

PRELIMINARY/FINAL SITE PLAN

OF

BUILDING PAD-CHASE BANK

AT

PLAINSBORO PLAZA CENTER

FOR

PLAINSBORO PLAZA, OWNER, LLC

BLOCK 1602, LOT 5

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

OWNER/Applicant:

PLAINSBORO PLAZA OWNER, LLC
1 GATEWAY CENTER, SUITE 2400
NEWARK, NJ 07102

ATTORNEY:

PRIME & TUVEL ATTORNEYS AT LAW
1 UNIVERSITY PLAZA DRIVE, SUITE 500
HACKENSACK, NJ 07054

ARCHITECT:

CORE STATES GROUP
110 N. 11TH STREET, SUITE 101,
TAMPA, FL. 33602

CIVIL ENGINEER:

VAN NOTE-HARVEY ASSOCIATES, INC.
103 COLLEGE ROAD EAST
PRINCETON, NJ 08540

LANDSCAPE ARCHITECT/PLANNER:

STEARNS ASSOCIATES, LLC
15 WILLIAMSON LANE
LAMBERTVILLE, NJ 08530-3528

TRAFFIC ENGINEER:

BOWMAN
6 CAMPUS DR, 3RD FLOOR
PARSIPPANY, NJ 07054

SHEET INDEX

CIVIL ENGINEERING PLANS
VAN NOTE-HARVEY ASSOCIATES, INC.:

SHT.#	TITLE
CVR	COVER SHEET
VIC	VICINITY PLAN AND KEY MAP
OVL	OVERALL SITE PLAN
CE-1	SITE DEMOLITION PLAN
CE-2	SITE LAYOUT PLAN
CE-3	SITE GRADING PLAN
CE-4	SITE DRAINAGE AND UTILITY PLAN
CE-5	SOIL EROSION & SEDIMENT CONTROL PLAN
CE-6	SOIL EROSION & SEDIMENT CONTROL NOTES
CE-7	SOIL EROSION & SEDIMENT CONTROL DETAILS
CE-8	CONSTRUCTION DETAILS 1
CE-9	CONSTRUCTION DETAILS 2
TURN-1	TURNING MOVEMENT PLAN
1	EXISTING CONDITIONS SURVEY

LANDSCAPE/LIGHTING PLANS

STEARNS ASSOCIATES:

SHT.#	TITLE
L1.0	TREE REPLACEMENTS, 20 SCALE
L1.1	PLANTING PLAN, 50 SCALE
L1.2	PLANTING PLAN, 10 SCALE
L2.0	PLANTING DETAILS
L3.0	HARDSCAPE DETAILS
L4.0	LIGHTING PLAN, PREVIOUS APPROVED FOR REFERENCE 50 SCALE
L4.1	LIGHTING PLAN 20 SCALE
L4.2	LIGHTING DETAILS

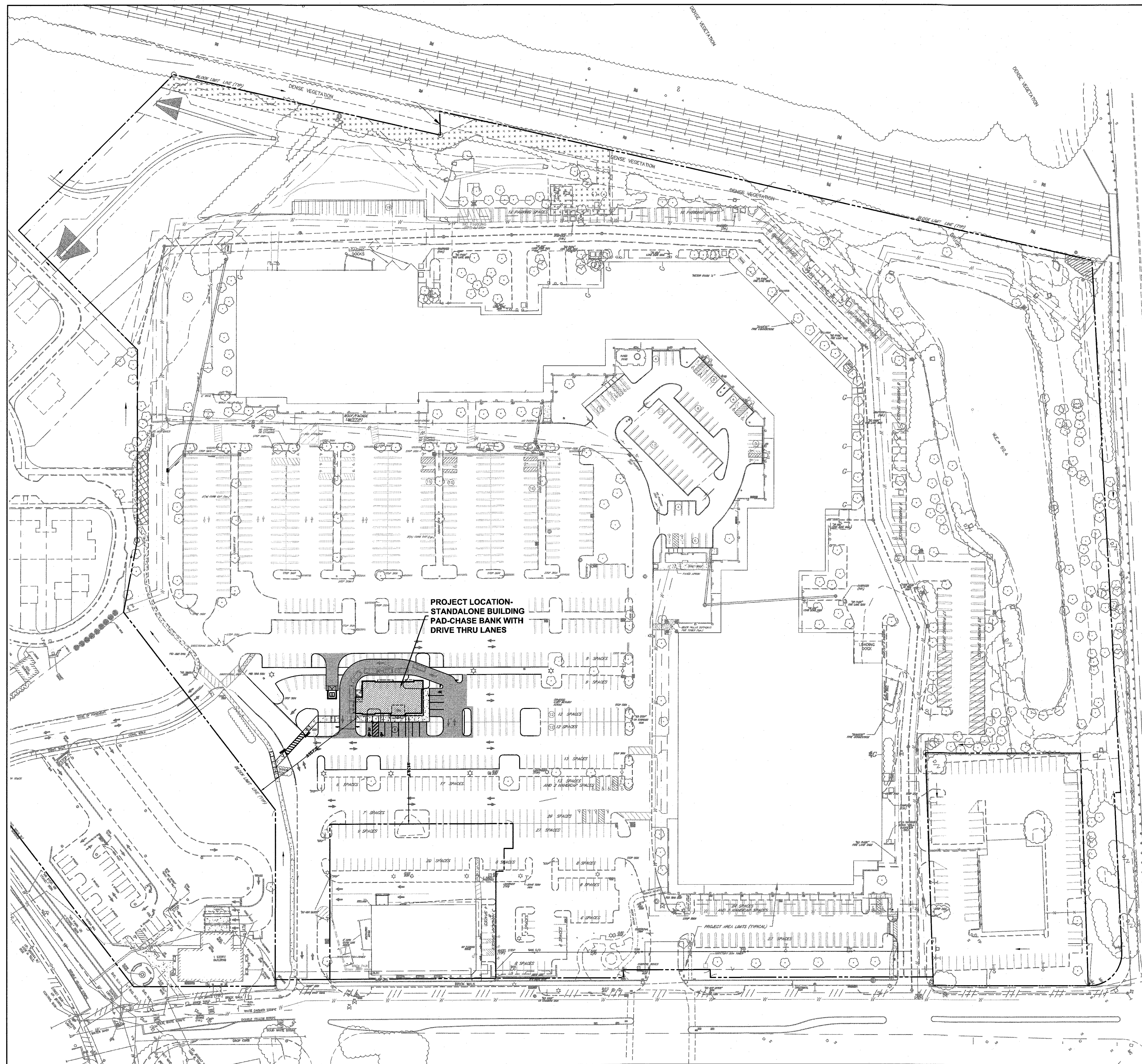
APPROVED BY THE PLAINSBORO TOWNSHIP PLANNING BOARD. PT#

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

















VNHA Project No.
PLPOL22001

CVR











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EXISTING LEGEND

	LIGHT STANDARD
	SANITARY MANHOLE
	HANDICAP PARKING SPACE
-X-	FENCE
	SIGN
	OUT-FLOW STRUCTURE
	E.S. STORM MANHOLE
	FIRE HYDRANT
	"B" INLET
	HEADWALL
	CURB DEPRESSION
	INLET TRANSFORMER
	"A" INLET
	GAS VALVE
	WATER VALVE
	CURB
	PARKING STRIPE
--80--	CONTOUR

PROPOSED LEGEND

	PAVEMENT MARKING
	CONCRETE PATH/ SIDEWALK
	PAVEMENT MILLING
	EDGE OF PAVEMENT
	CURB
	FLUSH CURB
	PARKING STRIPE (HAIRPIN)
	HANDICAP SYMBOL
	PARKING COUNT
	TRAFFIC SIGN

DEMOLITION LEGEND
~~XXXX~~ WALK REMOVAL

SESC LEGEND

	CONSTRUCTION ENTRANCE
	LIMITS OF DISTURBANCE

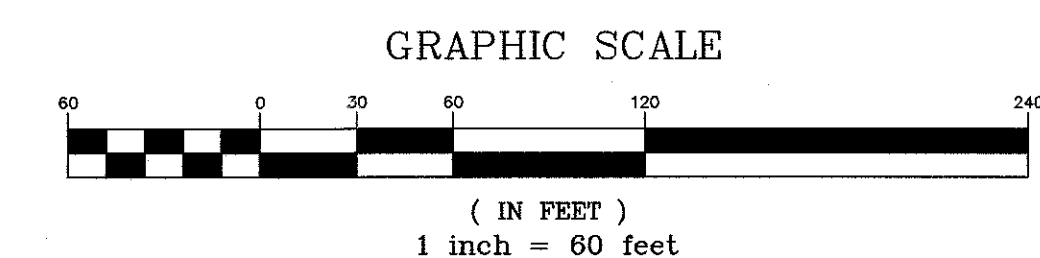
ZONING DATA:
TAX SHEET 16, BLOCK 1602, LOTS 5 AND 7
TAX SHEET 15, BLOCK 1508, LOT 7
ZONE: GB GENERAL BUSINESS

DESCRIPTION	CODE REQUIREMENTS	EXISTING LOTS 5 AND 7	LOTS 5 AND 7-APPROVED JUNE 10, 2014	PROPOSED BUILDING PAD FOR CHASE BANK
MINIMUM				
LOT AREA	25 ACRES	28.223± AC.	NO CHANGE	NO CHANGE
LOT FRONTAGE	425 FEET	± 905 FT.	NO CHANGE	NO CHANGE
LOT DEPTH	450 FEET	± 937 FT.	NO CHANGE	NO CHANGE
FRONT BUILDING SETBACK	¹	± 4.6 FT.	NO CHANGE	NO CHANGE
BACK BUILDING SETBACK	¹	± 71 FT.	NO CHANGE	NO CHANGE
SIDE BUILDING SETBACK (ONE SIDE ONLY)	¹	± 59 FT.	NO CHANGE	NO CHANGE
IMPROVEMENT SETBACK FROM PLAINSBORO RD.	100 FEET	N/A	N/A	N/A
MAXIMUM				
PAD SITE BUILDING FROM SCHALKS CROSSING RD.	5 FEET	4.6 FT.	NO CHANGE	NO CHANGE
LOT COVERAGE- BUILDINGS	20%	18.07%	NO CHANGE	18.39%
LOT COVERAGE- IMPROVEMENTS	65%	61.8% (±758,400 SF)	61.3% ² (±753,900 SF)	61.0% ³ (±749,700 SF)
FLOOR AREA RATIO	0.20	0.181 (±224,794 SF)	0.186 (±228,294 SF)	0.189 (±232,219 SF)
BUILDING HEIGHT	1 STORY (28 FT. OR 30 FT. FOR OFFICE)	± 27'6"	NO CHANGE	NO CHANGE

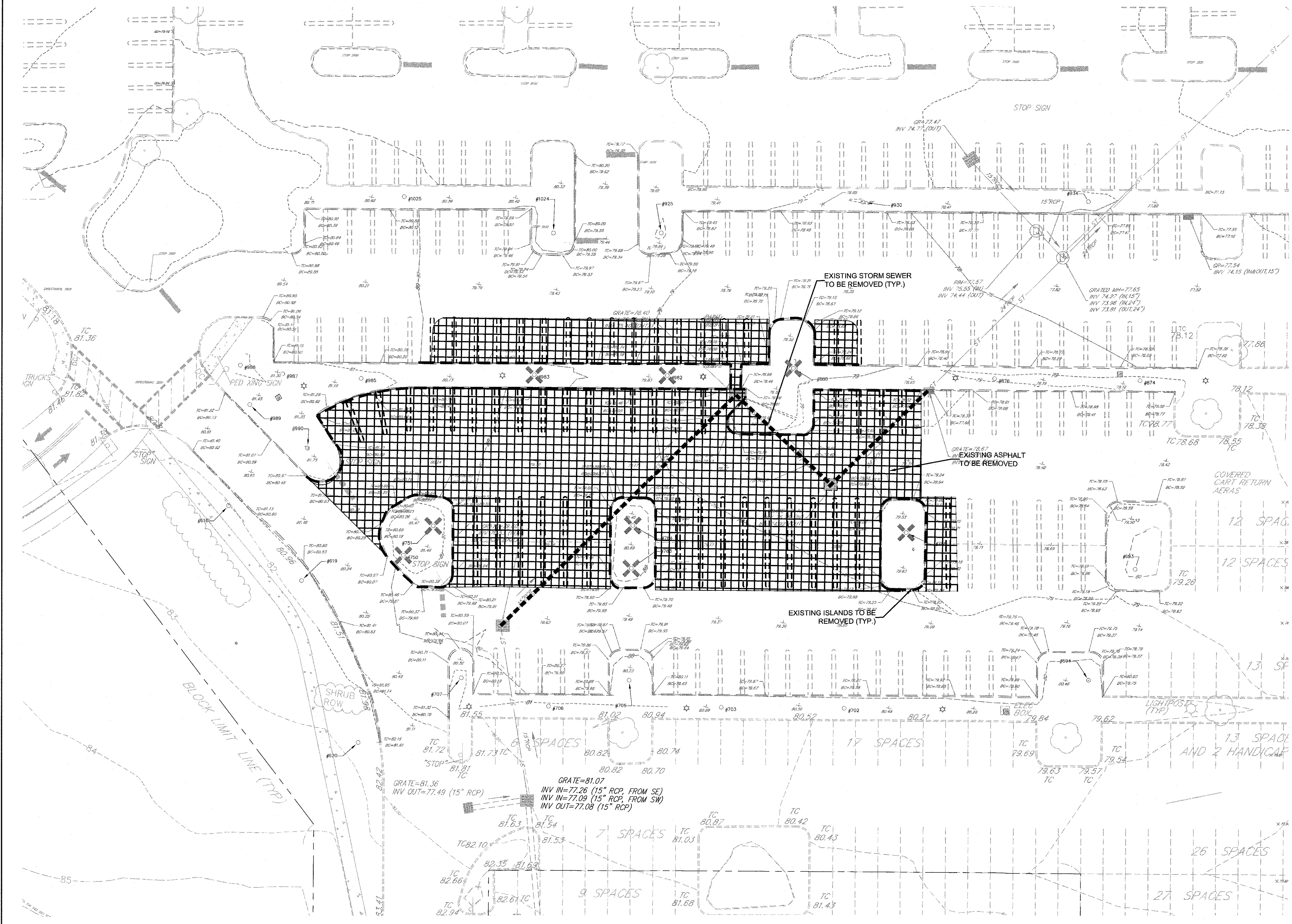
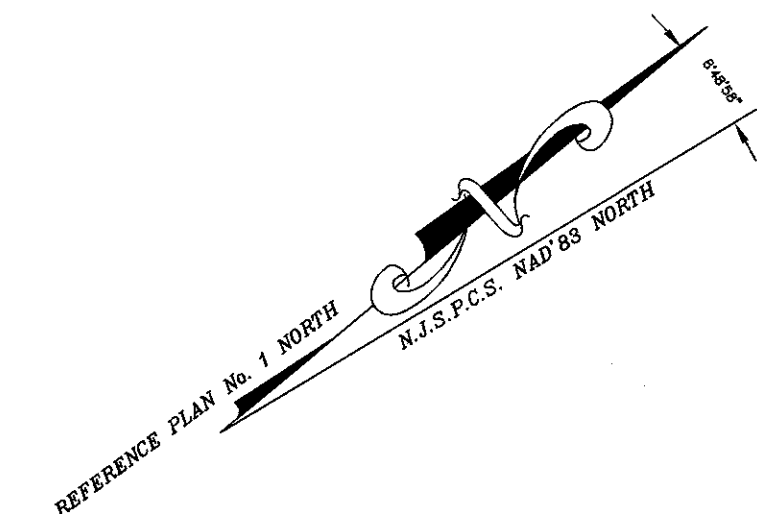
- 1 NO CODE REQUIREMENT
- 2 BASED ON IMPERVIOUS AREAS OF LOT. EXISTING IMPERVIOUS AREA TOTALS 16.606 AC., PROPOSED
3 IMPERVIOUS AREA TOTALS 16.503 AC. YIELDING A NET DECREASE OF 0.103 AC. IN IMPERVIOUS AREAS.
- 3 6,400 S.F. OF NET IMPERVIOUS AREAS REMOVED

