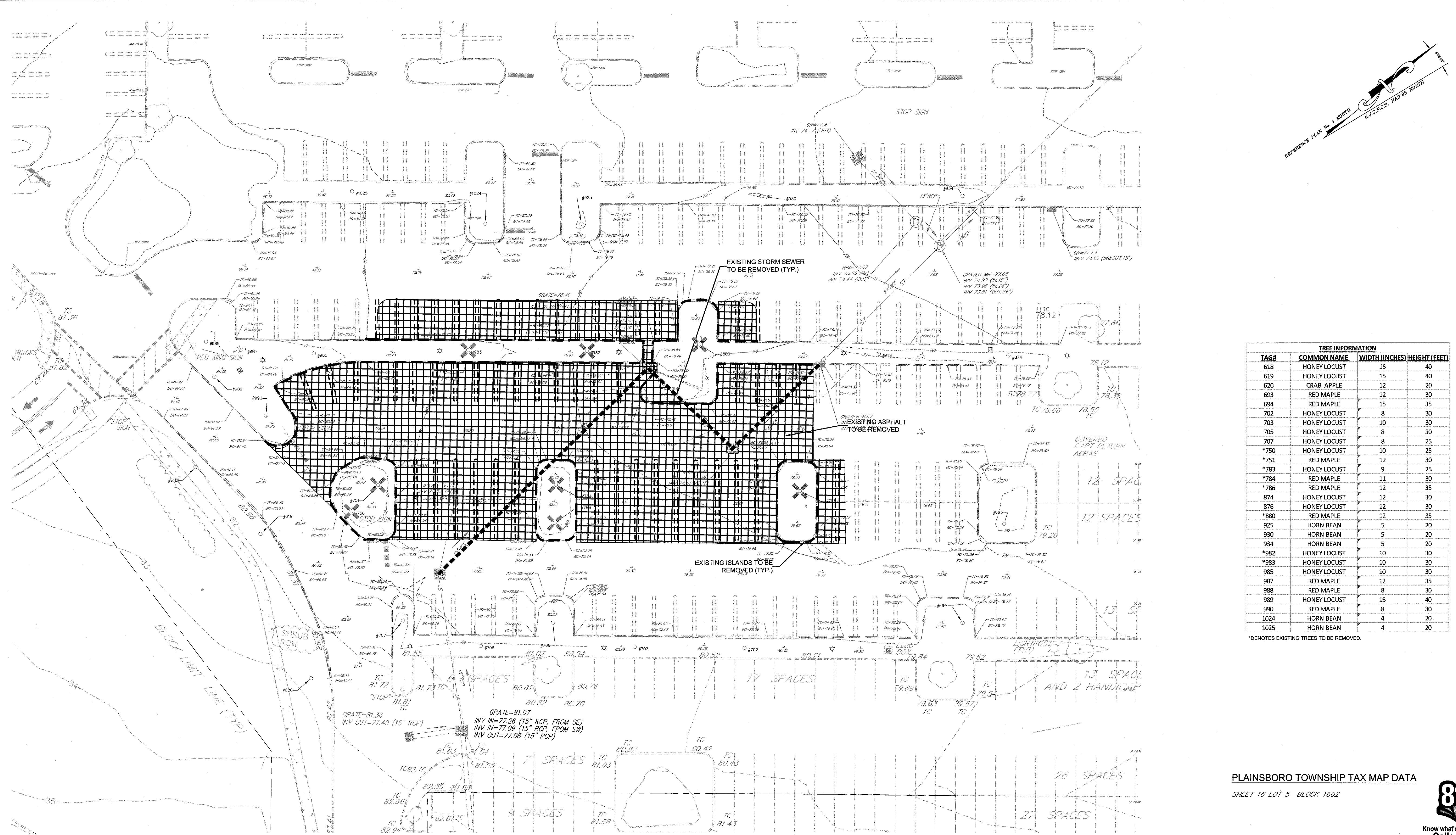
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TREE INFORMATION		
TAG#	COMMON NAME	WIDTH (INCHES) HEIGHT (FEET)
618	HONEY LOCUST	15 40
619	HONEY LOCUST	15 40
620	CRAB APPLE	12 20
693	RED MAPLE	12 30
694	RED MAPLE	15 35
702	HONEY LOCUST	8 30
703	HONEY LOCUST	10 30
705	HONEY LOCUST	8 30
707	HONEY LOCUST	8 25
750	HONEY LOCUST	10 25
751	RED MAPLE	12 30
783	HONEY LOCUST	9 25
784	RED MAPLE	11 30
786	RED MAPLE	12 35
874	HONEY LOCUST	12 30
876	HONEY LOCUST	12 30
*880	RED MAPLE	12 35
925	HORN BEAN	5 20
930	HORN BEAN	5 20
934	HORN BEAN	5 20
*982	HONEY LOCUST	10 30
*983	HONEY LOCUST	10 30
985	HONEY LOCUST	10 30
987	RED MAPLE	12 35
988	RED MAPLE	8 30
989	HONEY LOCUST	15 40
990	RED MAPLE	8 30
1024	HORN BEAN	4 20
1025	HORN BEAN	4 20

*DENOTES EXISTING TREES TO BE REMOVED.

PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



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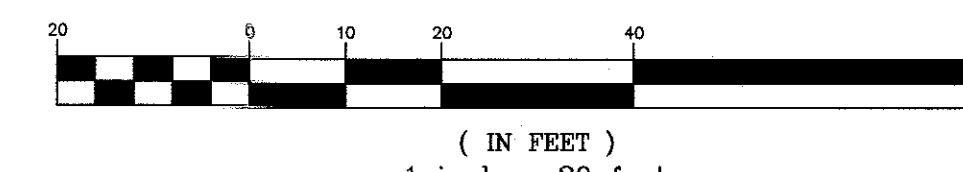


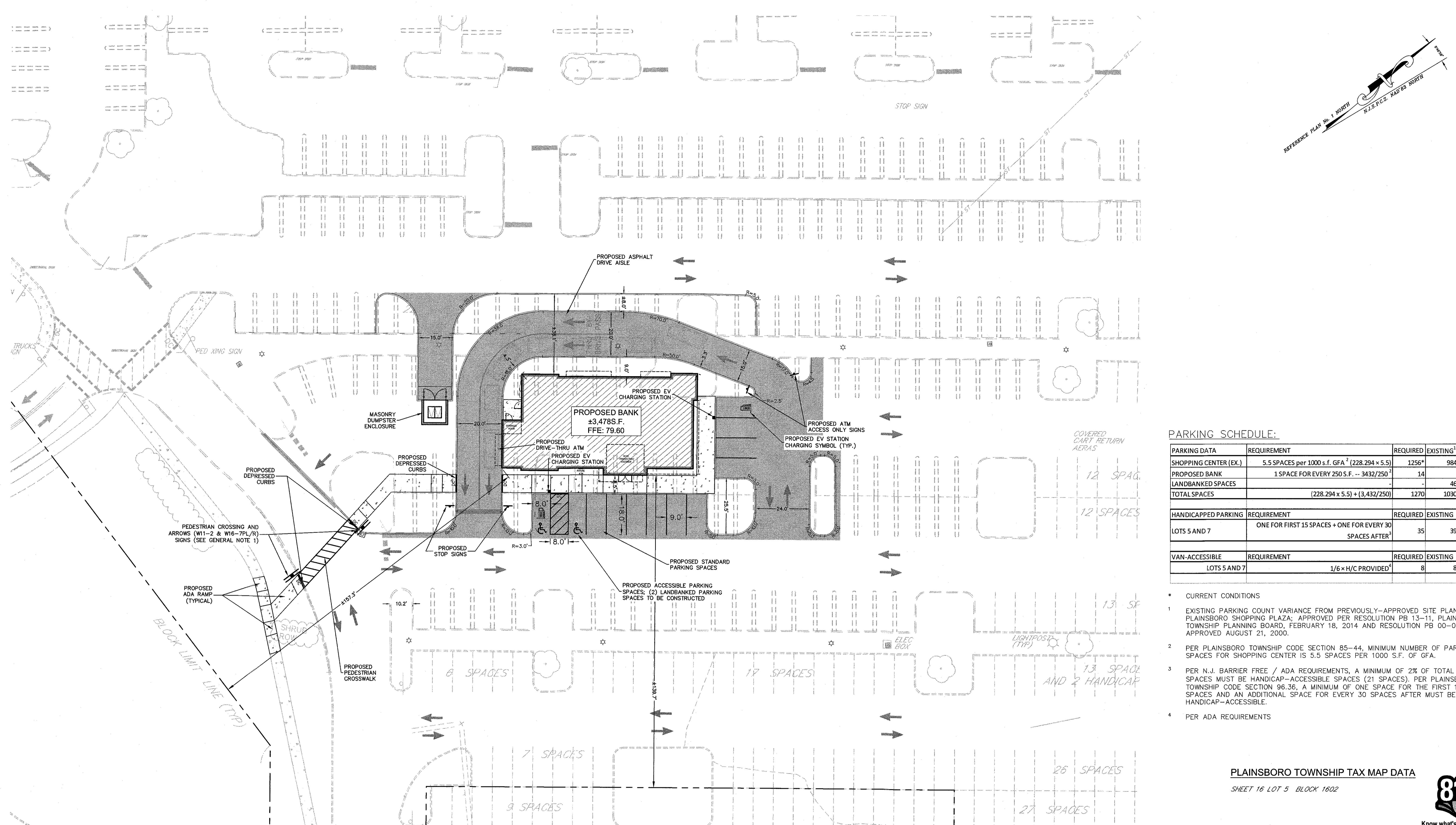
SITE DEMOLITION PLAN
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Ralph A. Petrella
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160
CE-1

VNHA SYMBOLS LEGEND:

X204.5	SPOT ELEVATION	■	STORM GATE	100	MAJOR TOPOGRAPHIC CONTOUR
X204.3	TOP OF CURB	□	STORM DRAINAGE MANHOLE	101	MINOR TOPOGRAPHIC CONTOUR
X204.0	BOTTOM OF CURB	○	■ BOLLARD	—	—
X204.33	DEPRESSED CURB	●	● SANITARY SEWER MANHOLE	—	—
○	CLEAN OUT	□	□ GAS VALVE	—	—
○	LIGHT POST	○	○ WATER VALVE	—	—
○	#26 TREE I.D.	○	○ SIGN	—	—
			UTILITY BOX	—	—
			FIRE HYDRANT	—	—

GRAPHIC SCALE





VNHA SYMBOLS LEGEND

X204.5	SPOT ELEVATION				100	MAJOR TOPOGRAPHIC CO
XJC204.3 BC204.3	TOP OF CURB BOTTOM OF CURB		STORM GRATE		101	MINOR TOPOGRAPHIC CO
XJC204.33	DEPRESSED CURB		STORM DRAINAGE MANHOLE	BOLLARD		
	CLEAN OUT		SANITARY SEWER MANHOLE	GAS VALVE		STORM SEWER
	LIGHT POST		ELECTRIC MANHOLE	WATER VALVE		
	#26 TREE I.D.		UTILITY MANHOLE	SIGN		
				UTILITY BOX		
			FIRE HYDRANT			

GRAPHIC SCALE

(IN FEET)

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<p><i>Ralph A. Petrella</i></p> <p>07/20/2023</p> <p>DATE OF SIGN.</p> <p>RALPH A. PETRELLA</p> <p>N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160</p>																
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<p>SITE LAYOUT PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP SCALE: 1" = 20'</p>																
<table border="1"> <thead> <tr> <th>DRAWN BY DATE</th> <th>WDV</th> <th>FIELD BK</th> <th>ORDER No.</th> <th>FILE No.</th> <th>SHEET No.</th> </tr> </thead> <tbody> <tr> <td>CHECKED BY DATE</td> <td>RAP</td> <td>PAGE</td> <td>43986- 400-21</td> <td>207-C-3</td> <td>CE-2</td> </tr> </tbody> </table>					DRAWN BY DATE	WDV	FIELD BK	ORDER No.	FILE No.	SHEET No.	CHECKED BY DATE	RAP	PAGE	43986- 400-21	207-C-3	CE-2
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RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

The logo consists of the numbers "811" in a large, bold, sans-serif font. Below the "1" is a stylized illustration of a shovel, oriented with the handle pointing towards the bottom left and the head pointing towards the bottom right. The shovel is rendered with a dotted or textured pattern.

Know what's below.
Call before you dig.