PARKING DATA	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228.294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3478/250 ²	14		-75
LANDBANKED SPACES	-	-	46	-8
TOTAL SPACES	(228.294 x 5.5) + (3,478/250)	1266	1030	947
HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41
VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

- * CURRENT CONDITIONS
- 1 EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF
PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13-11, PLAINSBORO
TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00-02,
APPROVED AUGUST 21, 2000.
- 2 PER PLAINSBORO TOWNSHIP CODE SECTION 85-44, MINIMUM NUMBER OF PARKING
SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.
- 3 PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL
SPACES MUST BE HANDICAP-ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO
TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15
SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE
HANDICAP-ACCESSIBLE.
- 4 PER ADA REQUIREMENTS



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TREE INFORMATION			
TAG#	COMMON NAME	WIDTH (INCHES)	HEIGHT (FEET)
618	HONEY LOCUST	15	40
619	HONEY LOCUST	15	40
620	CRAB APPLE	12	20
693	RED MAPLE	12	30
694	RED MAPLE	15	35
702	HONEY LOCUST	8	30
703	HONEY LOCUST	10	30
705	HONEY LOCUST	8	30
707	HONEY LOCUST	8	25
*750	HONEY LOCUST	10	25
*751	RED MAPLE	12	30
*783	HONEY LOCUST	9	25
*784	RED MAPLE	11	30
*786	RED MAPLE	12	35
874	HONEY LOCUST	12	30
876	HONEY LOCUST	12	30
*880	RED MAPLE	12	35
925	HORN BEAN	5	20
930	HORN BEAN	5	20
934	HORN BEAN	5	20
*982	HONEY LOCUST	10	30
*983	HONEY LOCUST	10	30
985	HONEY LOCUST	10	30
987	RED MAPLE	12	35
988	RED MAPLE	8	30
989	HONEY LOCUST	15	40
990	RED MAPLE	8	30
1024	HORN BEAN	4	20
1025	HORN BEAN	4	20

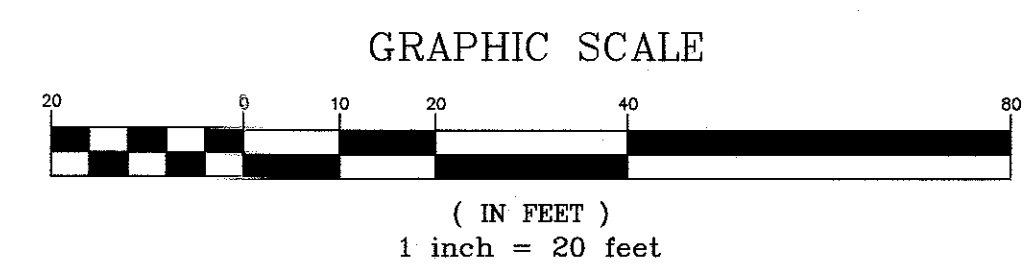
*DENOTES EXISTING TREES TO BE REMOVED.

PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



VNHA SYMBOLS LEGEND:

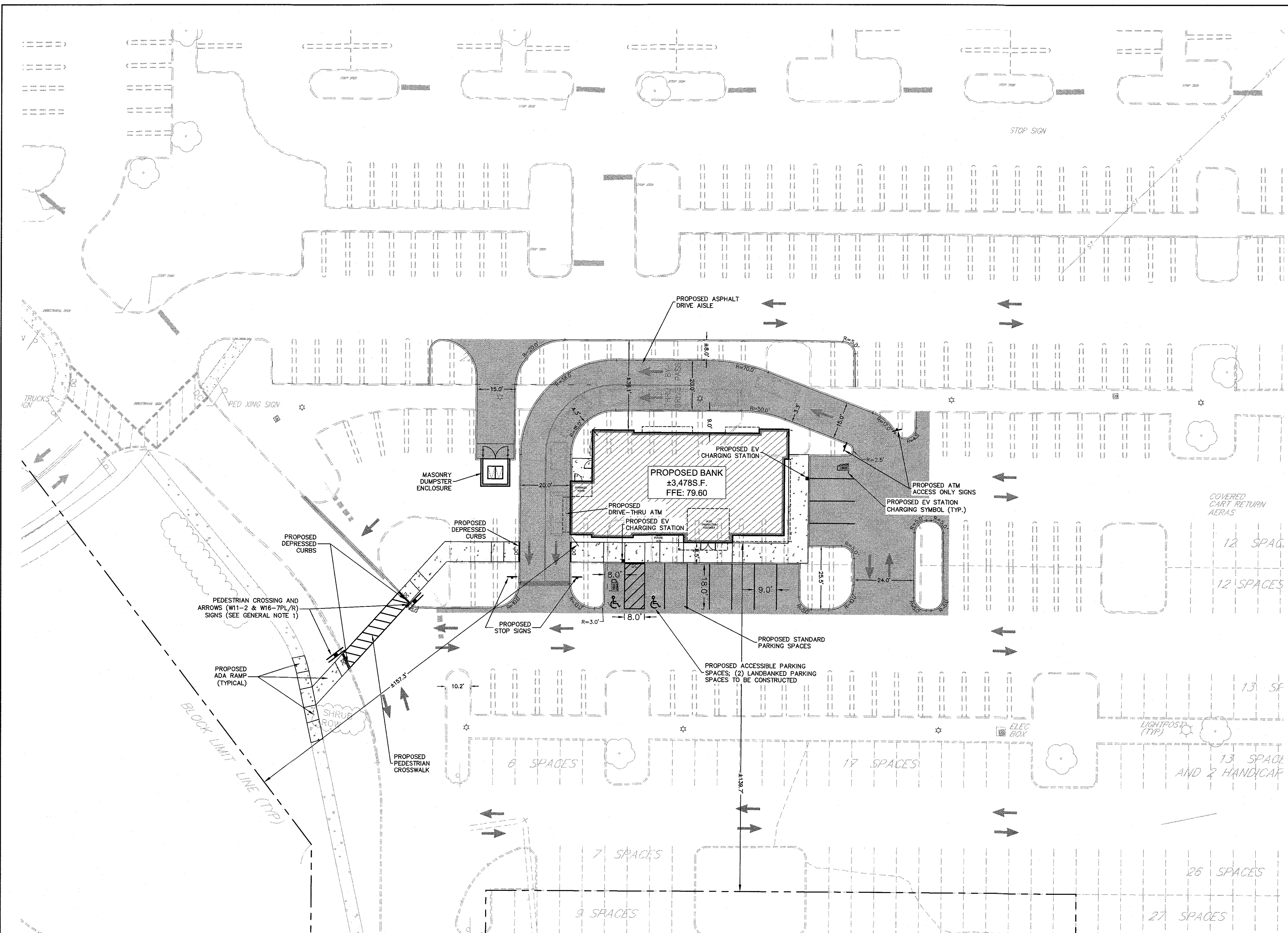
- | | | |
|----------------|------------------------|---------------------------|
| SPOT ELEVATION | STORM GRATE | MAJOR TOPOGRAPHIC CONTOUR |
| TOP OF CURB | STORM DRAINAGE MANHOLE | MINOR TOPOGRAPHIC CONTOUR |
| BOTTOM OF CURB | SANITARY SEWER MANHOLE | STORM SEWER |
| DEPRESSED CURB | ELECTRIC MANHOLE | |
| CLEAN OUT | UTILITY MANHOLE | |
| LIGHT POST | FIRE HYDRANT | |
| #26 TREE I.D. | | |
| | BOLLARD | |
| | GAS VALVE | |
| | WATER VALVE | |
| | SIGN | |
| | UTILITY BOX | |



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www.vannoteharvey.com Certificate of Authorization www.pennoni.com No. 24GA28033300		
SITE DEMOLITION PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP MIDDLESEX CO. N.J. SCALE: 1" = 20' JULY 20, 2023		
REV. DESCRIPTION DATE DFT. BY CKD. BY	DRAWN BY: WDV DATE: 43986-400-21 CHECKED BY: RAP DATE:	FIELD BK. ORDER No. 207-C-3 PAGE 400-21 SHEET No. CE-1

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

8/20/2023
DATE OF SIGN.



PARKING SCHEDULE:

PARKING DATA	REQUIREMENT	REQUIRED	EXISTING ²	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228,294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3432/250 ²	14	-	-75
LANDBANKED SPACES		-	46	-8
TOTAL SPACES	(228,294 x 5.5) + (3,432/250)	1270	1030	947

HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41

VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

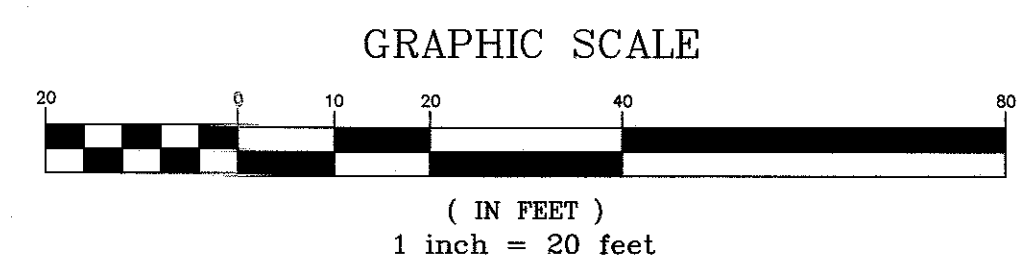
- * CURRENT CONDITIONS
- 1 EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13-11, PLAINSBORO TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00-02, APPROVED AUGUST 21, 2000.
- 2 PER PLAINSBORO TOWNSHIP CODE SECTION 85-44, MINIMUM NUMBER OF PARKING SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.
- 3 PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL SPACES MUST BE HANDICAP-ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15 SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE HANDICAP-ACCESSIBLE.
- 4 PER ADA REQUIREMENTS

PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



VNHA SYMBOLS LEGEND:

- | | | | |
|----------------|------------------------|-------------|---------------------------|
| SPOT ELEVATION | STORM GRATE | BOLLARD | MAJOR TOPOGRAPHIC CONTOUR |
| TOP OF CURB | STORM DRAINAGE MANHOLE | GAS VALVE | MINOR TOPOGRAPHIC CONTOUR |
| BOTTOM OF CURB | SANITARY SEWER MANHOLE | WATER VALVE | STORM SEWER |
| DEPRESSED CURB | ELECTRIC MANHOLE | SIGN | |
| CLEAN OUT | UTILITY MANHOLE | UTILITY BOX | |
| LIGHT POST | FIRE HYDRANT | | |
| #26 TREE I.D. | | | |



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Certificate of Authorization

No. 24GA2803300

SITE LAYOUT PLAN

OVER PART OF

BLOCK 1602, P.O. LOT 5

PLAINSBORO PLAZA CENTER

CHASE BANK PAD SITE

PREPARED FOR

PLAINSBORO PLAZA OWNER, LLC

SITUATED IN

PLAINSBORO TOWNSHIP

SCALE: 1" = 20'

DATE: JULY 20, 2023

DRAWN BY: WDV

DATE: 43986-400-21

CHECKED BY: RAP

DATE: 207-C-3

FILE NO.

ORDER NO.

SHEET NO.

CE-2

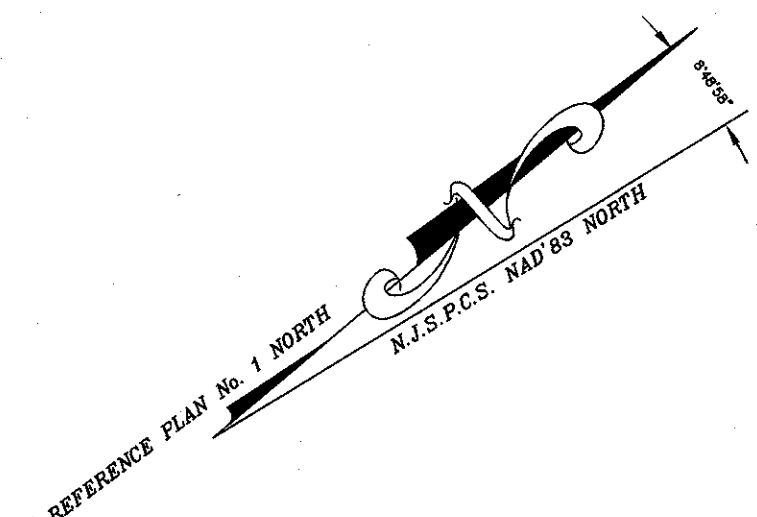
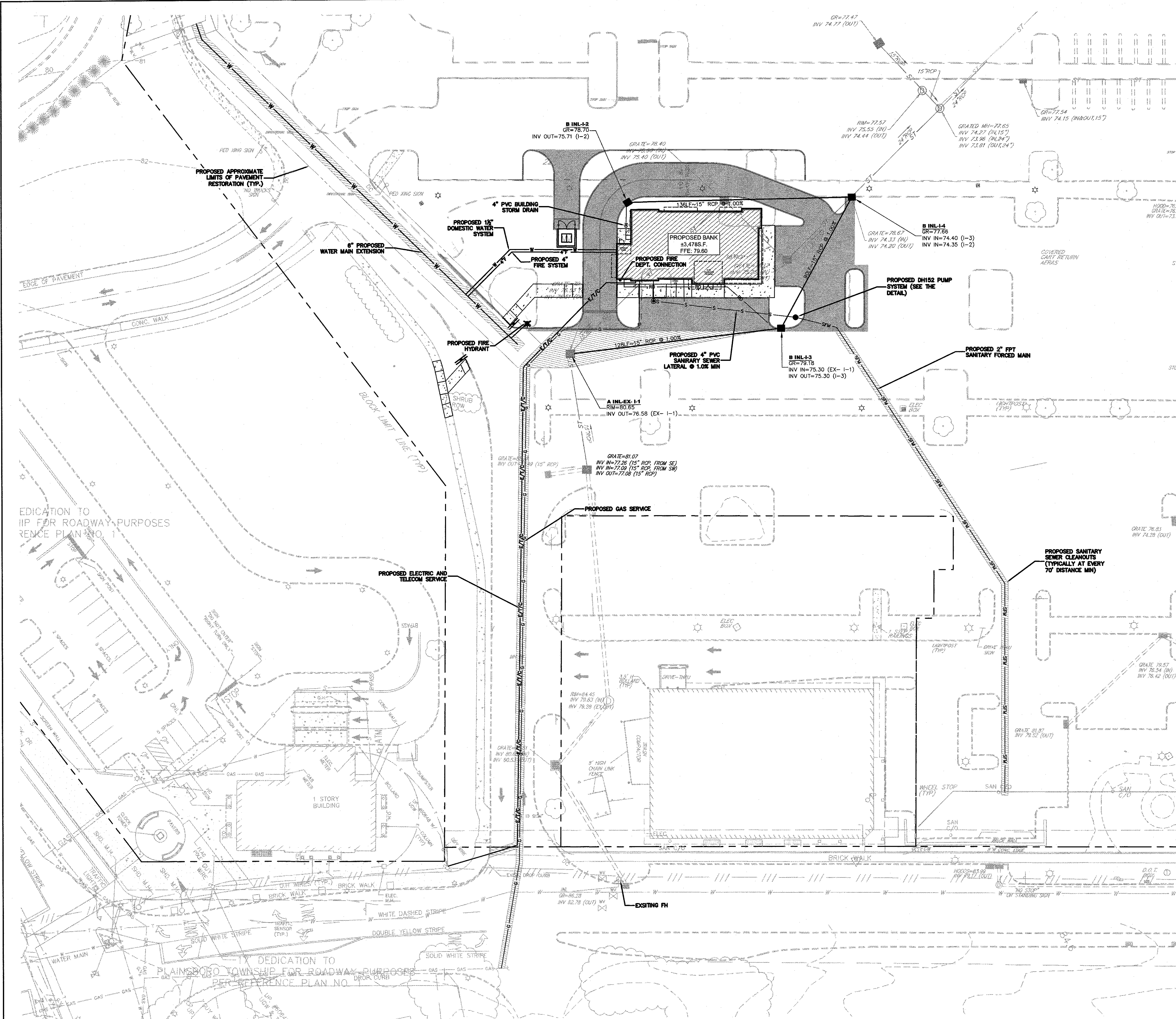
Ralph A. Petrella

07/20/2023

DATE OF SIGN.

RALPH A. PETRELLA

N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160



VNHA SYMBOLS LEGEND:

SPOT ELEVATION	STORM GRATE	BOLLARD	MAJOR TOPOGRAPHIC CONTOUR
TOP OF CURB	STORM DRAINAGE MANHOLE	GAS VALVE	MINOR TOPOGRAPHIC CONTOUR
BOTTOM OF CURB	SANITARY SEWER MANHOLE	WATER VALVE	STORM SEWER
DEPRESSED CURB	ELECTRIC MANHOLE	SIGN	
CLEAN OUT	UTILITY MANHOLE	UTILITY BOX	
LIGHT POST	FIRE HYDRANT		
#26 TREE I.D.			

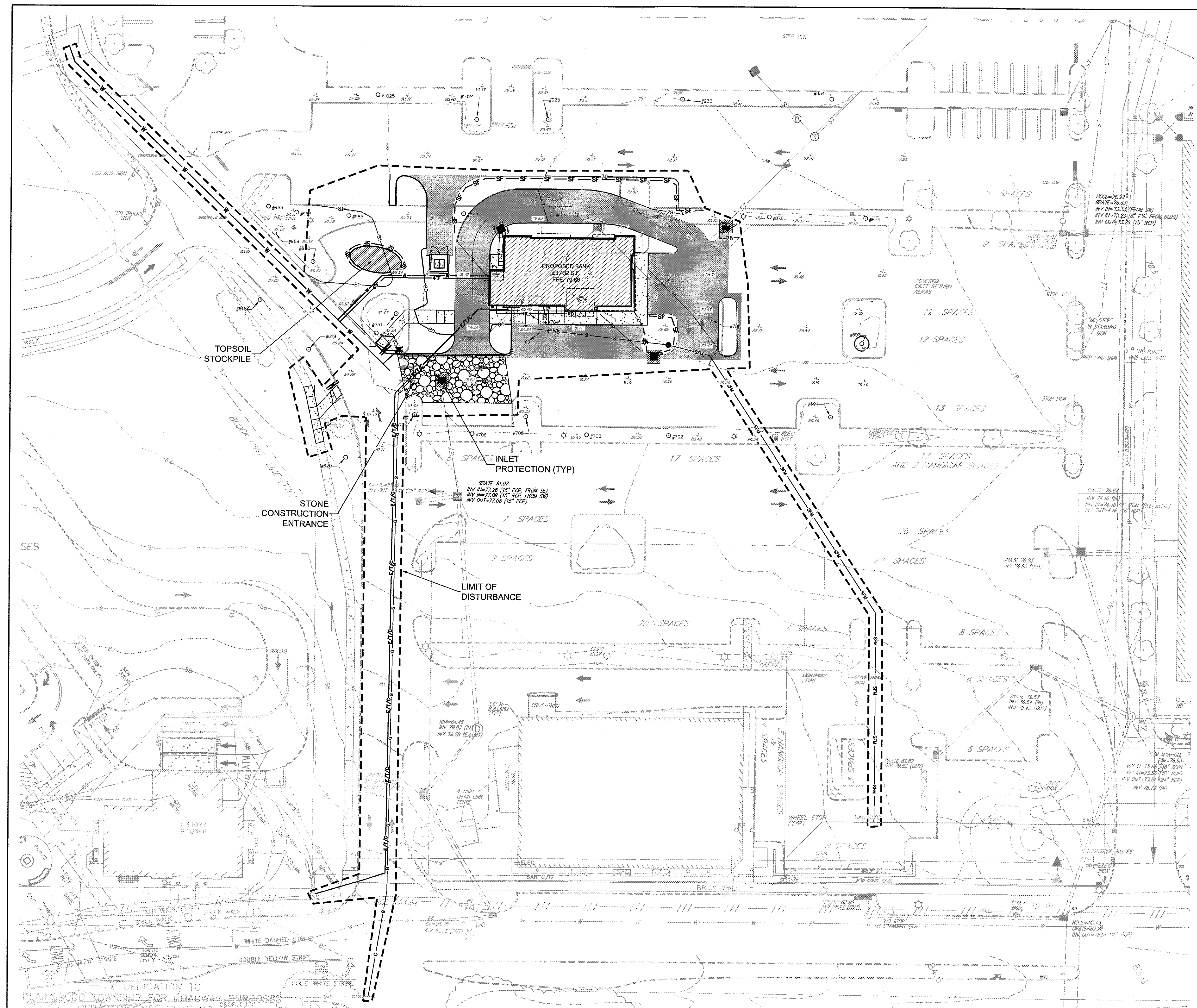
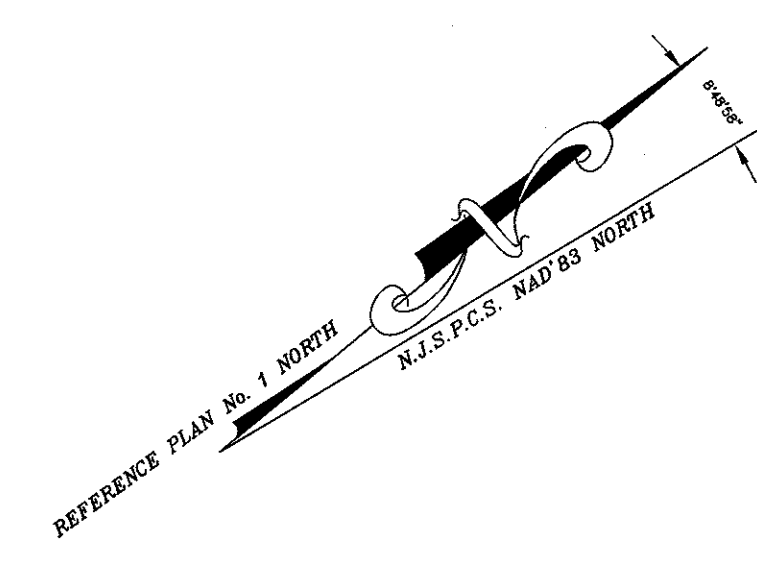
GRAPHIC SCALE
(IN FEET)
1 inch = 30 feet

PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



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SITE DRAINAGE AND UTILITY PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN			
PLAINSBORO TOWNSHIP SCALE: 1" = 30'		MIDDLESEX CO. N.J. JULY 20, 2023	
DRAWN BY: WDV	FIELD BK	ORDER No.	FILE No.
DATE	PAGE	43986-21	207-C-3
CHECKED BY: RAP	DATE	400-21	SHEET No. CE-4

Ralph A. Petrella 07/20/2023
DATE OF SIGN
RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

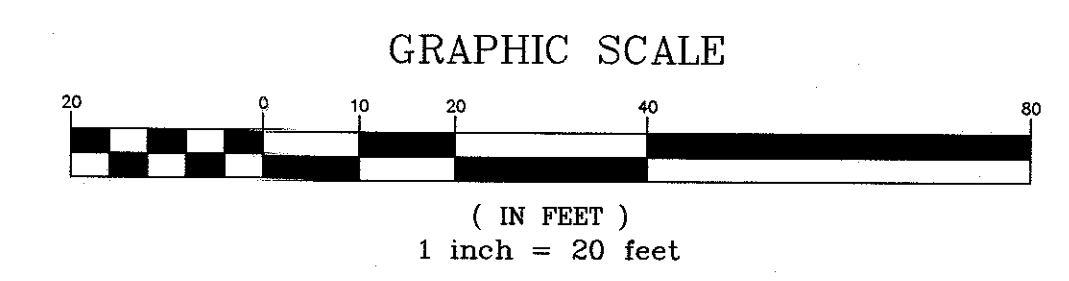


- SOIL EROSION AND SEDIMENT CONTROL LEGEND:**
- LIMIT OF DISTURBANCE
 - SF-SF-SF-SF- SILT FENCE
 - TP- TREE PROTECTION
 - [Hatched Box] INLET PROTECTION
 - [Stippled Box] STONE CONSTRUCTION ENTRANCE
 - [Diagonal Lines Box] TOPSOIL STOCKPILES

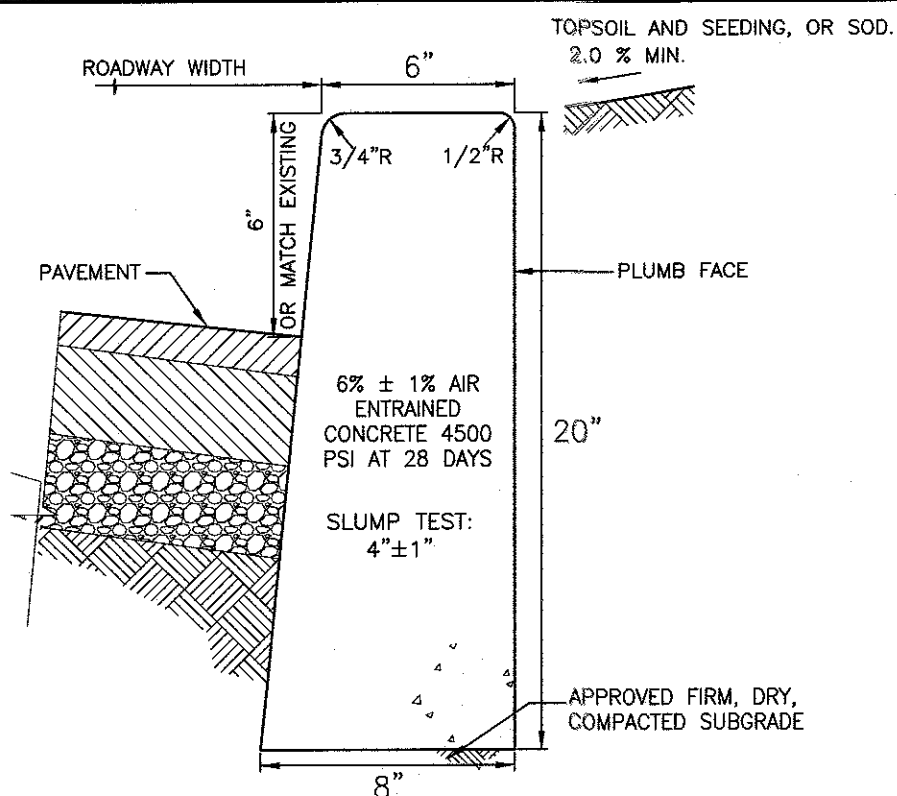
PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



- VNHA SYMBOLS LEGEND:**
- | | | |
|----------------|------------------------|-------------|
| SPOT ELEVATION | STORM GRATE | BOLLARD |
| TOP OF CURB | STORM DRAINAGE MANHOLE | GAS VALVE |
| BOTTOM OF CURB | SANITARY SEWER MANHOLE | WATER VALVE |
| DEPRESSED CURB | ELECTRIC MANHOLE | SIGN |
| CLEAN OUT | UTILITY MANHOLE | UTILITY BOX |
| LIGHT POST | FIRE HYDRANT | |
| #26 TREE I.D. | | |
- MAJOR TOPOGRAPHIC CONTOUR
MINOR TOPOGRAPHIC CONTOUR
STORM SEWER