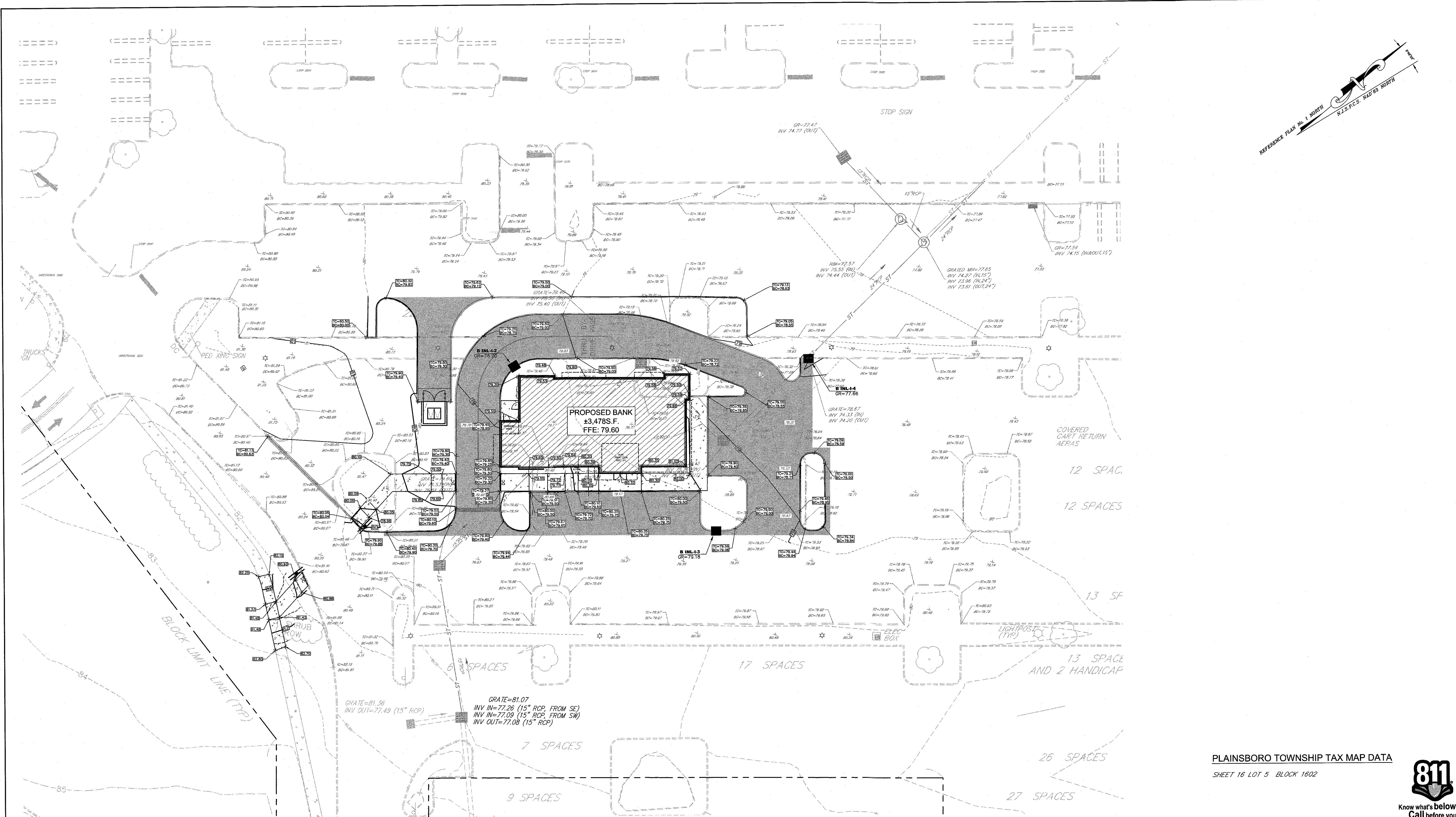
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• Cape May Court House, NJ 08210 • 609-465-2600
www.pennoni.com Certificate of Authorization

zh

**SITE LAYOUT PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR**

INSBORO PLAZA OWNER, LLC
SITUATED IN MIDDLESEX CO. N.J.
TOWNSHIP JULY 20, 2023
20'

21 207-C-3 CE-2



PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602

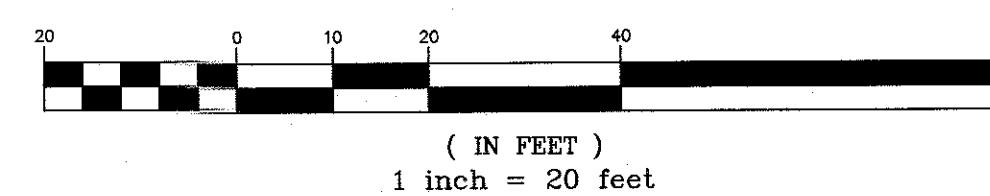


Know what's below.
Call before you dig.

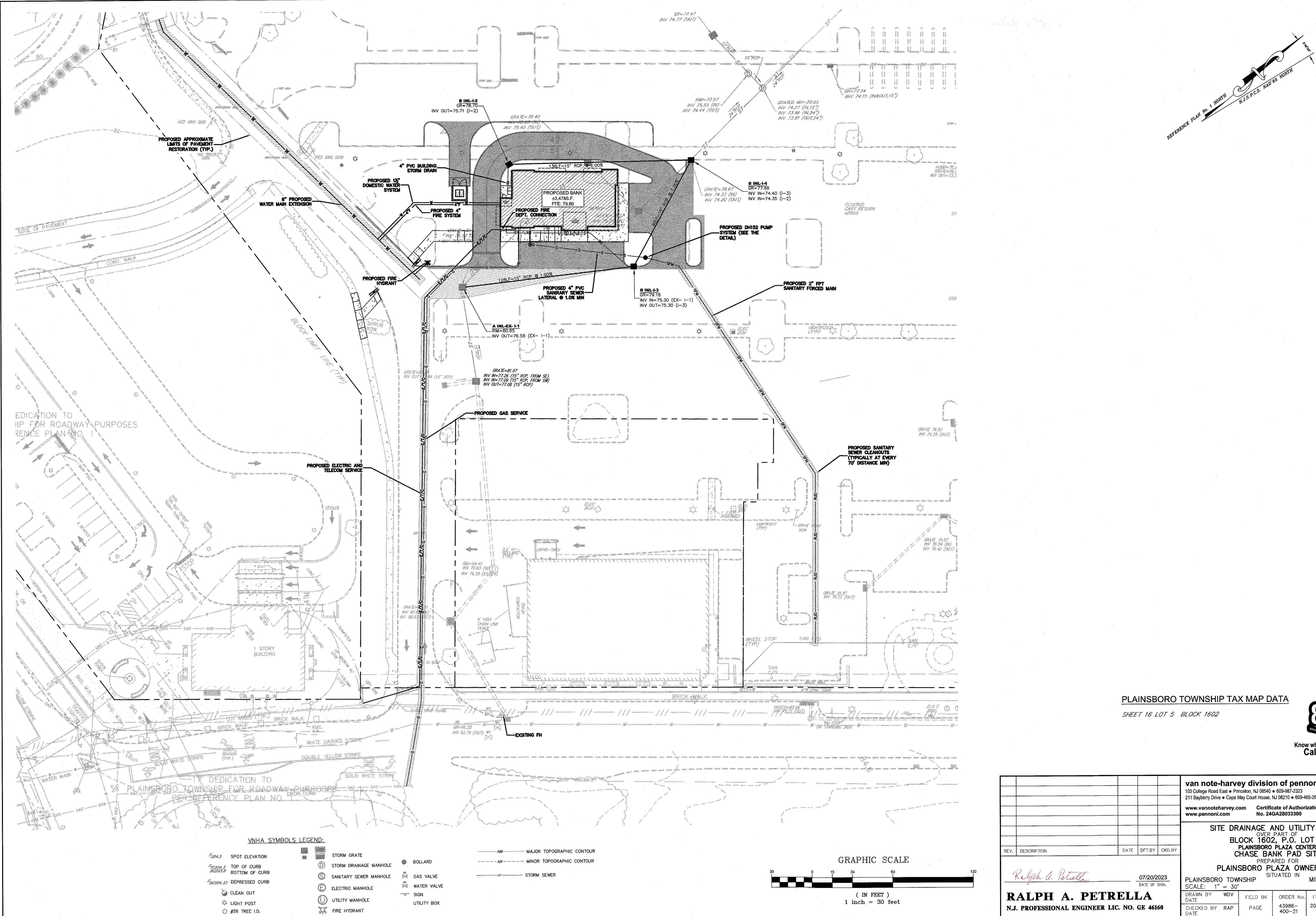
VNHA SYMBOLS LEGEND:

100-5 SPOT ELEVATION	STORM GRATE	MAJOR TOPOGRAPHIC CONTOUR
100-6 TOP OF CURB	STORM DRAINAGE MANHOLE	MINOR TOPOGRAPHIC CONTOUR
100-7 BOTTOM OF CURB	SANITARY SEWER MANHOLE	GAS VALVE
100-8 DEPRESSED CURB	ELECTRIC MANHOLE	WATER VALVE
100-9 CLEAN OUT	UTILITY MANHOLE	SIGN
100-10 LIGHT POST	FIRE HYDRANT	UTILITY BOX
100-11 #26 TREE I.D.		

GRAPHIC SCALE



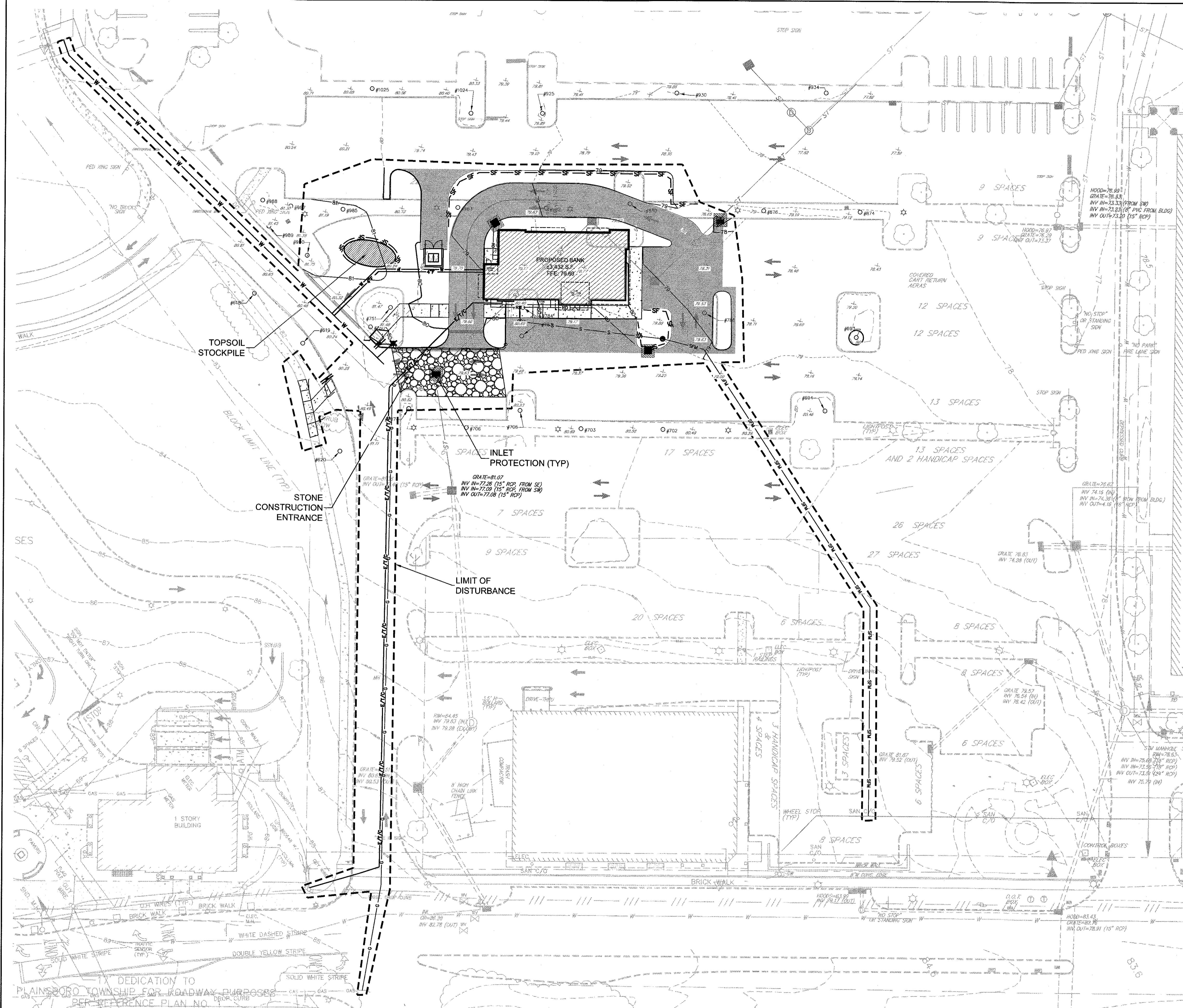
van note-harvey division of pennoni					
103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com www.pennoni.com					
Certificate of Authorization No. 24GA2803300					
REV.	DESCRIPTION	DATE	DFT.BY	OKD.BY	
Ralph A. Petrella 07/20/2023 DATE OF SIGN					
SITE GRADING PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN MIDDLESEX CO. N.J. JULY 20, 2023					
DRAWN BY	WDV	FIELD BK	ORDER No.	FILE No.	Sheet No.
CHECKED BY	RAP	PAGE	43986-400-21	207-C-3	CE-3



PLAINSBORO TOWNSHIP TAX MAP DATA



Know what's below.
Call before you dig.