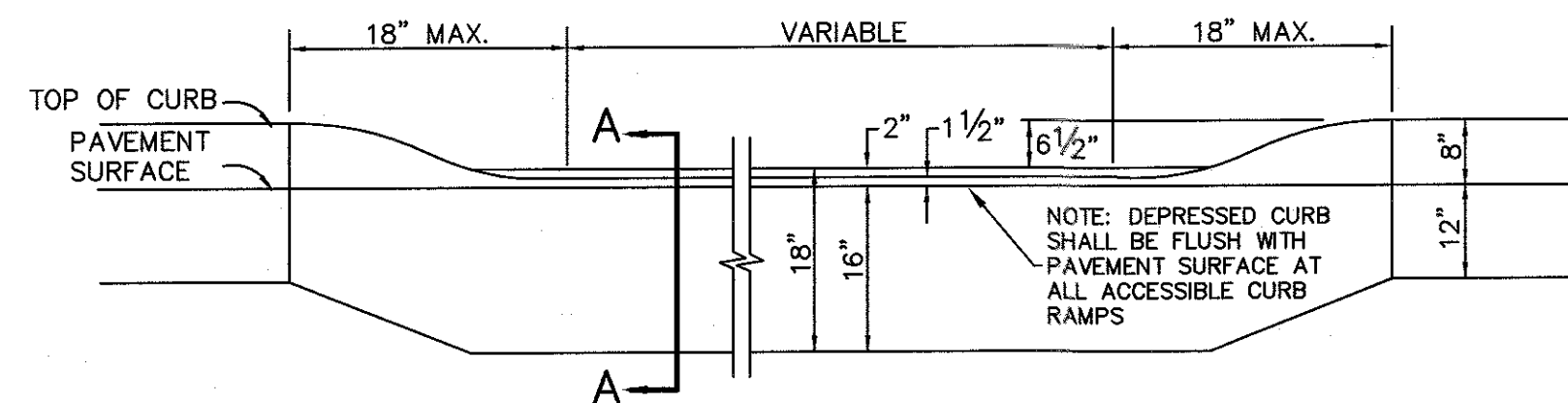
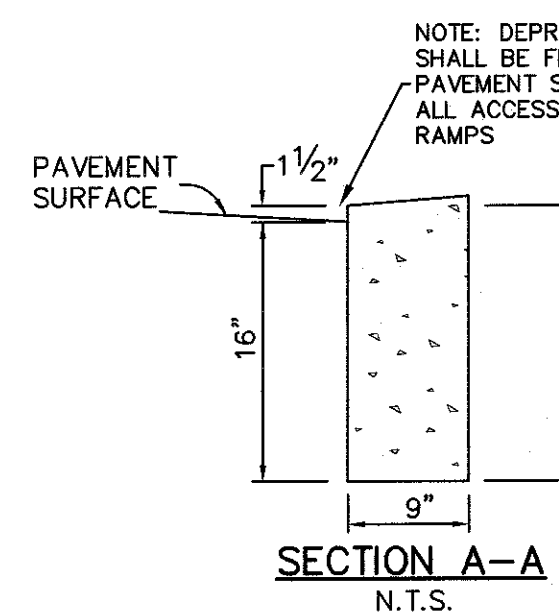


van note-harvey division of pennoni 193 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2800 www.vannoteharvey.com Certificate of Authorization No. 24GA28033300 www.pennoni.com		811 Know what's below. Call before you dig.	
SOIL EROSION AND SEDIMENT CONTROL PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP MIDDLESEX CO., N.J. SCALE: 1" = 20' JULY 20, 2023			
REV.	DESCRIPTION	DATE	DFT. BY
<i>Ralph A. Petrella</i> 07/20/2023 DATE OF SIGN.			
RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160		DRAWN BY DATE	CHECKED BY DATE
WDV	RAP	FIELD BK PAGE	ORDER No. 43986-400-21
		FILE No. 207-C-3	SHEET No. CE-5

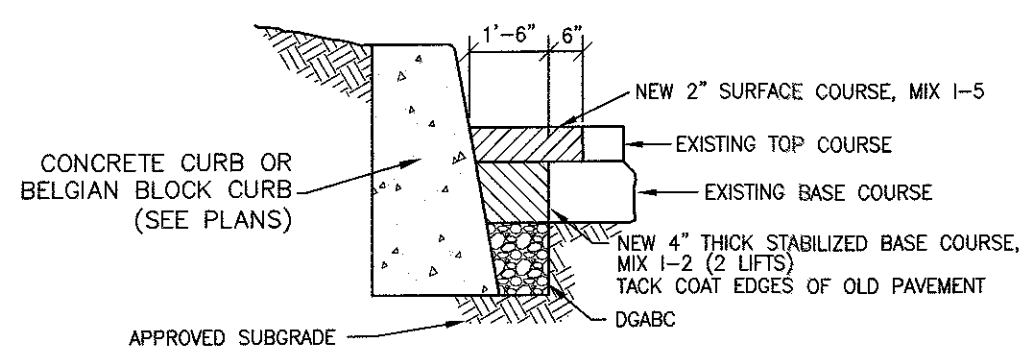


- NOTES:**
1. PROVIDE FULL DEPTH EXPANSION JOINTS AT 10'-0" O.C. WITH 1/4" RADIUS AT JOINT EDGES.
 2. FULL DEPTH EXPANSION JOINT MATERIAL TO BE PREFORMED ASPHALT IMPREGNATED, CELLULAR TYPE JOINT FILLER, STRAIGHT AND PLUMB, AND 1/2" THICK MINIMUM - AASHTO-M153 TYPE II INSET 1/4" FROM FACE TO TOP.
 3. PROVIDE EXPANSION JOINTS BETWEEN CURB AND ADJACENT CONCRETE PAVEMENT, SIDEWALK AND/OR DRIVEWAY APRONS.
 4. HOT-POURED RUBBER ASPHALT JOINT SEALER SHALL BE APPLIED TO PAVEMENT/CURB JOINT AS DIRECTED.
 5. TOP AND FACE TO RECEIVE WOOD FLOAT FINISH TO AN EVEN, SMOOTH, DENSE SURFACE.
 6. MEASURES SHALL BE PROVIDED BY THE CONTRACTOR TO MAINTAIN THE CONCRETE TEMPERATURE BETWEEN 40° AND 80° DURING "COLD WEATHER" PERIODS.
 7. ALL NEW CURB ON PRIVATE PROPERTY AND IN THE MUNICIPAL RIGHT OF WAY SHALL BE BELGIAN BLOCK UNLESS DIRECTED BY THE ENGINEER.

CONCRETE CURB DETAIL
NTS

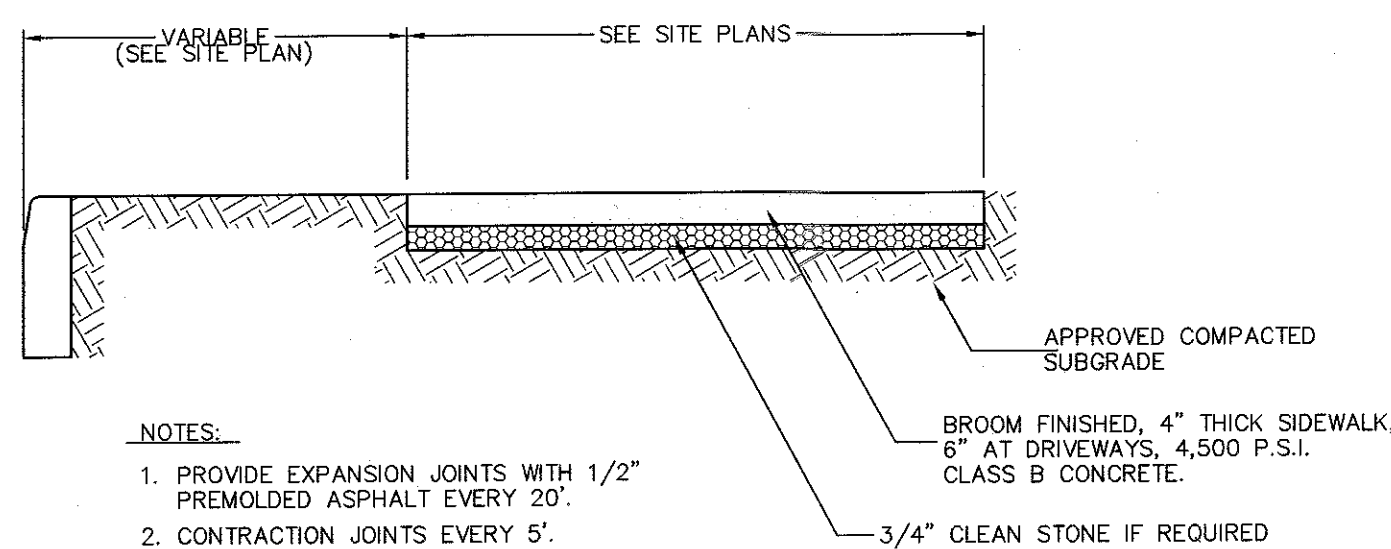


DEPRESSED CURB DETAIL
NTS



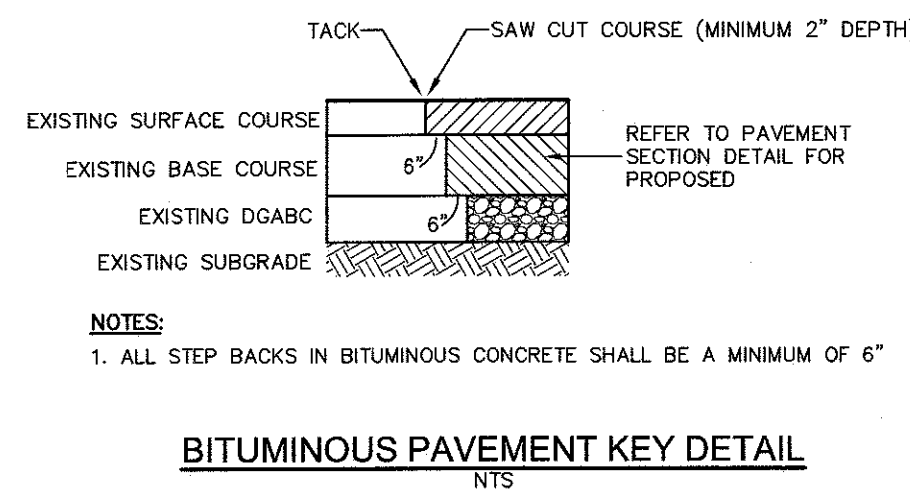
- NOTES:**
1. EDGE OF ADJACENT PAVEMENT TO BE CUT WITH DIAMOND PAVEMENT SAW AND PRIMED WITH THE SUITABLE PRIMER.
 2. PRIOR TO INSTALLATION OF BASE COURSE, AS-BUILT CURB ELEVATIONS SHALL BE SUBMITTED TO TWP. ENGINEER FOR APPROVAL.
 3. UNSUITABLE/UNSTABLE SUBGRADE TO BE REMOVED AND REPLACED WITH APPROVED MATERIAL.
 4. BEFORE CONSTRUCTION OF THE SURFACE COURSE, THE BASE COURSE MUST BE CLEANED OF ALL FOREIGN MATTER.
 5. ALL NEW CURB ON PRIVATE PROPERTY AND IN THE MUNICIPAL RIGHT OF WAY SHALL BE BELGIAN BLOCK UNLESS DIRECTED BY THE ENGINEER.
 6. ALL HORIZONTAL AND VERTICAL EDGES OF EXISTING PAVEMENT MUST BE TACK COATED BEFORE NEW BASE COURSE AND NEW SURFACE COURSE ASPHALT IS PLACED.

CONSTRUCTION OF CURB IN EXISTING PAVEMENT DETAIL
NTS

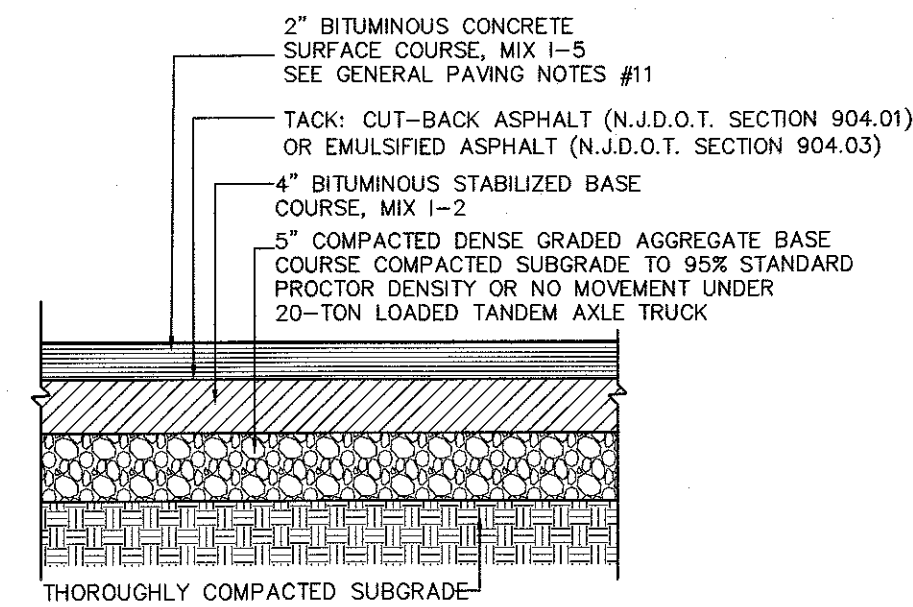


- NOTES:**
1. PROVIDE EXPANSION JOINTS WITH 1/2" PREFORMED ASPHALT EVERY 20'.
 2. CONTRACTION JOINTS EVERY 5'.

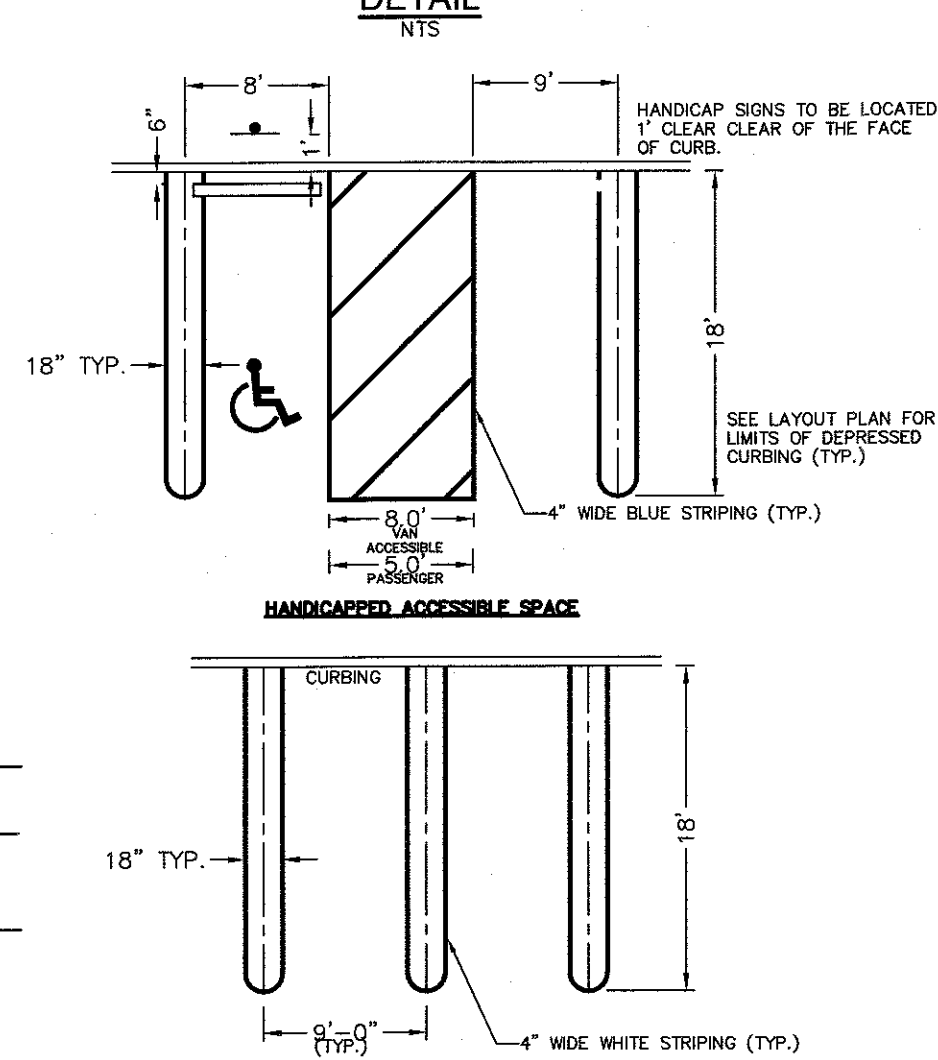
CONCRETE SIDEWALK DETAIL
nts



BITUMINOUS PAVEMENT KEY DETAIL
NTS

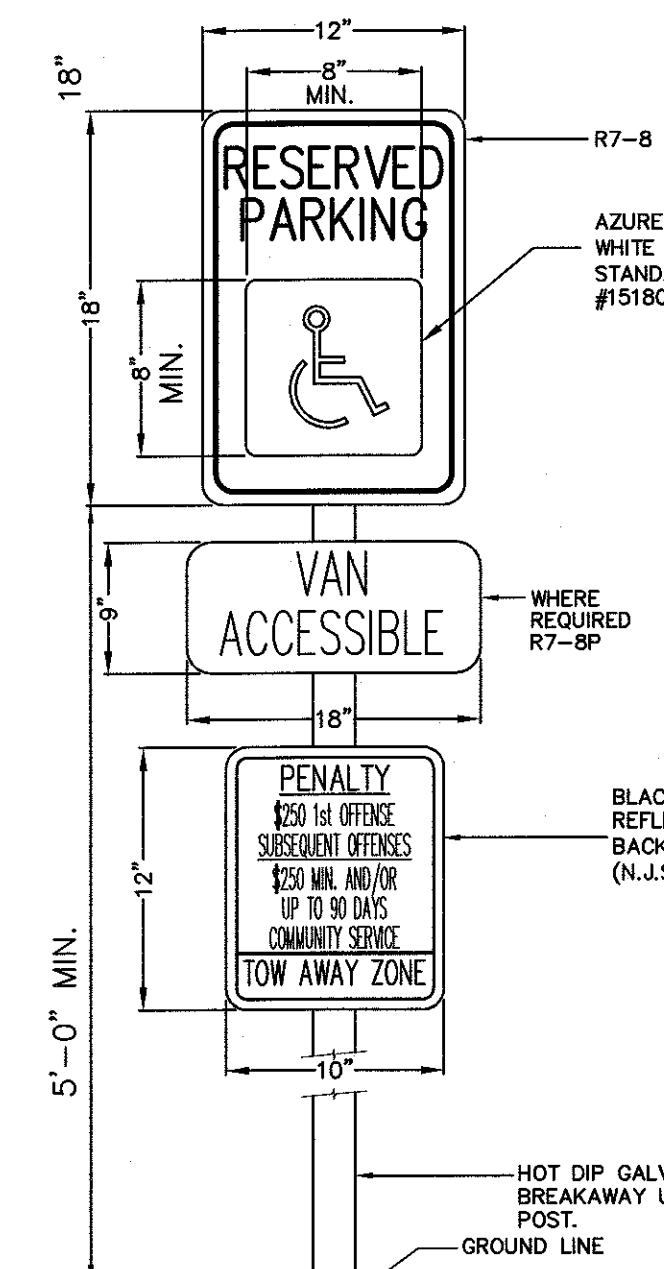


BITUMINOUS PAVEMENT SECTION DETAIL
NTS



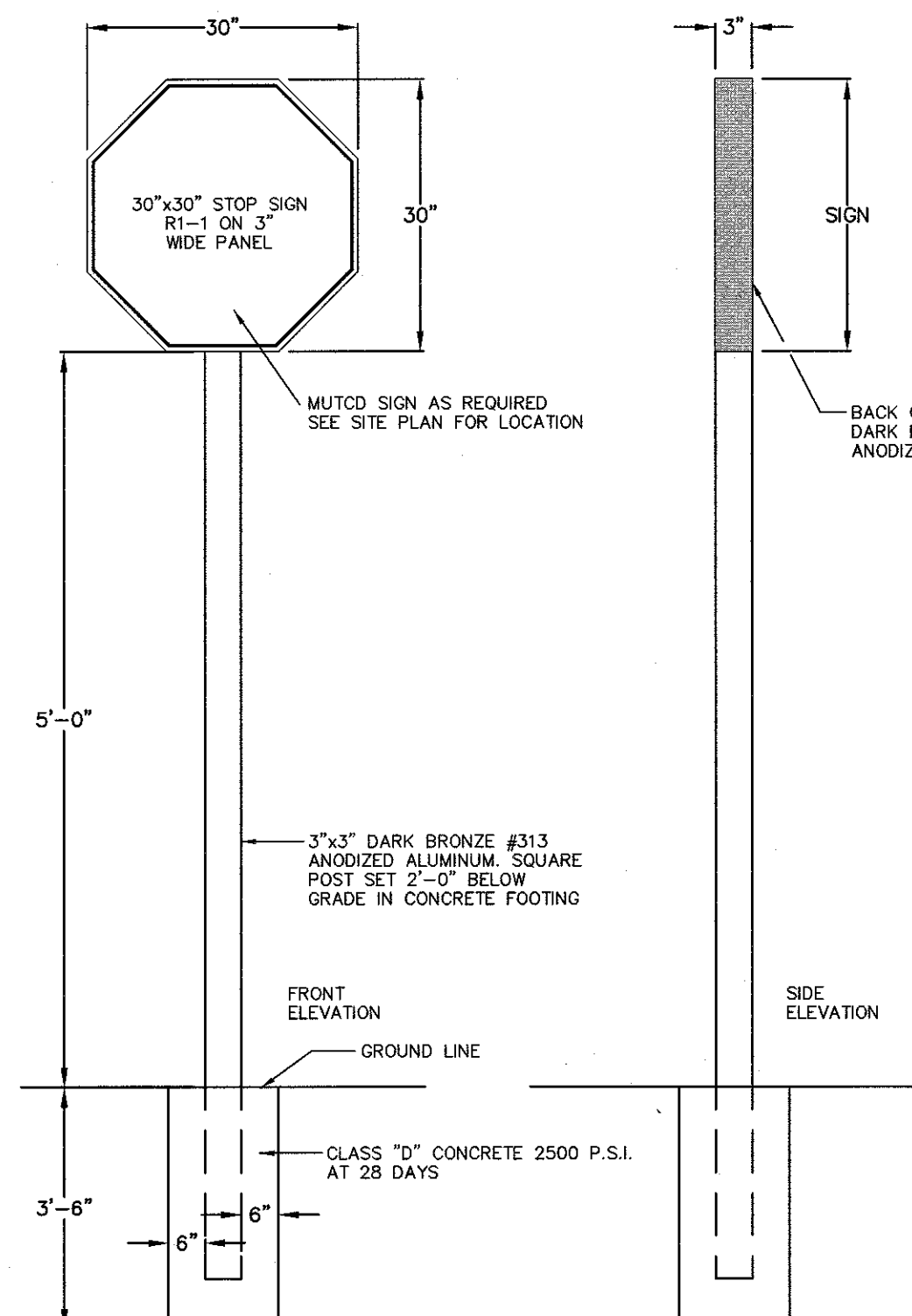
- NOTES:**
1. ALL TRAFFIC MARKINGS ARE TO BE THERMO PLASTIC.
 2. ALL STRIPING ASSOCIATED WITH THE HANDICAP SPACES SHALL BE 4" AZURE BLUE.

PAVEMENT PARKING STRIPING DETAIL
NTS



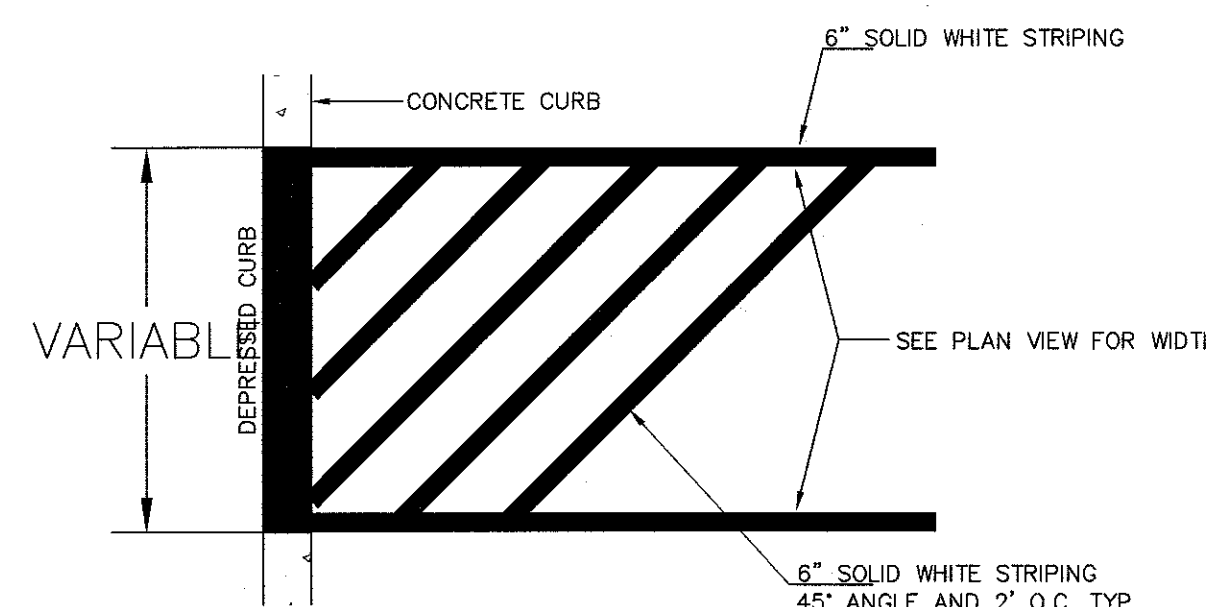
- NOTES:**
1. SEE TYPICAL SIGN POST & MOUNTING DETAIL.

HANDICAPPED PARKING SIGN DETAIL
NTS



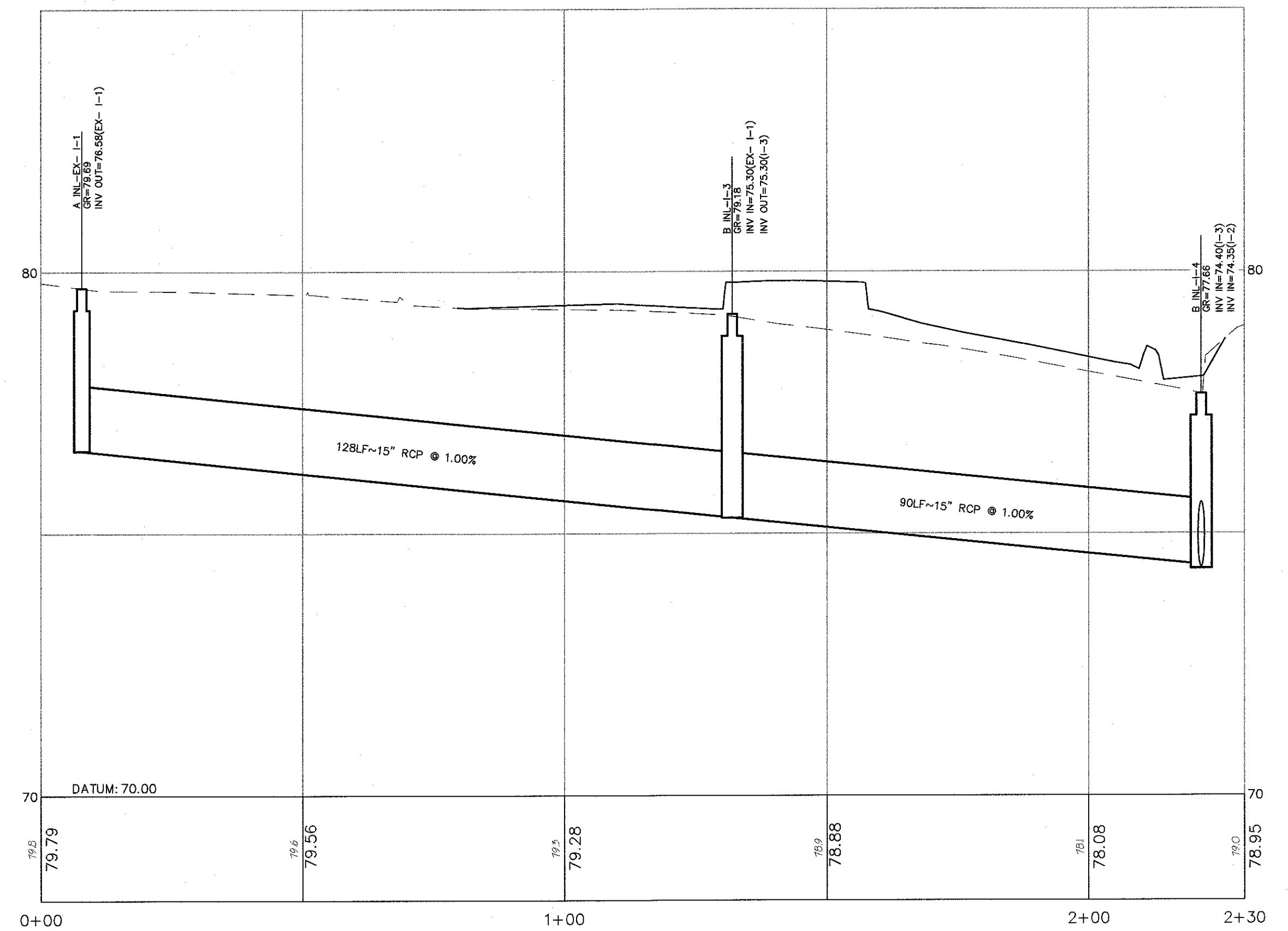
TRAFFIC CONTROL SIGN DETAIL
NTS

- NOTES:**
1. SIGNS FACE MUST CONFORM TO THE U.S. DEPT. OF TRANSPORTATION SPECIFICATIONS FOR UNIFORM TRAFFIC CONTROL DEVICES.
 2. USE POST FOR ALL SIGNS.



- NOTE:** ALL EXISTING CROSSWALKS TO REMAIN. REPAINT EXISTING CROSSWALKS IF NECESSARY.