A diagram showing a curved line on a coordinate system. The horizontal axis is labeled "REFERENCE PLAN No. 1 NORTH" and the vertical axis is labeled "N.J.S.P.C.S. NAD'83 NORTH". An angle of 84°55' is indicated between the reference plan and the vertical axis. The curved line starts at the origin and curves upwards and to the right, ending at a point marked with a circle.

SOIL EROSION AND SEDIMENT CONTROL LEGEND:

LIMIT OF DISTURBANCE

SILT FENCE

TREE PROTECTION

INLET PROTECTION

STONE CONSTRUCTION ENTRANCE

TOPSOIL STOCKPILES

PLAINSBORO TOWNSHIP TAX MAP DATA

SHEET 16 LOT 5 BLOCK 1602



**Know what's below.
Call before you dig.**

REV.	DESCRIPTION	DATE	DFT.BY	CKD.BY
 Ralph A. Petrella <u>07/20/2023</u> DATE OF SIGN.				
RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160				
van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com Certificate of Authorization www.pennoni.com No. 24GA28033300				
 SOIL EROSION AND SEDIMENT CONTROL PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP SCALE: 1" = 20' DRAWN BY WDV DATE CHECKED BY RAP DATE FIELD BK PAGE ORDER No. 43986-400-21 FILE No. 207-C-3 SHEET No. CE-5				

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

vannote-harvey division of pennoni
3 College Road East • Princeton, NJ 08540 • 609-987-2323
1 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600
www.vannoteharvey.com **Certificate of Authorization**
www.pennoni.com **No. 24GA28033300**

SOIL EROSION AND SEDIMENT CONTROL PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
SITUATED IN
PLAINSBORO TOWNSHIP
CALE: 1" = 20'
PAWN BY WDV

LAN
O. N.J.
2023

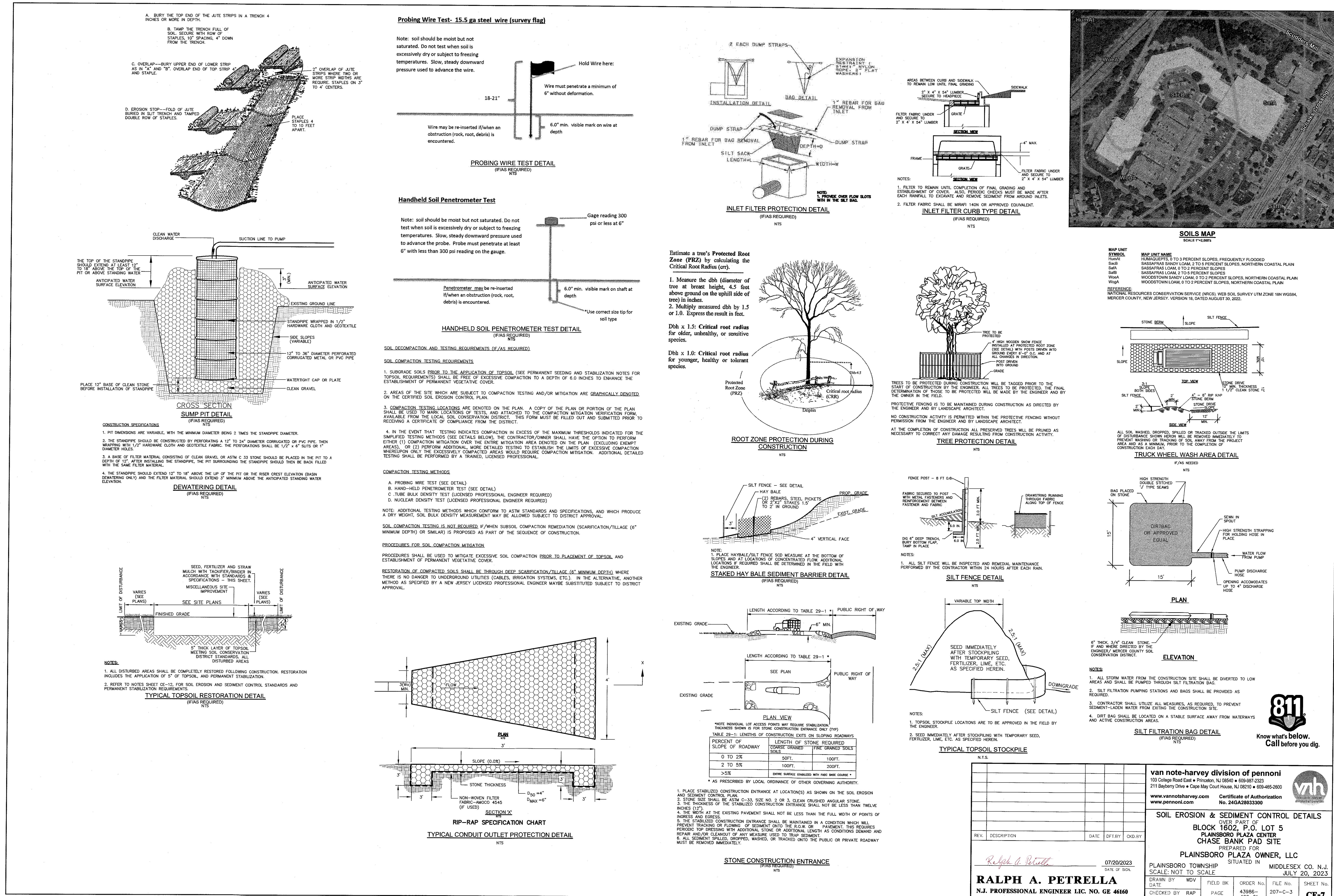
DEDICATION TO
PLAINSBORO TOWNSHIP FOR ROADWAY PURPOSES
PER REFERRENCE PLAN NO. 1
SOLID WHITE STRIPE

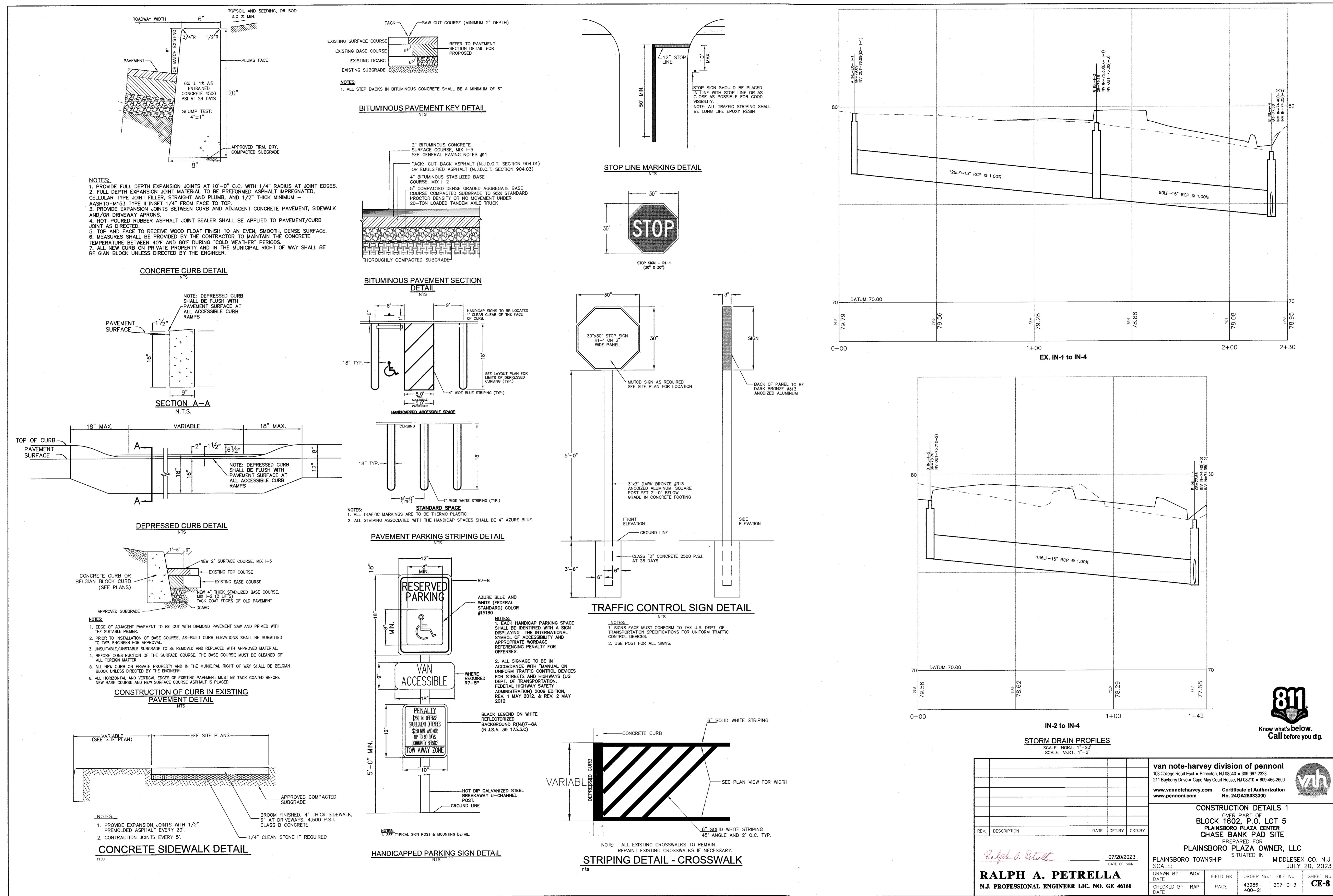
VNHA SYMBOLS LEGEND

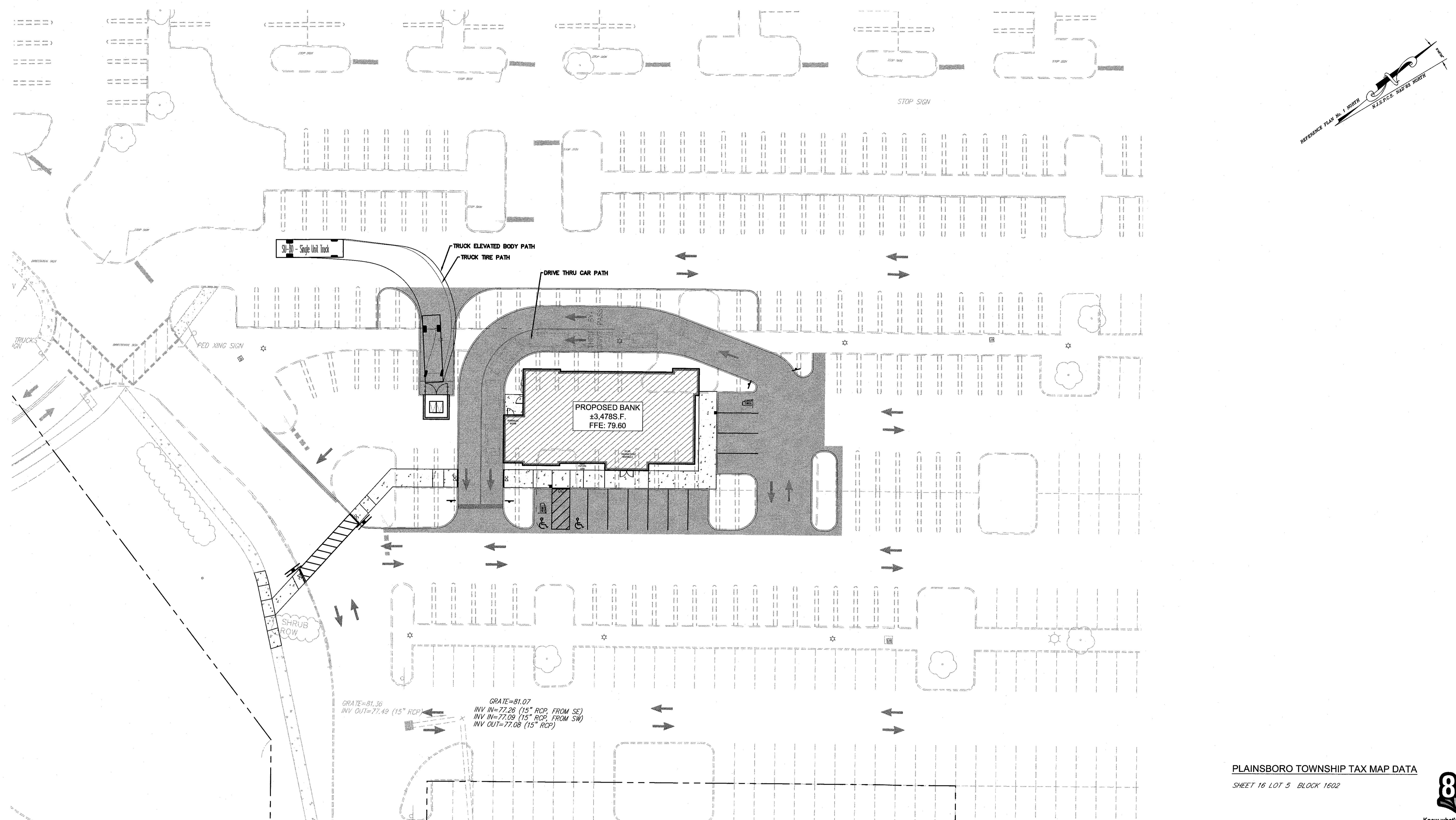
 204.5	SPOT ELEVATION		STORM GRATE	 100	MAJOR TOPOGRAPHIC		
 TC204.3  BC204.2	TOP OF CURB BOTTOM OF CURB	 D	STORM DRAINAGE MANHOLE	 BOLLARD	 101	MINOR TOPOGRAPHIC	
 DC204.3	DEPRESSED CURB	 S	SANITARY SEWER MANHOLE	 GS	GAS VALVE	 57	STORM SEWER
 C	CLEAN OUT	 E	ELECTRIC MANHOLE	 GW	WATER VALVE		
 L	LIGHT POST	 U	UTILITY MANHOLE	 SG	SIGN		
 #26	#26 TREE I.D.	 FH	FIRE HYDRANT	 UB	UTILITY BOX		