STRIPING DETAIL - CROSSWALK
nts



EX. IN-1 to IN-4



IN-2 to IN-4

STORM DRAIN PROFILES
SCALE: HORIZ. 1"=20'
SCALE: VERT. 1"=2'

REV.	DESCRIPTION	DATE	DFT. BY	CHK. BY

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

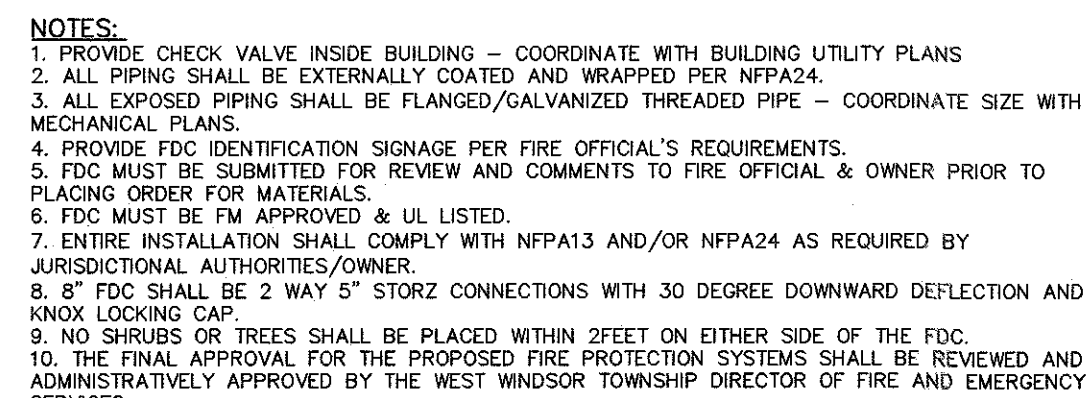
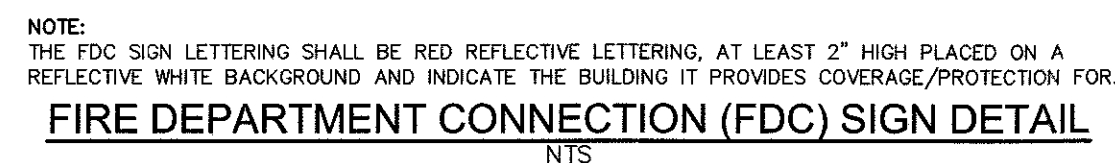
van note-harvey division of pennoni
103 College Road East • Princeton, NJ 08540 • 609-887-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600

CONSTRUCTION DETAILS 1
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
SITUATED IN
PLAINSBORO TOWNSHIP MIDDLESEX CO. N.J.
JULY 20, 2023

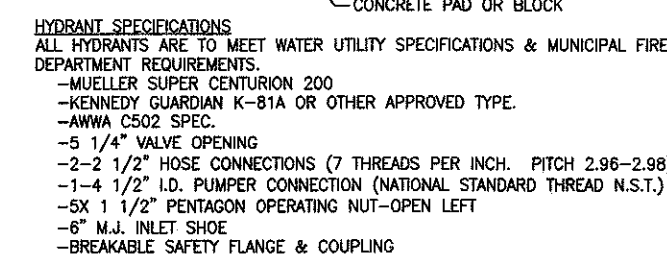
CHECKED BY RAP **DATE** **PAGE** **ORDER No.** **FILE No.** **SHEET No.**
43986- 207-C-3 **CE-8**



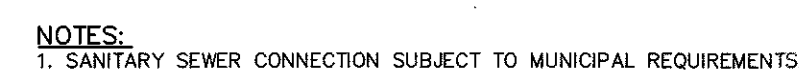
Know what's below.
Call before you dig.



S. FIRE DEPARTMENT CONNECTION DETAIL
NTS



FIRE HYDRANT DETAIL
NTS



- NOTES: NTS
1. ONE ELECTRIC VEHICLE ("EV") MAKE-READY PARKING SPACE SHALL BE INSTALLED ON THE PROPERTY NEAR THE FRONT ENTRANCE OF BUILDING A

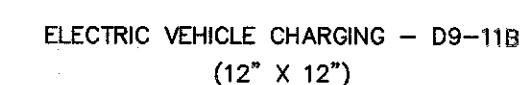


- NOTES**
1. COORDINATE PEDESTAL BASE SIZE, DEPTH AND BOLT CONFIGURATION WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.



- NOTE:
1. SEE PLAN VIEW FOR LENGTH.
 2. ALL TRAFFIC STRIPING AND SYMBOLS SHALL BE LONG-LIFE THERMOPLASTIC MATERIAL.

EV CHARGING STATION STRIPING DETAIL
N.T.S.



EV CHARGING STATION SIGN DETAIL
N.T.S.

- NOTE:
1. ALL SIGNAGE TO BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY SAFETY ADMINISTRATION) 2009 EDITION, REV. 1 MAY 2012, & REV. 2 MAY 2012.



General Features

The model DH152 or DR152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, polyethylene tank, controls, and alarm panel. A single DH152 or DR152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

- ## General Features
- The model DH152 or DH152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, polyethylene tank, controls, and alarm panel. A single DH152 or DH152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.
- Rated for flows of 3000 gpd (11,356 lpd)
 - 150 gallons (568 liters) of capacity
 - Indoor or outdoor installation
 - Standard outdoor heights range from 93 inches to 160 inches
- The DH152 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.
- The DH152 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

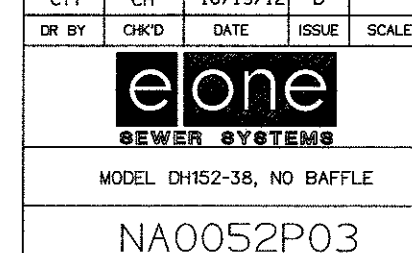
Operational Information

Motor
1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

- Discharge Connections**
Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

Discharge
15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 80 psig (0.49 lps at 56 m)

- ### Accessories
- E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.
- Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.
- The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



- NOTE:
1. SIZE AND COLOR OF PAINTED EV SYMBOL TO BE COORDINATED WITH TOWNSHIP REQUIREMENTS AT TIME OF INSTALLATION.
2. STRIPING TO BE PROVIDED ONCE THE CHARGING STATION IS INSTALLED



van note-harvey division of pennoni
103 College Road East • Princeton, NJ 08540 • 609-987-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600

www.vannoteharvey.com Certificate of Authorization
www.pennoni.com No. 24GA28033300

CONSTRUCTION DETAILS

OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER

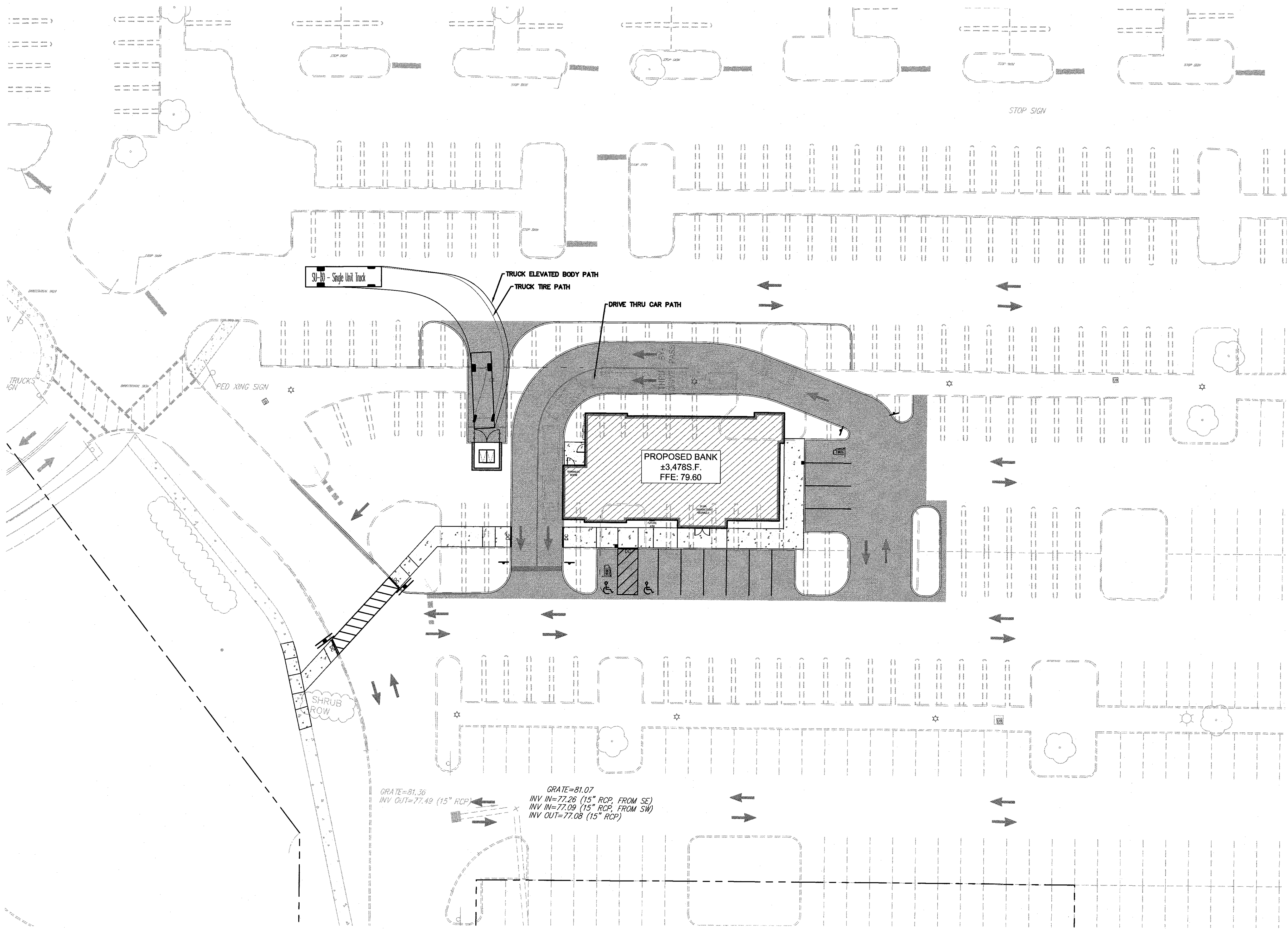
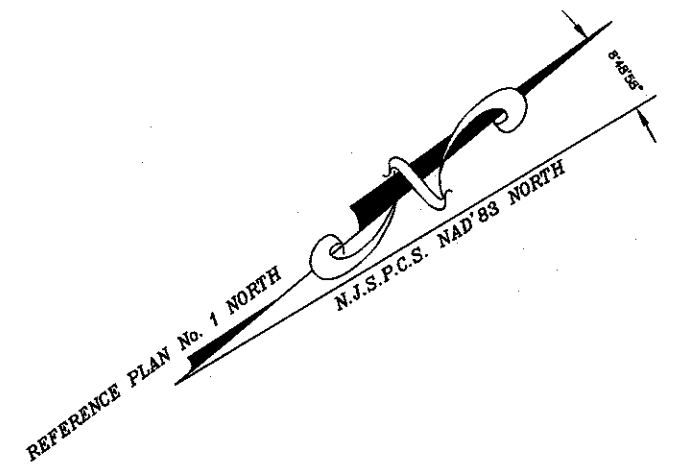
FLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR

PLAINSBORO PLAZA OWNER,
SITUATED IN

PLAINSBORO TOWNSHIP		MIDDLE
SCALE: AS SHOWN		
DRAWN BY	MDV	

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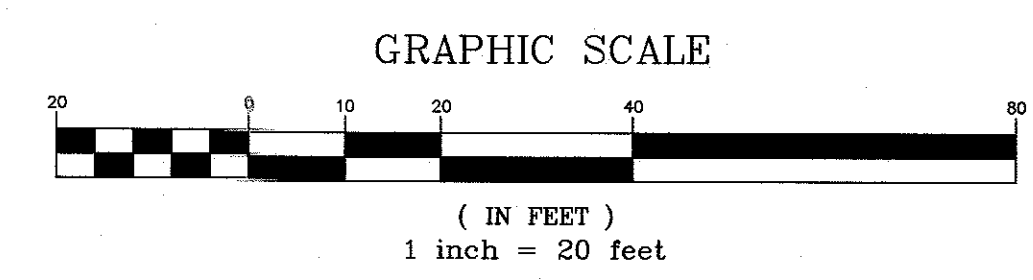


PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



VNHA SYMBOLS LEGEND:

- | | | | |
|----------------|----------------|------------------------|---------------------------|
| SPOTS | SPOT ELEVATION | STORM GRATE | MAJOR TOPOGRAPHIC CONTOUR |
| TOP OF CURB | TOP OF CURB | STORM DRAINAGE MANHOLE | MINOR TOPOGRAPHIC CONTOUR |
| BOTTOM OF CURB | BOTTOM OF CURB | SANITARY SEWER MANHOLE | STORM SEWER |
| DEPRESSED CURB | DEPRESSED CURB | ELECTRIC MANHOLE | |
| CLEAN OUT | CLEAN OUT | UTILITY MANHOLE | |
| LIGHT POST | LIGHT POST | FIRE HYDRANT | |
| #26 TREE I.D. | #26 TREE I.D. | BOLLARD | |
| | | GAS VALVE | |
| | | WATER VALVE | |
| | | SIGN | |
| | | UTILITY BOX | |



van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 809-465-2600 www.vannoteharvey.com www.pennoni.com		Certificate of Authorization No. 24GA28033300	
TURNING MOMENT ANALYSIS PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC			
PLAINSBORO TOWNSHIP SCALE: 1" = 20'		SITUATED IN MIDDLESEX CO. N.J. JULY 20, 2023	
REV.	DESCRIPTION	DATE	DFT. BY
Ralph A. Petrella 7/20/2023 DATE OF SIGN.			
RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160			
DRAWN BY DATE	WV 43986- 400-21	FIELD BK PAGE	ORDER No. FILE No. 207-C-3
CHECKED BY DATE	RAP		SHEET No. TURN-1

Tree Condition Narrative

Introduction

The existing trees that are being removed as part of the Chase Bank Pad Site have been evaluated as to their condition per Plainsboro Township's request.

The intent of this evaluation was to rate the trees as to general landscape character so that the Township professionals and the Planning Board had a general sense of the character and condition of the trees being removed.

Regional Context

The site is located in the Inner Coastal Plane physiographic province, with shale, sandstone and argillite as the general underlying bedrock. The 1987 Middlesex County Soil Survey identifies the soil association as the Sassafras-Woodston. These are nearly level to strongly sloping, deep well drained and moderately well drained, poorly drained and well drained soils with a loamy subsoil and substratum located on uplands.

The pre-development soils on the site (the shopping center was developed circa 1987 to 1990) are Woodstown Loam (WIA) 0 to 2 percent slopes. This soil is nearly level and moderately well drained; the top 8 inches is typically a dark-grayish brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 1.5 to 2.5 feet below grade.