GRAPHIC SCALE

(IN FEET)







PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602

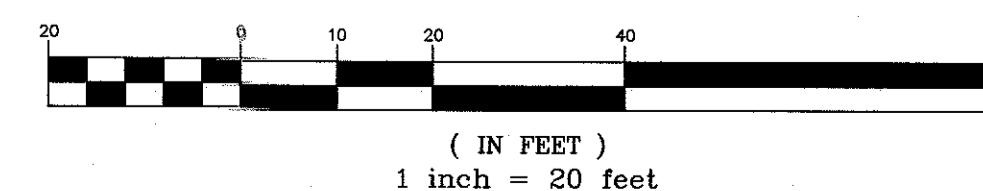


Know what's below.
Call before you dig.

VNHA SYMBOLS LEGEND:

	SPOT ELEVATION		STORM GRATE		MAJOR TOPOGRAPHIC CONTOUR
	TOP OF CURB		BOLLARD		MINOR TOPOGRAPHIC CONTOUR
	BOTTOM OF CURB		STORM DRAINAGE MANHOLE		STORM SEWER
	DEPRESSED CURB		SANITARY SEWER MANHOLE		
	CLEAN OUT		ELECTRIC MANHOLE		
	LIGHT POST		UTILITY MANHOLE		
	#26 TREE I.D.		FIRE HYDRANT		

GRAPHIC SCALE





REV.	DESCRIPTION	DATE	DFT.BY	CKD.BY
<i>Ralph A. Petrella</i> 07/20/2023				
PLAINSBORO TOWNSHIP SP-PLT.DWG				
SITUATED IN MIDDLESEX CO. N.J.				
DRAWN BY WDV FIELD BK ORDER No. FILE No. SHEET No.				
DATE PAGE 43986-20 207-C-3 TURN-1				
CHECKED BY RAP				
DATE				

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211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600
www.vannoteharvey.com Certificate of Authorization
www.pennoni.com No. 24GA28053300

TURNING MOMENT ANALYSIS PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
PLAINSBORO TOWNSHIP SP-PLT.DWG
SITUATED IN MIDDLESEX CO. N.J.
SCALE: 1" = 20'
DRAWN BY WDV FIELD BK ORDER No. FILE No. SHEET No.
DATE PAGE 43986-20 207-C-3 TURN-1

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160





Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN



Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization


D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalke Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ


Sheet Title

SITE DETAILS

Scale	Drawn	Project No.
AS SHOWN	KRKS	X

Sheet No.

L3.0



Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN

Luminaires Schedule									
Label	Qty.	Status	Arrangement	Manufacturer	Fixture Description	Mounting	Height	Lamp	LLF
B	7	Existing	BACK-BACK	RUUD LIGHTING	AC440-Double-250w	Pole	25'	250w MH	0.720 Type III
G2	3	Proposed	BACK-BACK	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720 Type III

NOTE: QUANTITIES IN SCHEDULE REFER TO LIGHT FIXTURES WITHIN CALCULATION BOUNDARIES

MANUFACTURER ORDERING CATALOG NUMBER									
AC2625 (2 FIXTURES @ 180 DEGREES) CTM-3-250-PSMH-F-VOLT-BRZ (2 FIXTURES @ 180 DEG)									

NOTE: EXISTING FIXTURE CATALOG NUMBERS ARE PROVIDED FOR INFORMATION ONLY

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.59	6.6	0.0	N.A.	N.A.

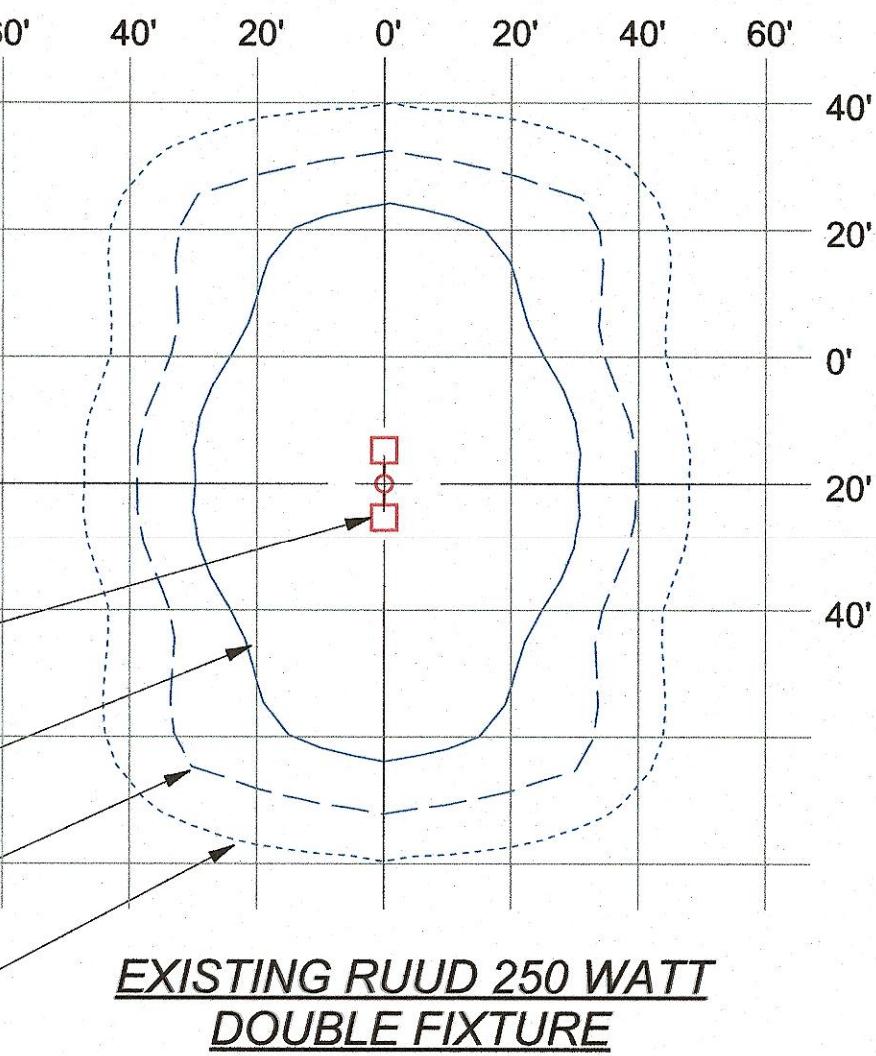
Note: The Calculations Summary above is for the overall calculation area shown on plan below, which includes existing fixtures. The minimum footcandles in parking areas around the bank are 0.5 fc.

Lighting Notes

1. The existing light fixtures are RUUD (B) 250-watt double fixture metal halide lamps on 25-foot-high poles, these are approximately 30 years old and installed when the shopping center was originally built. Two of those fixtures are being removed and replaced with three of the LSI Citation (G2) 250-watt double fixture metal halide lamps on 25-foot-high poles. These are the same fixtures used per the last revised plan in 2014.
2. Light fixture symbols are enlarged for clarity.
3. See drawing L4.2 for light details and manufacturer cut sheets.
4. All proposed light fixtures shall be set back 3' from proposed curbs to prevent vehicle / pole conflicts.
5. Lights are on photocells, so lights will be on dawn to dusk.
6. All site lighting electrical distribution lines shall be underground.

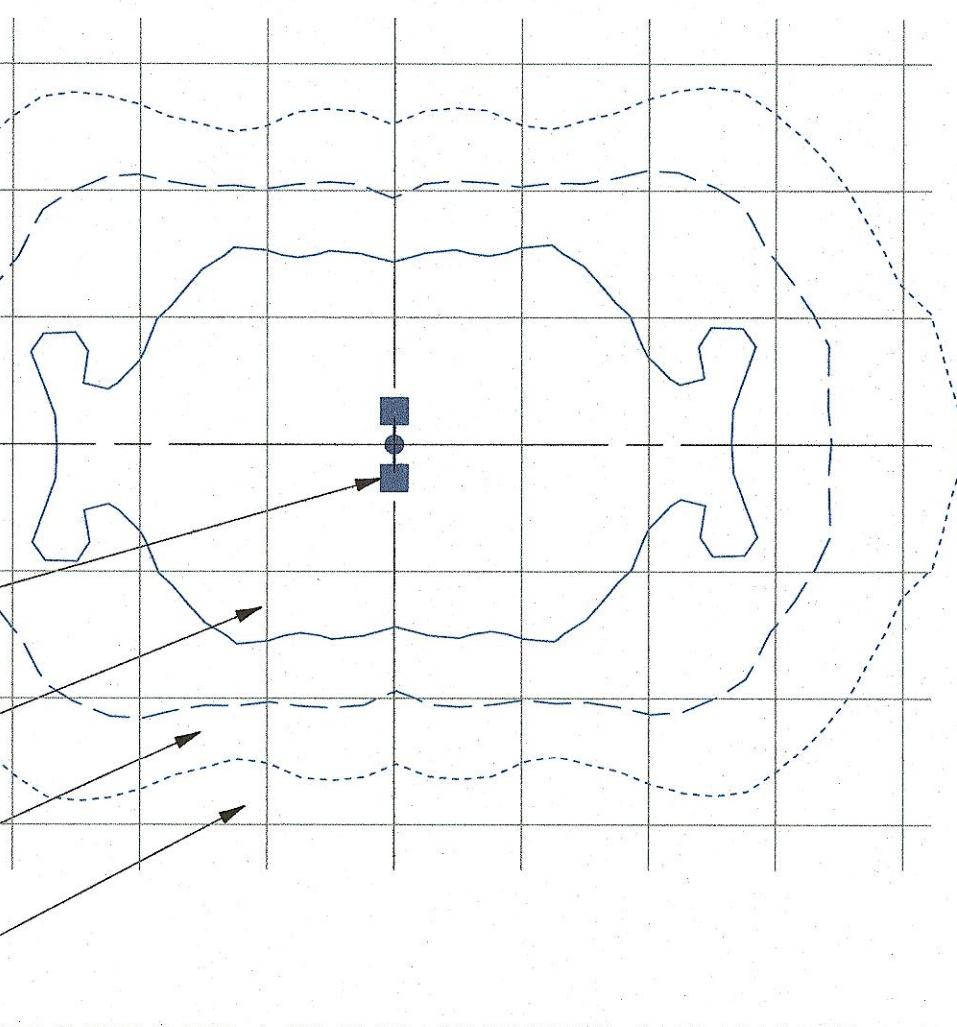
FIXTURE KEY ISOFOOTCANDLE DIAGRAMS

SCALE: 1" = 50'
(SEE LUMINAIRE SCHEDULE FOR DESCRIPTIONS)



G2

Fixture symbol (graphic enlarged for clarity)
1.0 FC LEVEL OF ILLUMINATION (TYP)
0.5 FC LEVEL OF ILLUMINATION (TYP)
0.25 FC LEVEL OF ILLUMINATION (TYP)



Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization

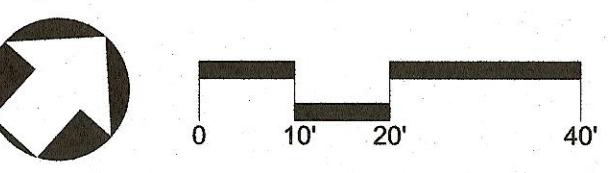
D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJA00512

AO PLAINSBORO, LLC
c/o Onyx Equities, LLO
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800
Application Number: XXX

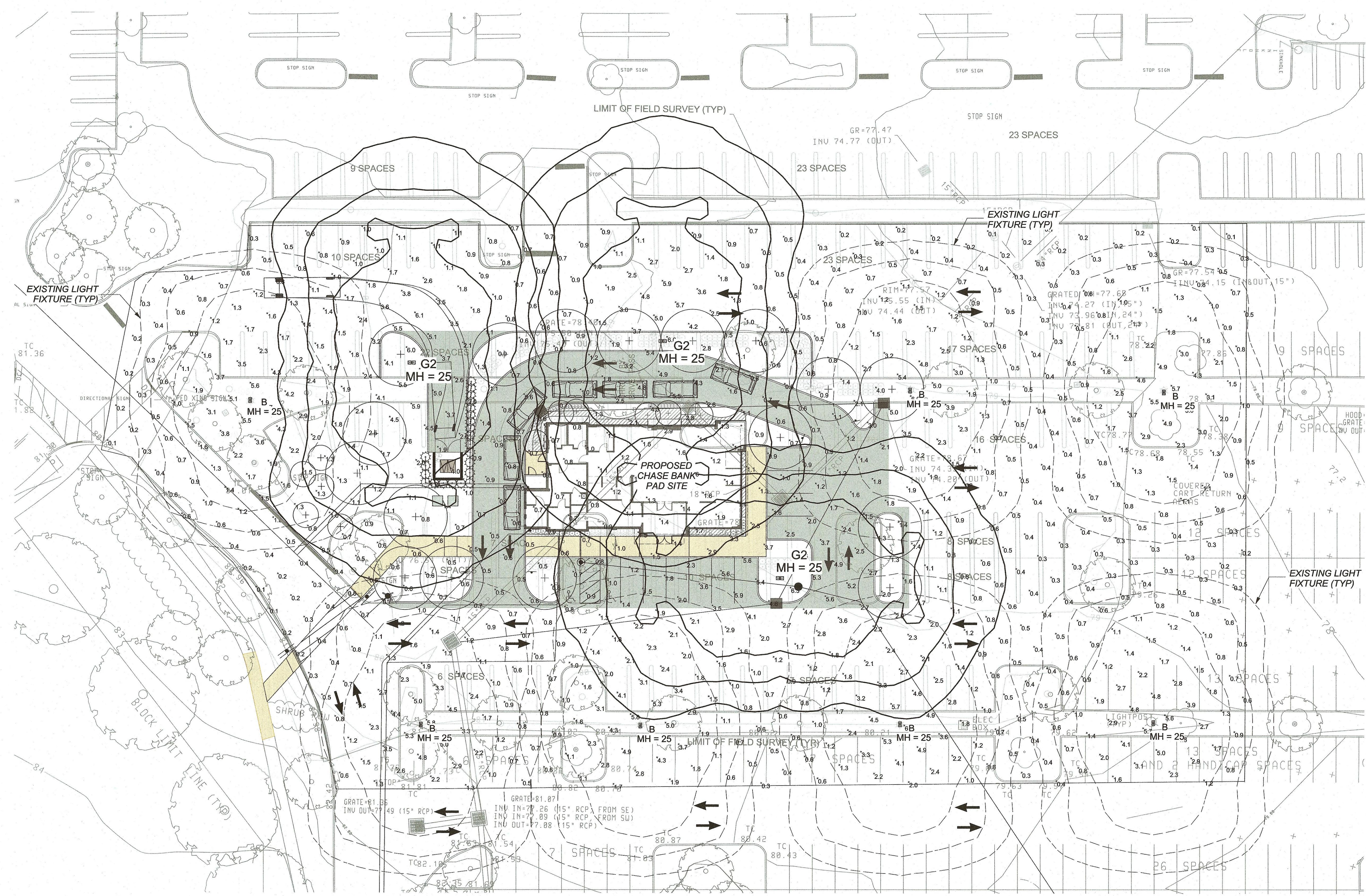
Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schaks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
LIGHTING PLAN

Scale AS SHOWN Drawn KRJKS Project No. X
Sheet No.



L4.1

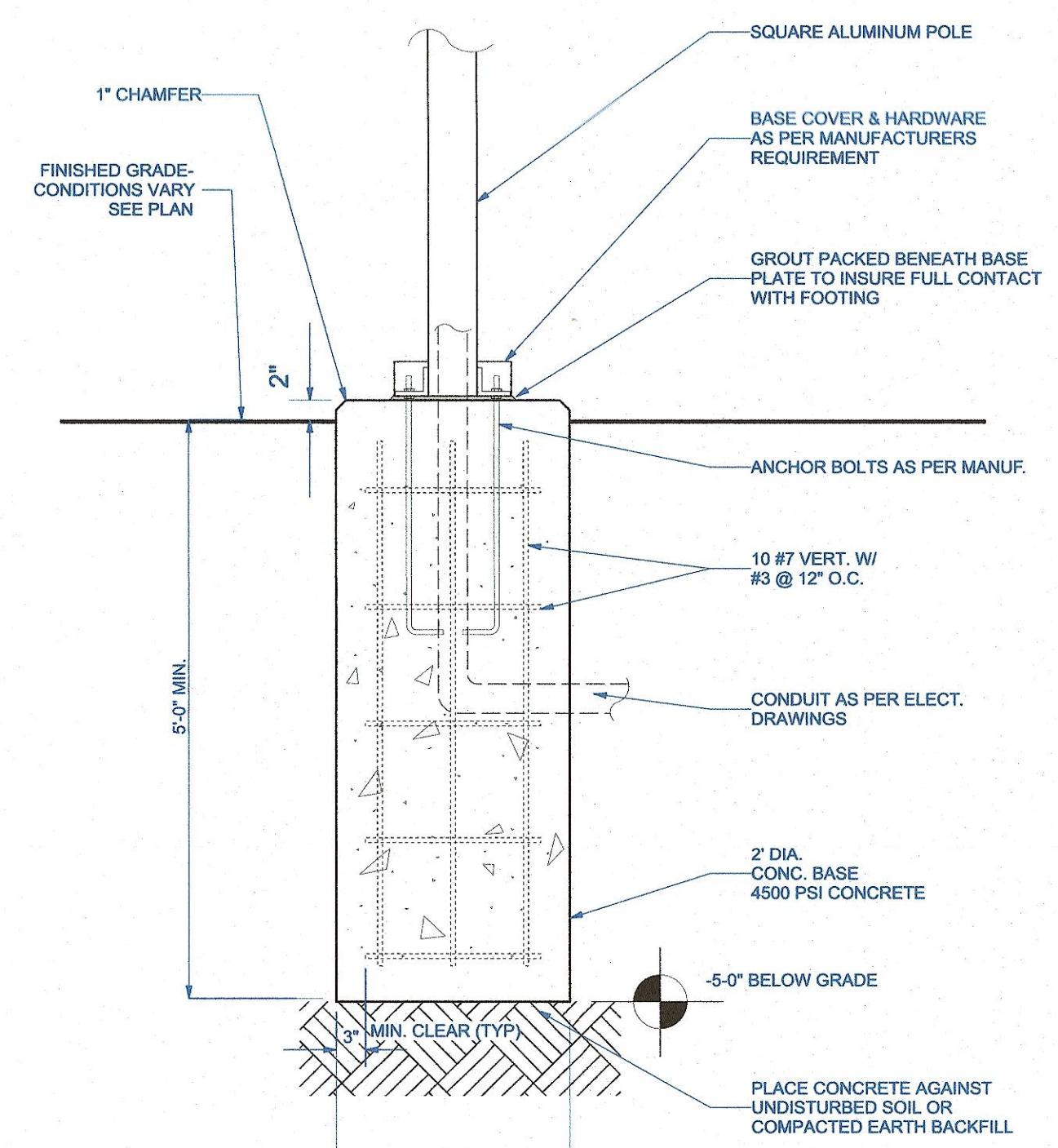


Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN

MANUFACTURER ORDERING CATALOG NUMBER									
AC2625 (2 FIXTURES @ 180 DEGREES)									CTM-3-250-PSMH-F-VOLT-BRZ (2 FIXTURES @ 180 DEG)

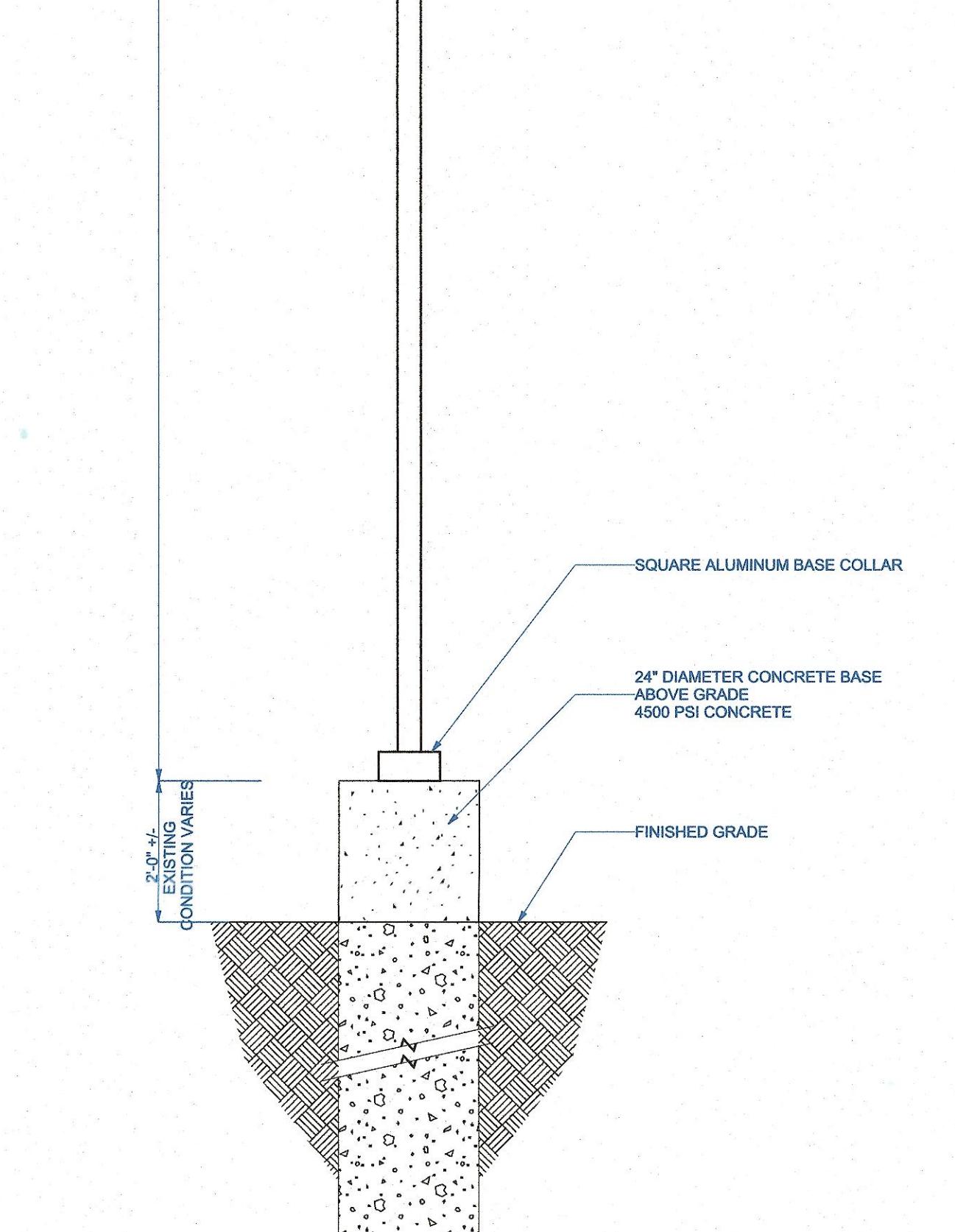
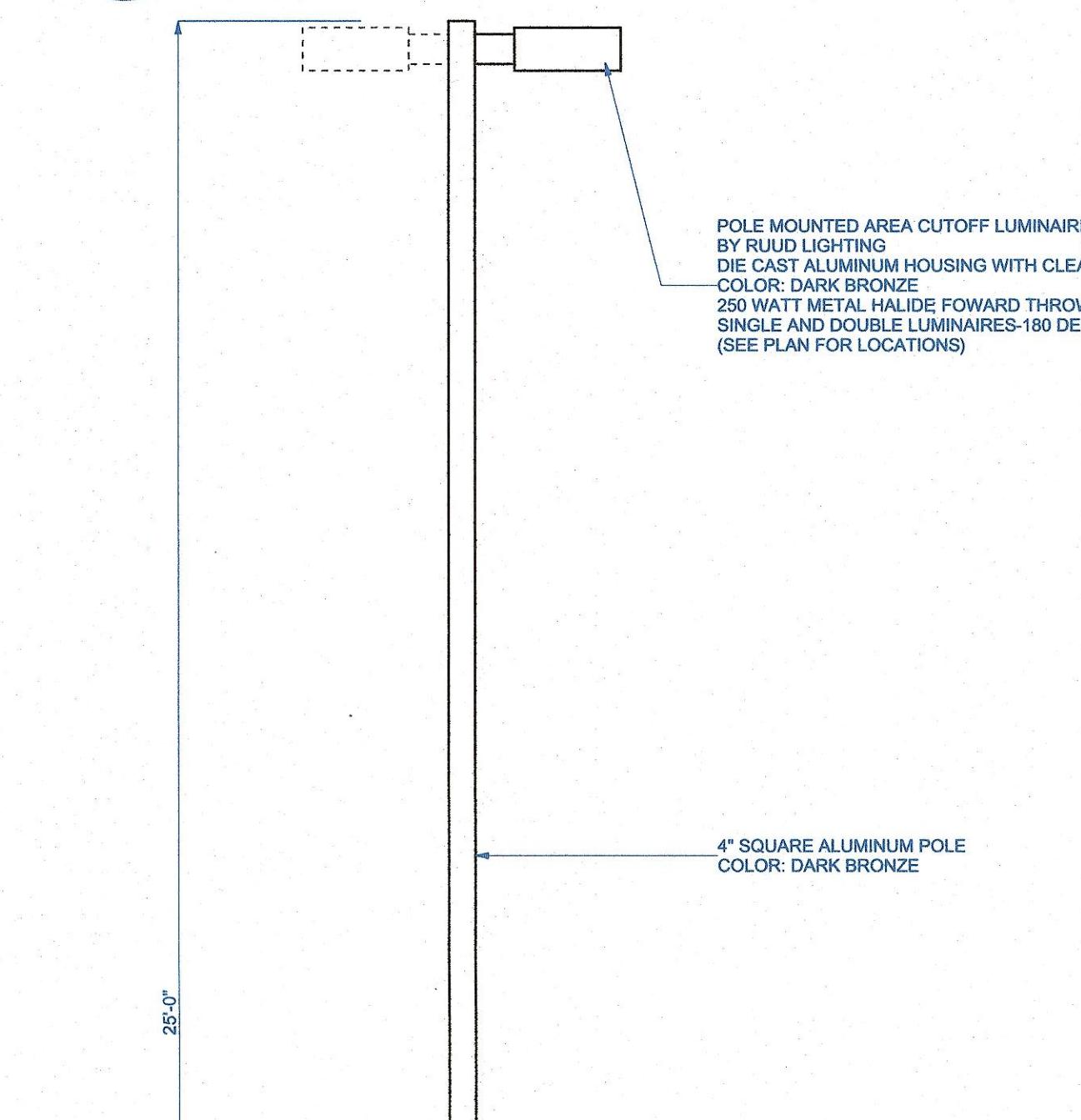
NOTE: EXISTING FIXTURE CATALOG NUMBERS ARE PROVIDED FOR INFORMATION ONLY.

NOTE: QUANTITIES IN SCHEDULE REFER TO LIGHT FIXTURES WITHIN CALCULATION BOUNDARIES



3 CONCRETE FOOTING FOR LIGHT STANDARD 'G2'

SCALE: 3/4" = 1'-0"



Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lamberville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization

D. Thomas Stearns
NJ Licensed Landscape Architect
Professional License Number: NJAS0512

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

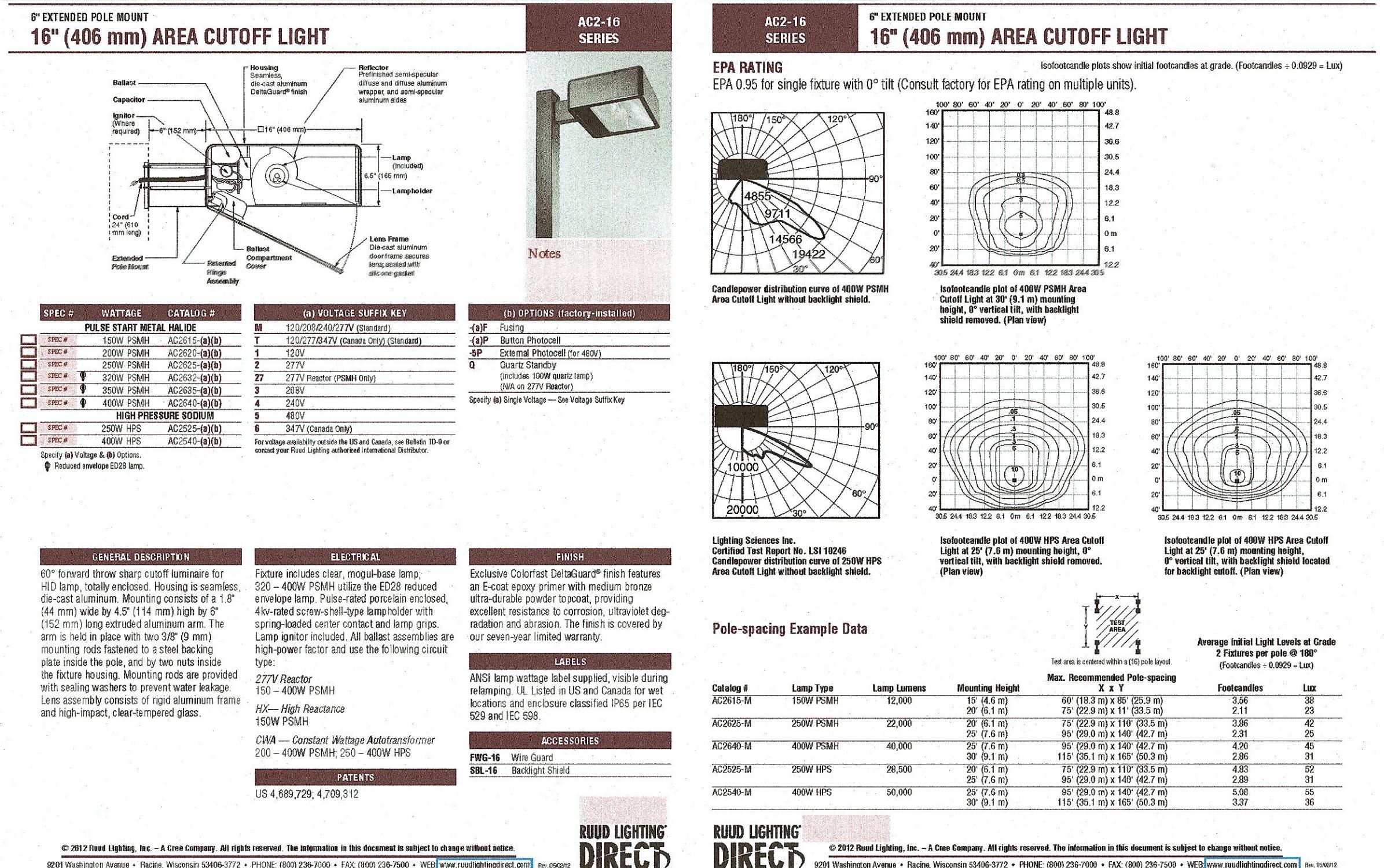
Project: CHASE BANK PAD SITE
Plainsboro Plaza
10 Square Feet of Land
Block 102, Lot 1, 2, 7, 29 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

LIGHTING DETAILS

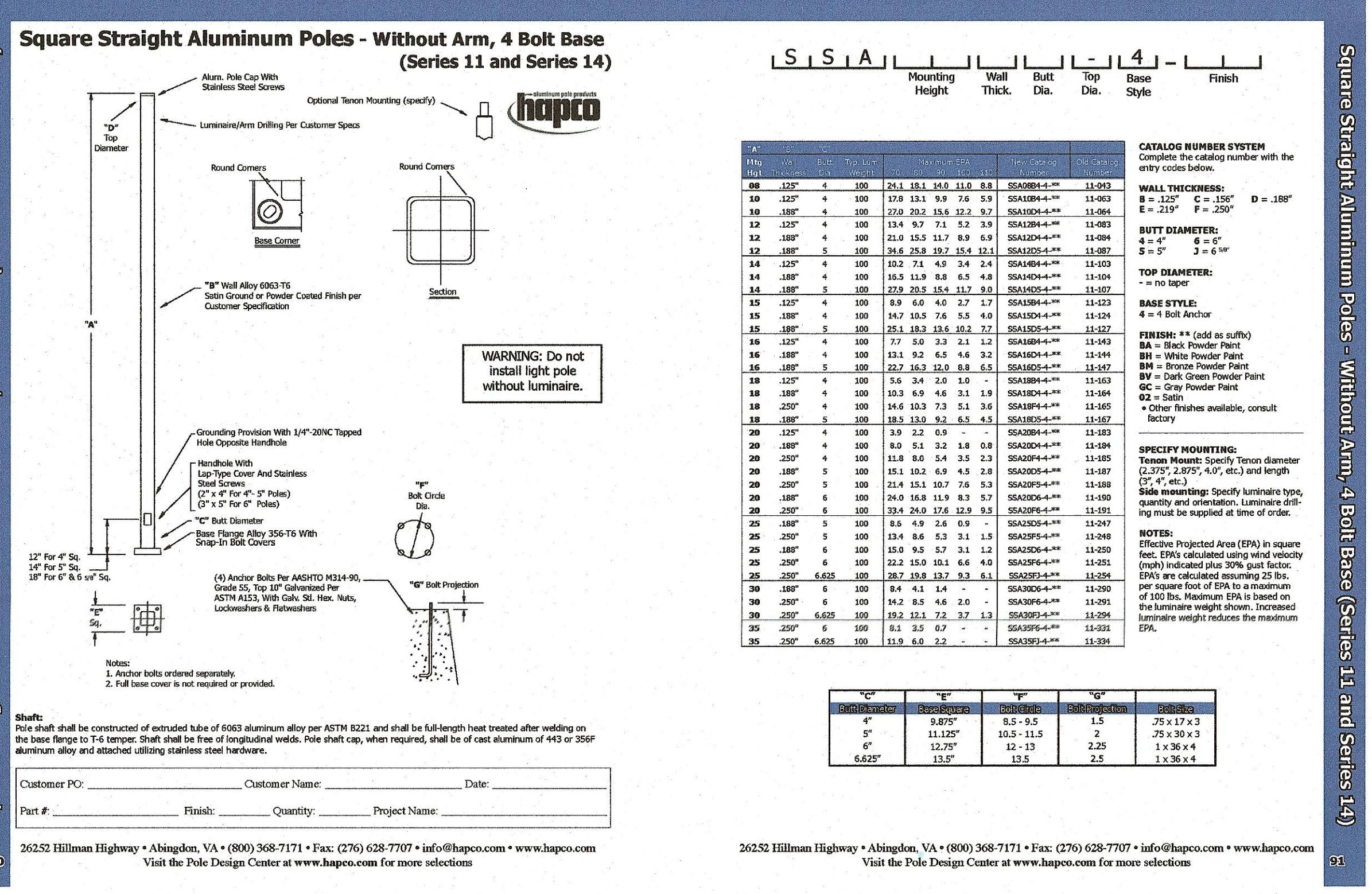
Scale AS SHOWN Drawn KRKS Project No. X
Sheet No.

L4.2



EXISTING
'B' RUUD FIXTURES - CUTSHEET

5
SCALE: NTS



Customer PO: Customer Name: Date: _____

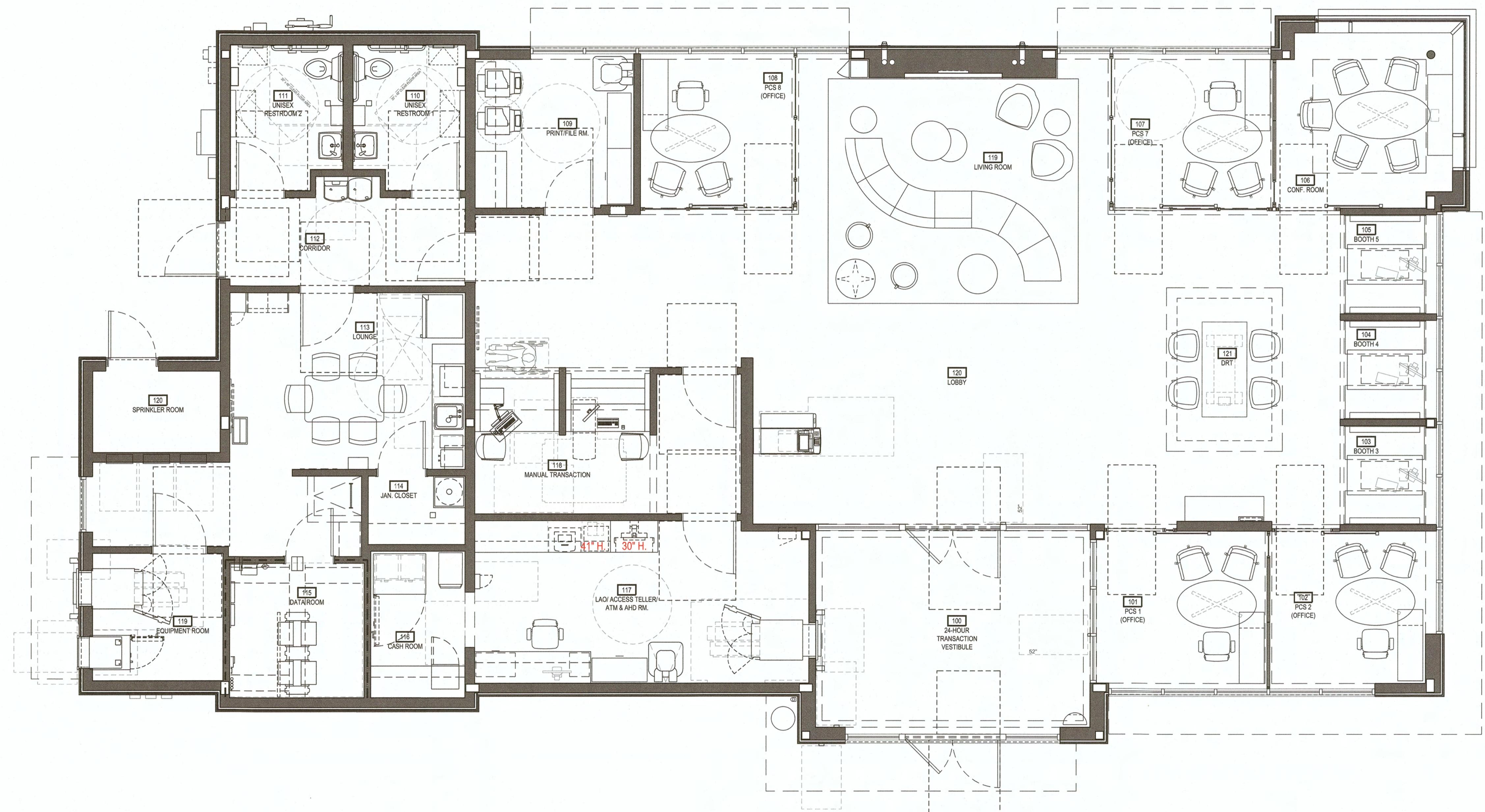
Part #: Finish: Quantity: Project Name: _____

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Visit the Pole Design Center at www.hapco.com for more selections

90

CITATION® LUMINAIRE ORDERING INFORMATION									
CITATION 3 400 PSMHR F MY BRZ PCR									
Luminaire Profile									
Technical Sheet									
Luminaire Profile									
Luminaire Profile									
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1
A1.0.0 FLOOR PLAN
1/4" = 1'-0"



CHASE
JP MORGAN CHASE, N.A.
PLAINSBORO
SCHALKS CROSSING RD. & SCUDDERS MILL RD.
PLAINSBORO, NJ 08536
CHASE OVP#48100R003700

CORE STATES
GROUP
CORESTATES, INC.

44 East Main Street
Suite 201
Somerville, NJ 08876
908.464.2000
core-states.com

ARCHITECT OF RECORD

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE
SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL
WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION
- 2021.XX.XX PERMIT SET

PROJECT INFORMATION
PROJECT NO: JPM.36304
DATE: AS NOTED
PROTOTYPE: 20.6
DRAWN BY: J.AYMER
CHECKED BY: X.X.LASTNAME
VERSION: SE_1.00
SHEET TITLE

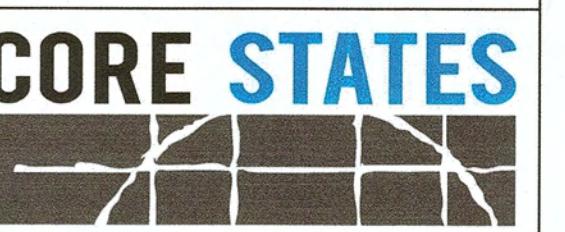
FLOOR PLAN

SHEET NUMBER

A1.0.0

CHASE
JP MORGAN CHASE, N.A.
PLAINSBORO

10 SCHALKS CROSSING ROAD
PLAINSBORO, NJ 08536
CHASE OVP#48100R0037/00



201 S. Maple Avenue
Suite 300
Ambler, PA 19002
(215) 389-2128
corestates.com

ARCHITECT OF RECORD

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SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL
WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION

PROJECT INFORMATION
PROJECT NO: JPM.36304
DATE: AS NOTED
PROTOTYPE: 20.5
DRAWN BY: D.WHITEHOUSE
CHECKED BY: N.MENDENHALL
VERSION: SE_1.00
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A2.2.0



STOREFRONT
APPLICATION: EXTERIOR
COLOR: CLEAR ANODIZED

STOREFRONT/CANOPY
APPLICATION: EXTERIOR
COLOR: BLACK ANODIZED

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7045 INTELLECTUAL GRAY

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE

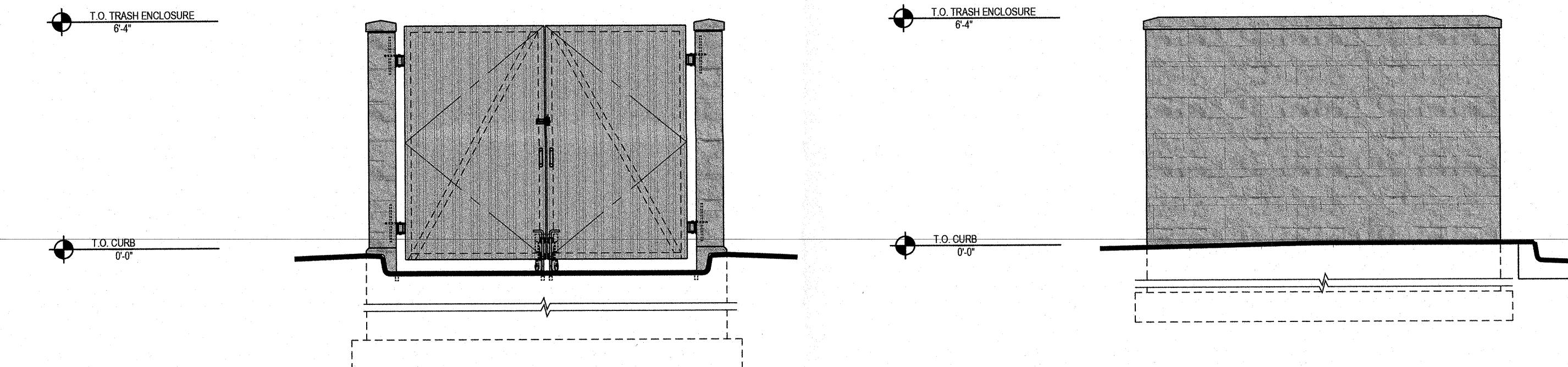
CORONADO STONE
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM

ALUMINUM COMPOSITE MATERIAL (ACM)
APPLICATION: CANOPY
COLOR: "CHASE SILVER"

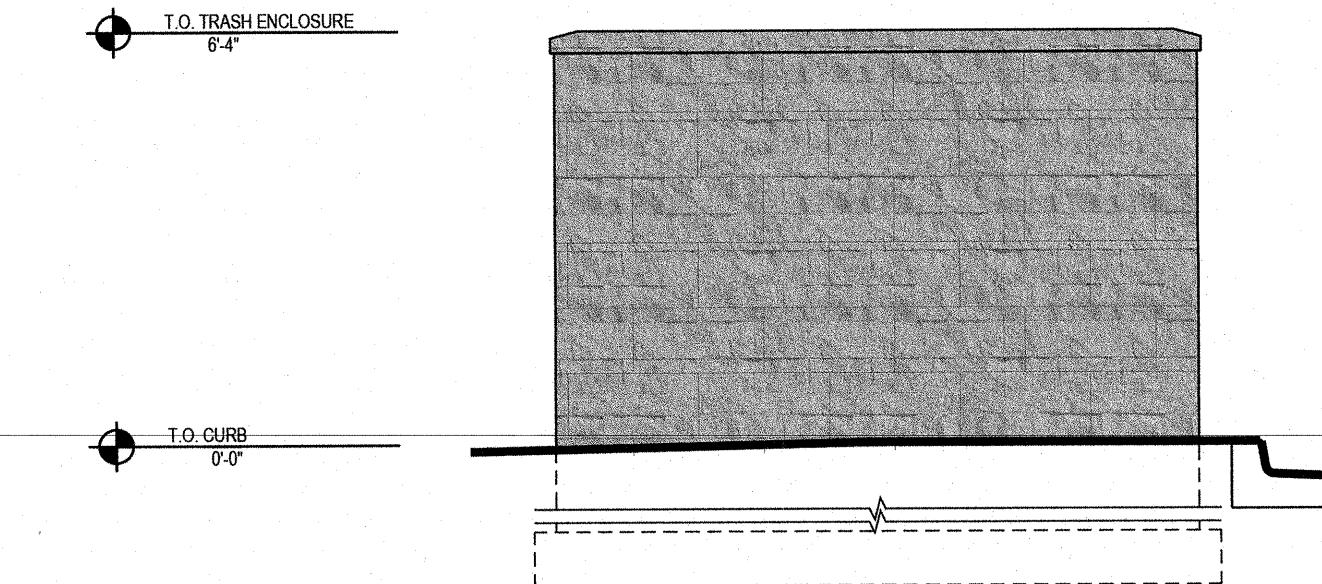
NICHIA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - BARK

NICHIA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - ASH

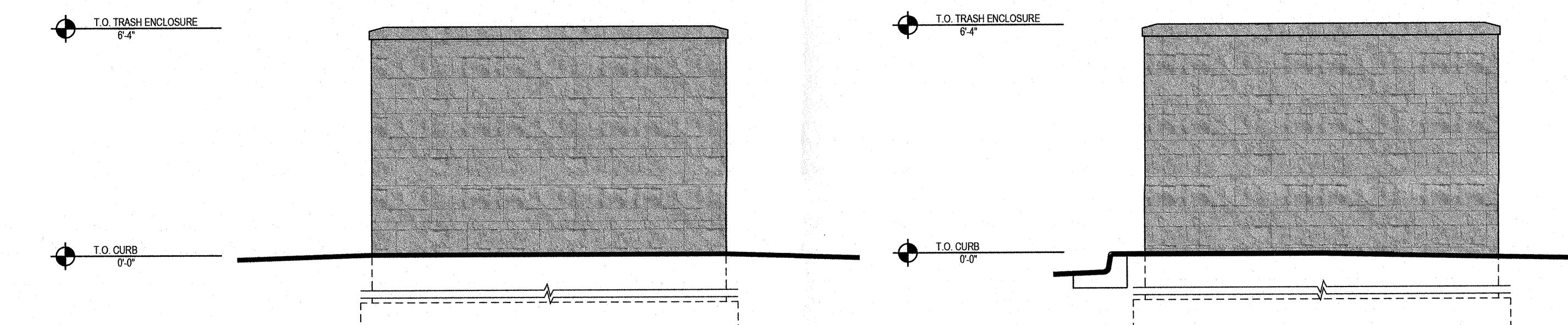
PAC-CLAD COPING
APPLICATION: EXTERIOR/COPING
COLOR: AGED BRONZE



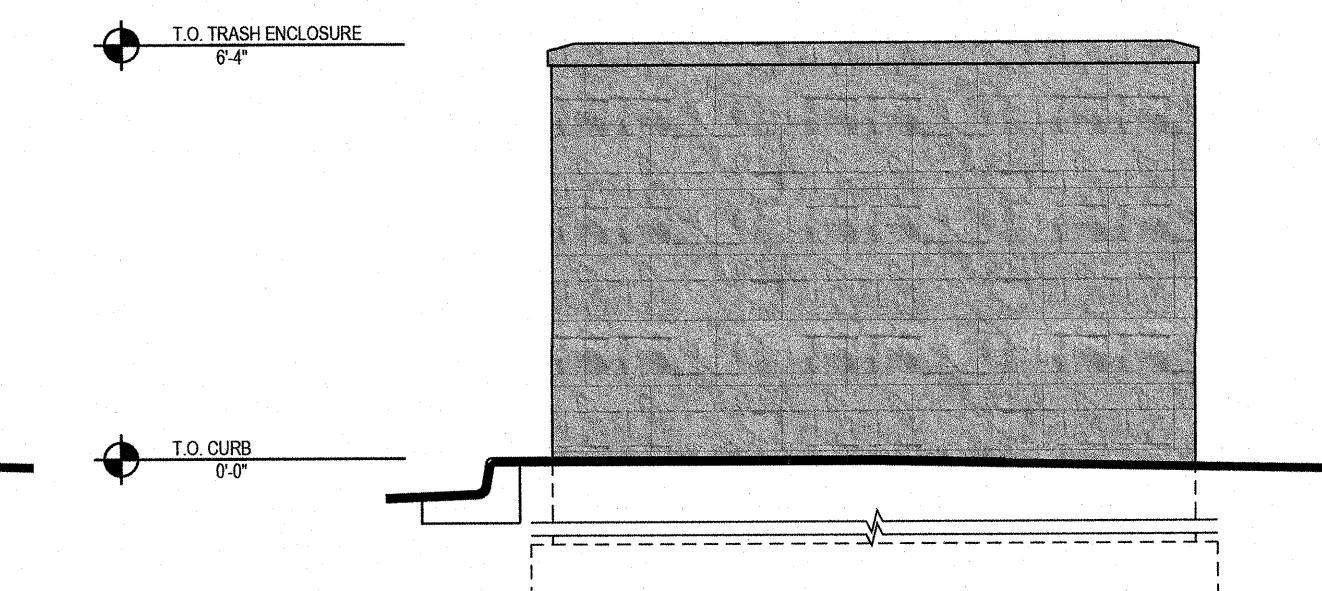
NORTH ELEVATION (FRONT)



EAST ELEVATION



SOUTH ELEVATION (REAR)



WEST ELEVATION

PART
APPLICATION: EXTERIOR METAL
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE

PART
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM

CHASE

JP MORGAN CHASE, N.A.
PLAINSBORO

10 SCHLAUS CROSSING ROAD
PLAINSBORO, NJ 08836
CHASE CVP#48100R003700

CORE STATES
GROUP

301 E. Maple Avenue
Suite 200
Ambler, PA 19002
215.689.2125
coresates.com

ARCHITECT OF RECORD



THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE
SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL
WHICH ARE PART OF THE CONTRACT DOCUMENTS.

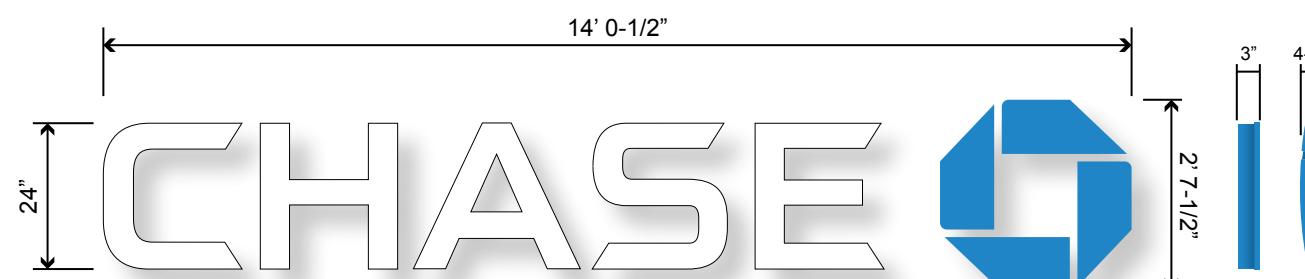
ISSUE DATE DESCRIPTION

PROJECT INFORMATION
PROJECT NO: JPM.3304
DATE: AS NOTED
PROTOTYPE: 20.5
DRAWN BY: D.WHITEHOUSE
CHECKED BY: N.MENDENHALL
VERSION: SE_1.00
SHEET TITLE

DUMPSTER ENCLOSURE
ELEVATIONS

SHEET NUMBER

A0.6



LIF-WBO-24-LED
WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
SCALE: NTS
...



CHS.NB.1284 - Plainsboro
Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

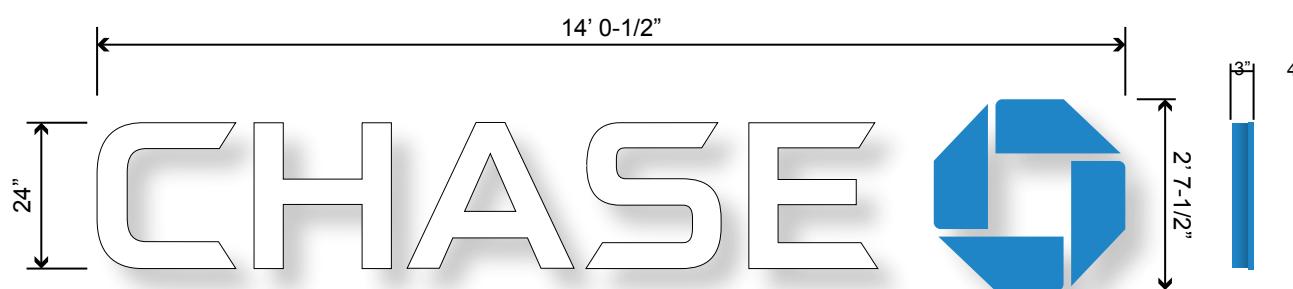
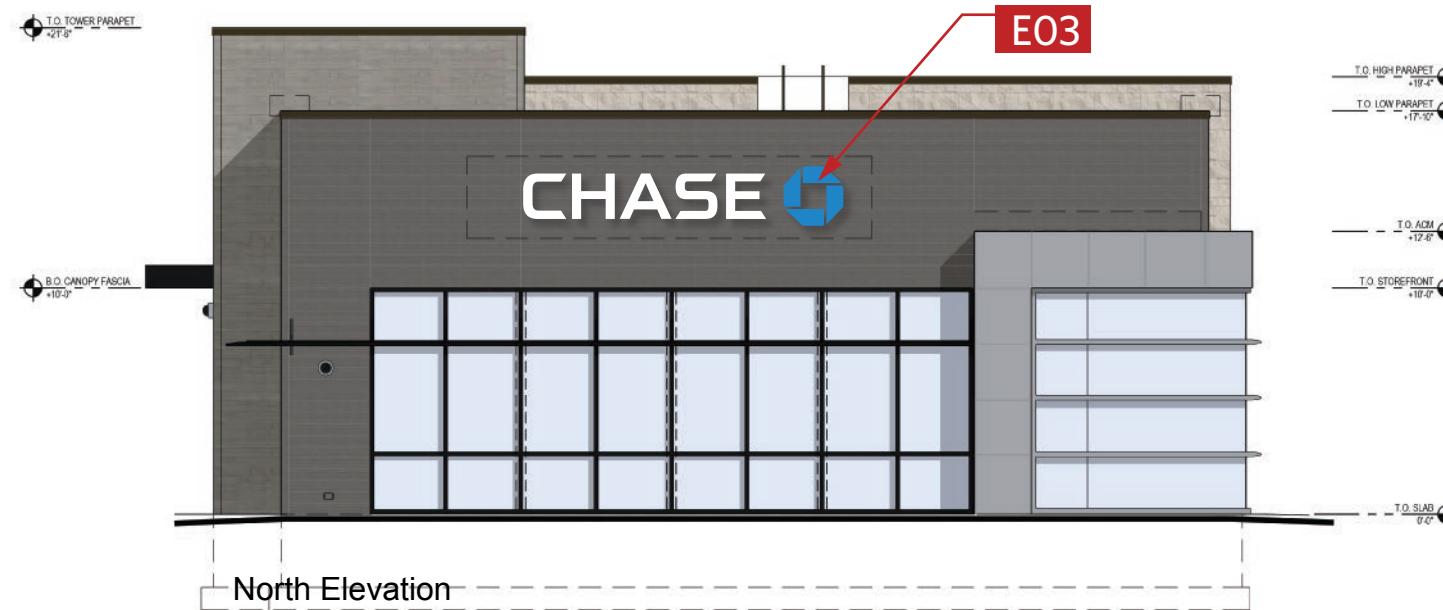
DESIGNER - FP

CREATED - 02.23.23

DRAWING - B104562

PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE
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LIF-WBO-24-LED
WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9sf

SCALE: NTS



CHS.NB.1284 - Plainsboro
Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

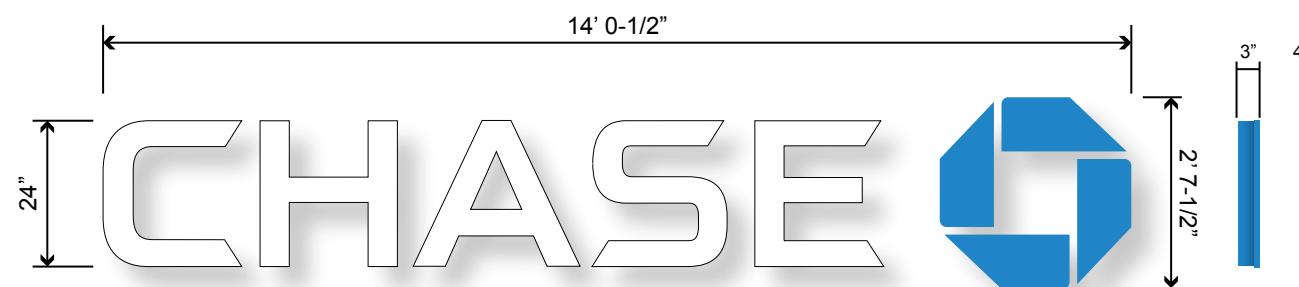
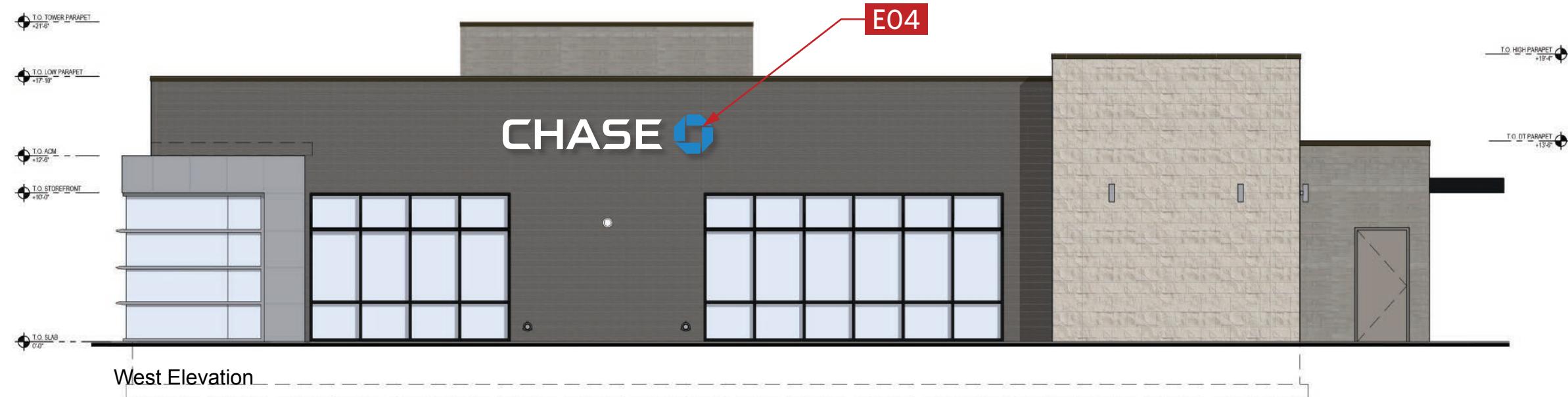
DESIGNER - FP

CREATED - 02.23.23

DRAWING - B104562

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LIF-WBO-24-LED
WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
SCALE: NTS
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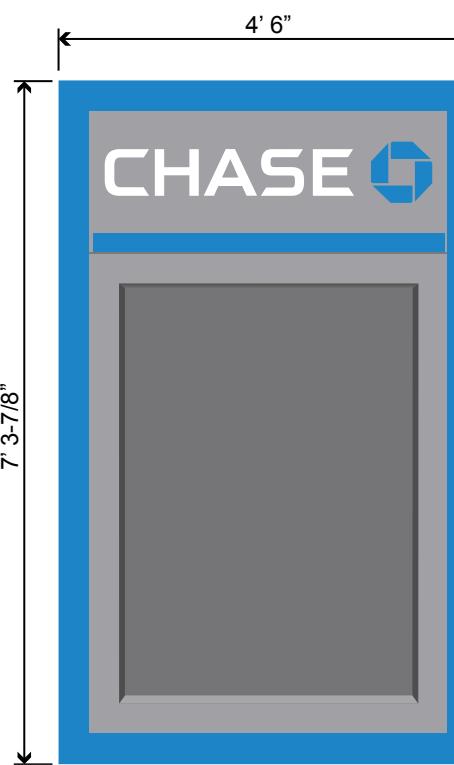


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SUR-TTW-U-4-TP
THIN PROFILE ATM SURROUND - 33SF
SCALE: NTS



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