Sassafras Sandy Loam (SaB), 2 to 5 percent slopes. This soil is gently sloping and well drained; the top 8 inches is typically a dark-brown sandy loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Sassafras Loam (SIA), 0 to 2 percent slopes. This soil is nearly level and well drained; the top 8 inches is typically a dark-brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Vegetation Association

The vegetation association of the site area is the Mixed Oak Upland Forest, which is typical for central New Jersey. This vegetation association consists of red oak, white oak, black oak as well as hickory species, maple species, white & green ash, tulip tree, beech, black cherry, black birch, sour gum, and elm. Understory trees typically consist of dogwoods, sassafras, hop hornbeam and ironwood. Understory shrubs consists of viburnums, spicebush, witch hazel and multi-flora rose.

Since the site has been fully developed there are no remnants of established or native woodlands on the site. The landscape that exists is an ornamental landscape that has been planted within the last 30 plus years as part of the development of the Plainsboro Shopping Center and associated parking on the site.

Tree Survey / Evaluation Methodology

This evaluation was made by a field visit by Stearns Associates LLC Landscape Architects on August 1, 2023 and results included on sheets L1.0 Tree Removal-Replacement Plan. Only the trees in the parking lot being affected by the new Chase Bank building and parking were evaluated. These trees are numbered 618 to 1025 per the trees survey by Van Note-Harvey Associates PC dated July 7, 2023.

Each tree was numbered and species noted, diameter measured and height and crown were estimated. Each tree was evaluated and this information was summarized on a table on the Tree Removal Plans called the Trees Proposed to be Removed Condition Chart. A total of 29 trees were surveyed by Stearns Associates LLC.

Each tree was examined for general condition as a landscape tree, primarily examining the root flare, trunk and crown. Root flare was examined to see if flare existed (no root flare can mean there has been filing around the trunk) and if there was evidence of decay. The trunk and branches were examined for evidence of multiple trunks, cavities, decay, cracks, broken branches and dead wood. The canopy was evaluated as to size, form and condition.

After looking at the condition of each tree each was given a general rating of good, fair or poor. A Good rating is a tree with straight trunk and no scars, good structural form, full canopy and no evidence of decay. A Fair rating means that the tree had a straight trunk with minor scarring and or the canopy was stunted had an asymmetrical condition or some dieback. A Poor rating means the tree had severe scarring of the trunk, and/or poor canopy condition.

Each tree had a recommended action and this is shown on the last column on the chart. Only 6 trees of the 29 surveyed are affected that have to be removed. There were three recommendation categories:

Relocate	Trees in good condition that were of a size that could be moved with a tree spade (up to 6" diameter). None are proposed to be relocated, trees too large to transplant.
Replace 2 to 1	Trees in good condition, but too big to move with a tree spade would be replaced at 2 to 1 per Township recommendations for trees less than 12 inches in diameter.

Replace 3 to 1 Trees in good condition, but too big to move with a tree spade would be replaced at 3 to 1 per Township recommendations for trees 12 inches or more in diameter.

Recommendation Action	Quantity	Percent
Relocate	0	0%
Remove-Replace 2 to 1	4	67%
Remove-Replace 3 to 1	2	33%
Total	6	100%

General Condition of the Trees

The existing trees in the parking lot affected by the Chase Bank are two species: Honey Locust and Red Maples.

Species	Quantity	Percent
Honey Locust	14	48%
Red Maple	9	32%
Other species	6	20%
Total	29	100%

The existing trees in the parking lot are generally in good condition. In general the trees have good trunk and crown development. The following is a general list of the poor conditions we observed:

Dead or missing central leader
Dead branches, requires pruning
Dieback on limbs, minor to severe
Limbs missing
Scarring on the trunk, minor to severe
Some trunk decay

There are a total of 29 trees evaluated and the rating summarized as follows:

Rating	Quantity	Percent
Good	27	93%
Fair	2	7%
Poor	0	0%
Total	29	100%

Tree Replacement Calculations

Plainsboro Township has recently required that trees less than 12 inch diameter be replaced at 2 trees for each one remove (2:1), and trees greater than 12 inch diameter be replaced at 3 trees for each one removed (3:1). Trees that need to be removed would be replaced at the ratios noted above. There were no trees being removed greater than 12 inches.

See Tree Condition chart on this sheet.

Replacement trees will be shade trees 2.5" to 3" caliper and are shown on sheet L1.1 Planting Plan.






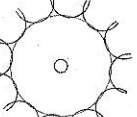
Conclusion

The trees proposed to be removed for the Chase Bank pad Site project are mostly good quality. The 6 trees are in the way of proposed improvements. Of the 29 trees surveyed 6 (20%) are being removed; 14 replacement trees are required, and 17 replacement trees 2.5"-3" caliper are provided.

Tree Pruning Notes

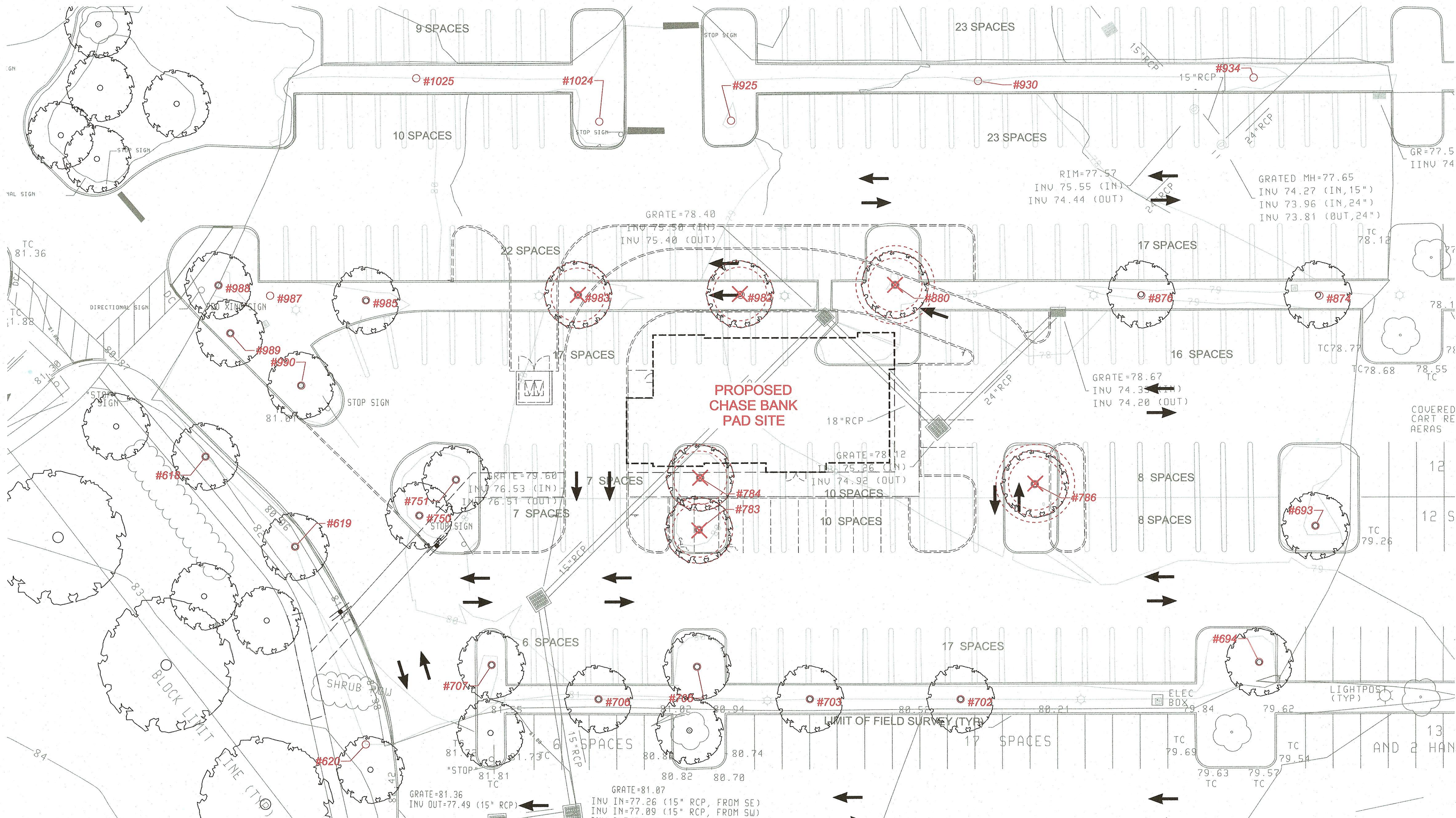
- A professional arborist should make the tree pruning decisions—improper pruning can be harmful to plant health and actually inhibit healthy growth. No pruning cut should ever be made without a specific reason.
- Pruning shall be performed by a NJ Certified Tree Expert.
- Pruning shall be done in accordance with the new American National Standards Institute (ANSI) A-300 (Part 1)-2008-Pruning Standard. The A300 Pruning standards recognize four basic pruning methods for pruning:
 - Clean: Selective pruning to remove one or more of the following parts: dead, diseased, and/or broken branches.
 - Thin: Selective pruning to reduce density of live branches
 - Raise: Selective pruning to provide vertical clearance
 - Reduce: Selective pruning to decrease height and/or spread (consideration must be given to the ability of a species to tolerate reduction pruning).
- Pruning objectives for the trees on the site are to manage health, reduce risk, clearance, view improvement, structural improvement and aesthetic improvement. Primarily the goal is view improvement to improve views to retail stores from surrounding streets and drives in the parking lot.
- On mature trees, pruning is required to remove dead and dying branches to maintain plant health and safety. This pruning type is referred to as cleaning. Research has now documented that thinning, the removal of live branches to reduce density, significantly reduces wind resistance and subsequent storm damage.
- Thinning should only be done on trees where the crown is "too dense". Thinning should be concentrated on the outer portions of the canopy, leaving as many branches on the interior crown as possible. In some instances, the crown or individual branches require reduction in length to improve the form and shape of the plant, to eliminate interference with objects and structures, and to compensate for structural weaknesses.
- Provide crown thinning, crown cleaning, and crown raising as appropriate
- Lower branches may require pruning for similar reasons. This process, known as "raising," also can be used to increase the amount of light for turf grass and ground covers beneath the crown of a tree.
- Raise branch levels to approximately 6 feet to 8 feet where practical while maintaining natural shape of trees to allow sight line clearance to stores.
- Raise pruning practices are not acceptable and can injure trees and are prohibited:
 - Topping: The reduction of a tree's size using heading cuts that shorten limbs or branches back to a predetermined crown limit
 - Liars' Tailoring: The removal of an excessive number of inner, lateral branches from parent branches.
- Provide bio-fertilization using worm tea through soil injection to improve pest and stress resistance, aerate and amend soil, and promote healthy root development.

TREE DEMOLITION LEGEND:

-  EXISTING SHADE TREE TO BE REMOVED
-  EXISTING SHADE TREE TO BE RELOCATED
-  EXISTING SHADE TREE TO BE REPLACED 2 TO 1
-  EXISTING SHADE TREE TO BE REPLACED 3:1
-  EXISTING SHADE TREE TO REMAIN
-  EXISTING EVERGREEN TREE TO REMAIN

TREES PROPOSED TO BE REMOVED CONDITION CHART

TREE NUMBER	DIA METER (inches)	TREE SPECIES	Est. Height (Feet)	Est. Crown Diameter (Feet)	TRUNK	CROWN	OVERALL CONDITION RATING	RECOMMENDATION	Total Trees	Trees Removed	Replacement Tree Number	Comments
618	15	Honey Locust	40	20	Good	Good	Good	REMAINS	1			
619	15	Honey Locust	40	20	Good	Good	Good	REMAINS	1			prune dead limbs in crown
620	12	Crab Apple	20	16	Good	Good	Good	REMAINS	1			
683	12	Red Maple	30	30	Good	Good	Good	REMAINS	1			prune dead limbs in crown
694	15	Red Maple	35	30	Good	Good	Good	REMAINS	1			
702	8	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
703	10	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
705	8	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
707	8	Honey Locust	25	30	Good	Good	Good	REMAINS	1			
750	10	Honey Locust	25	30	Good	Good	Good	REMAINS	1			
751	12	Red Maple	30	35	Fair	Fair	Fair	REMAINS	1			prune dead limbs in crown
783	9	Honey Locust	25	20	Good	Fair	Fair	REMOVE-REPLACE 2:1	1	1	2	
784	11	Honey Locust	30	20	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
786	12	Honey Locust	35	35	Good	Fair	Good	REMOVE-REPLACE 3:1	1	1	3	prune dead limbs in crown
874	12	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
876	12	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
880	12	Red Maple	35	30	Good	Good	Good	REMOVE-REPLACE 3:1	1	1	3	
925	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
930	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
934	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
982	10	Honey Locust	30	30	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
983	10	Honey Locust	30	30	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
985	10	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
987	12	Red Maple	35	35	Good	Good	Good	REMAINS	1			
988	8	Red Maple	30	30	Good	Good	Good	REMAINS	1			
989	15	Honey Locust	40	40	Good	Good	Good	REMAINS	1			
990	8	Red Maple	30	30	Good	Good	Good	REMAINS	1			
1024	4	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
1025	4	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
									29	6	14	



Versions


No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN



Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization


D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

Applicant:

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

Project

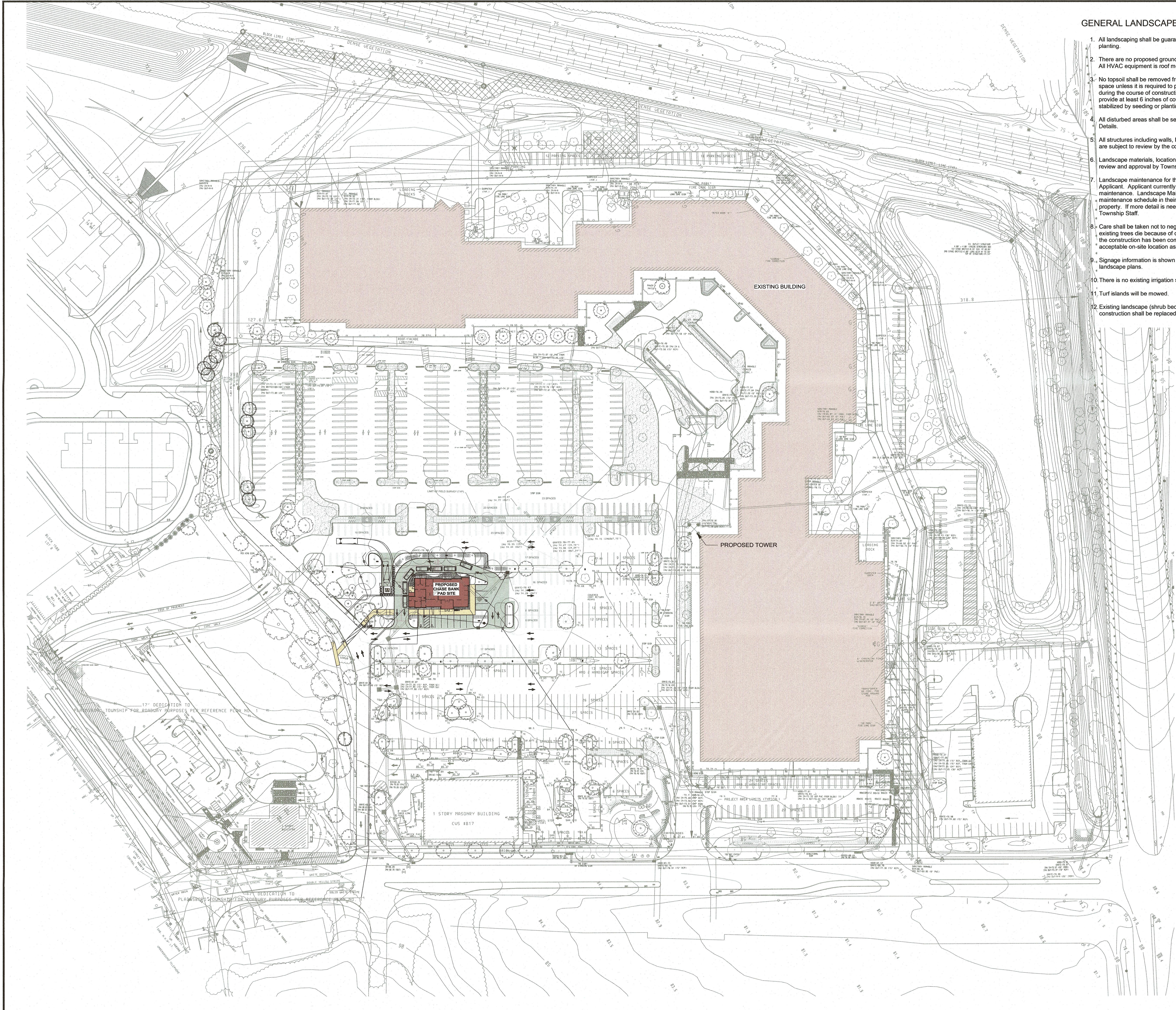
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

TREE REMOVAL &
REPLACEMENT PLAN

Scale AS SHOWN	Drawn KRKS	Project No. X
Sheet No.		

L1.0



GENERAL LANDSCAPE NOTES

1. All landscaping shall be guaranteed for a minimum of 2 years from planting.
2. There are no proposed ground mounted HVAC or mechanical equipment. All HVAC equipment is roof mounted.
3. No topsoil shall be removed from the areas intended for lawn or open space unless it is required to provide minimum grading. Topsoil moved during the course of construction shall be redistributed within the site to provide at least 6 inches of cover to all areas of the site and shall be stabilized by seeding or planting. (85-25)
4. All disturbed areas shall be seeded per notes on Sheet L3.0 Planting Details.
5. All structures including walls, light footings and structural sign foundations are subject to review by the construction code official.
6. Landscape materials, location, distribution and quantities are subject to review and approval by Township staff.
7. Landscape maintenance for the shopping center is provided by the Applicant. Applicant currently has contracted with Brickman for landscape maintenance. Landscape Maintenance shall be per Brickman's current maintenance schedule in their contract with Applicant for the overall property. If more detail is needed then Applicant will provide this to Township Staff.
8. Care shall be taken not to negatively impact existing tree root systems. If existing trees die because of construction activity then within 2 years after the construction has been completed, they shall be replaced in another acceptable on-site location as directed by the Township staff.
9. Signage information is shown on the architect's plans, not on the landscape plans.
10. There is no existing irrigation system and no irrigation system is proposed.
11. Turf islands will be mowed.
12. Existing landscape (shrub beds) indicated to remain that are disturbed by construction shall be replaced.

Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN



Stearns
STEARN'S ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization

Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

Applicant:
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800
Application Number: XXX

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
**OVERALL
SITE PLAN**

Scale AS SHOWN	Drawn KRKS	Project No. X
Sheet No.		

L1.1

LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUB PLANTINGS
- PROPOSED RAINGARDEN PLANTINGS
- PROPOSED GROUND COVER
- PROPOSED PERENNIALS / ANNUALS
- PROPOSED LAWN AREA
- NOTE: ALL DISTURBED AREAS TO BE SEED.
- TREE PROTECTION FENCE



Plant List - Plainsboro Plaza Chase Bank

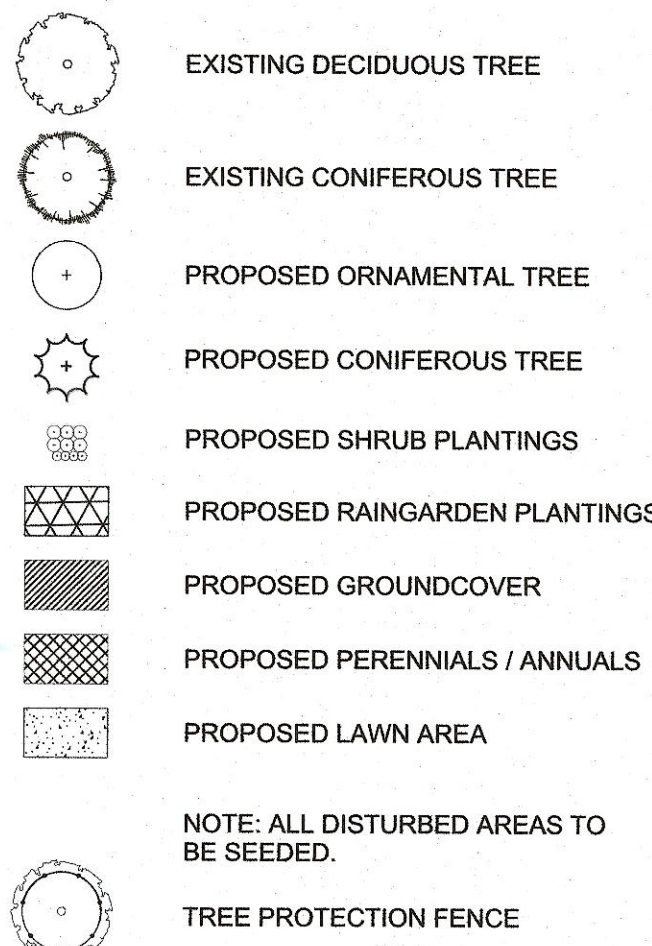
Symbol	Quantity	Latin Name	Common Name	Height	Caliper	Container	Spread	Native	Salt Tolerant	Deer Resistant	Spacing	Notes
Shade Trees												
LS	3	Liquidambar styraciflua	American Sweetgum	12'-14'	2.5" - 3"	B&B		Yes		NR	as shown	60'-80' h x 40'-60' w; native, orange red fall color
LT	2	Liriodendron tulipifera	Tulip Poplar	14'-16'	2.5" - 3"	B&B		Yes		B	as shown	60'-90' h x 30'-40' w; native with tulip like flower early summer, golden yellow fall color
QAC	6	Quercus acutissima	Sawtooth Oak	12'-14'	2.5" - 3"	B&B		Yes		NR	as shown	50'-70' h x 40'-60' w; pyramidal shaped tree; full sun; slender serrated leaves, yellow fall color (considered invasive in some states)
QPH	3	Quercus phellos	Willow Oak	13'-15'	2.5" - 3"	B&B		Yes		NR	as shown	60'-80' h narrow leaves; drought tolerant; good fall color
TAR	3	Tilia americana 'Redmond'	Redmond American Linden	14'-16'	2.5" - 3"	B&B		Yes		C	as shown	40'-50' h x 20'-30' w; yellow fall color; heart shaped leaves; white flowers; full sun to pt. shade; dense pyramidal shape; drought tolerant
Ornamental Trees												
BN	2	Betula nigra Clumps	River Birch Clumps (multi-stem)	6'-10'	NA	B&B		Yes		A	as shown	40'-70' h x 40'-60' w; salmon / white bark
CK	5	Cornus kousa	Chinese Flowering Dogwood	NA	2"-2.5"	B&B		No		B	as shown	20'-25' h x 20'-25' w; flowers 3 weeks after florida, brilliant red berries, orange fall color
LIN	5	Lagerstemia indica 'Natchez' (white)	Natchez Crape Myrtle	8'-10'	NA	B&B		No		B	as shown	15' h x 15'-20' w; white flower in summer; full sun
Shrubs												
CSB	140	Cornus sericea 'Bailey'	Bailey Redtwig Dogwood	24"-30"	NA	Cont.		Yes		B	as shown	6'-9' h x 6'-9' w; deciduous; bright red twigs; massing shrub; tolerates moist soils; hardy
HES	21	Hydrangea Endless Summer 'Twist n Shout'	Endless Summer Reblooming Hydrangea	24"-30"	NA	Cont.		No	Yes	C	plant 2.5' oc	3'-4' h x 3'-4' w; deciduous; pink / blue lacecap flowers from summer to fall
ICH	8	Ilex crenata 'Hoogendorn'	Hoogendorn Japanese Holly	18"-24"	NA	Cont.		No		C	plant 2' oc	2'-3' h x 2'-3' w; compact evergreen; used as a groundcover; full sun
ICS	22	Ilex crenata 'Stedda'	Stedda Upright Japanese Holly	4'-5'	NA	15 gallon		No		C	plant 2.5' oc	6'-8' h x 5'-6' w; evergreen; upright pyramidal; densely branched; full sun
LFZ	9	Leucothoe fontanesiana 'Zabid'	Scarletta Fetterbush	18"-24"	NA	Cont.		Yes		B	plant 2.5' oc	2'-3' h x 2'-3' w; evergreen; white bell shape flowers in spring; scarlet in spring, reddish in fall; part / filtered shade
RCW	7	Rhododendron 'Cunningham's White'	Cunningham's White Rhododendron	24"-30"	NA	Cont.		Yes		C	plant 2.5' oc	4' h x 4' w; evergreen, white flower in spring; part sun / part shade
SLP	26	Spiraea japonica 'Little Princess'	Little Princess Spiraea	18"-24"	NA	Cont.		No		B	plant 2' oc	2'-3' h x 3'-4' w; deciduous; mounded; pink flowers; full sun
Perennials												
AM	20	Allium 'Millenium'	Millenium Ornamental Allium	18"-24"	NA	2 gallon		No		A	plant 18" oc	15"-20" h x 10"-15" w; perennial; purple summer bloom; long bloomer; part sun to sun
LM	389	Liriope muscari 'Big Blue'	Big Blue Lilyturf	4" pots	NA	2 gallon		No	Yes	B	plant 12" oc	12"-15" h x 12"-15" w; perennial; dark green foliage; blue flower stalks late summer though fall
PAL	16	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	18"-24"	NA	2 gallon		No	Yes	A	plant 18" oc	20"-25" h x 20"-25" w; perennial; blue flowers July-September; dry soils; salt and pollution tolerant; full sun
Ornamental Grasses												
CKF	23	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	18"-24"	NA	3 gallon		No	Yes	A	plant 18" oc	48"-60" h x 24"-36" w; beautiful upright grass
PAH	30	Pennisetum alopecuroides	Dwarf Fountain Grass	18"-24"	NA	3 gallon		No		A	plant 18" oc	18"-24" h x 18"-24" w; ornamental grass; blooms July-August

Plant Deer-Resistance Key*

Rating	
A	Rarely Damaged
B	Seldom Severely Damaged
C	Occasionally Severely Damaged
NR	Not rated by Rutgers

*Based on information from the Rutgers Agriculture Experiment Station

LEGEND



GENERAL LANDSCAPE NOTES

- All landscaping shall be guaranteed for a minimum of 2 years from planting.
- There are no proposed ground mounted HVAC or mechanical equipment. All HVAC equipment is roof mounted.
- No topsoil shall be removed from the areas intended for lawn or open space unless it is required to provide minimum grading. Topsoil moved during the course of construction shall be redistributed within the site to provide at least 6 inches of cover to all areas of the site and shall be stabilized by seeding or planting. (85-25)
- All disturbed areas shall be seeded per notes on Sheet L3.0 Planting Details.
- All structures including walls, light footings and structural sign foundations are subject to review by the construction code official.
- Landscape materials, location, distribution and quantities are subject to review and approval by Township staff.
- Landscape maintenance for the shopping center is provided by the Applicant. Applicant currently has contracted with Brickman for landscape maintenance. Landscape Maintenance shall be per Brickman's current maintenance schedule in their contract with Applicant for the overall property. If more detail is needed then Applicant will provide this to Township Staff.
- Care shall be taken not to negatively impact existing tree root systems. If existing trees die because of construction activity then within 2 years after the construction has been completed, they shall be replaced in another acceptable on-site location as directed by the Township staff.
- Signage information is shown on the architect's plans, not on the landscape plans.
- There is no existing irrigation system and no irrigation system is proposed.
- Turf islands will be mowed.
- Existing landscape (shrub beds) indicated to remain that are disturbed by construction shall be replaced.

Versions

No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN



Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization

Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal
Professional License Number
NJAS00512

Applicant:

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

Project

CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

PLANTING PLAN
ENLARGED

Scale

Drawn

Project No.

X

Sheet No.

L1.2

Plainsboro
GENERAL PLANTING SPECIFICATIONS

- 1) This plan shall be used for landscape planting purposes only. The contractor is responsible for examining all engineering drawings and field conditions for specific locations of utilities, and structures, and shall notify Landscape Architect of any discrepancies or location conflicts prior to planting installation.
- 2) The Contractor is responsible to locate and verify location of all utilities on the site prior to construction. The contractor shall verify the location of all above ground and underground utilities before digging plant pits. The Contractor shall be responsible for any damage to utilities.
- 3) The Contractor is responsible for all utility mark-outs and compliance with all Federal, State or Local codes and ordinances governing this work. Call before you dig - NJ One Call 1-800-272-1000. New Jersey law requires you to notify your local utility company anytime you dig into the ground.
- 4) All plant material shall conform to the standards of the ANSI Z60.1-2004 Edition, American Standard for Nursery Stock by the American Association of Nurserymen, Inc., or the plant material will be deemed unacceptable. All plant material shall be true to species, variety, size and certified disease and insect free. The Owner and/or the Landscape Architect reserve the right to approve all plant material on site prior to installation.
- 5) All plants shall be typical full specimens with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement. Shade trees shall be single-stem trees with straight trunk, well-balanced crown, and intact leader, of height and caliper indicated, complying with ANSI Z60.1 2004 edition for type of trees required. Provide Normal-quality, well-balanced, coniferous evergreens, full foliage to the ground, of type, height, spread, and shape required, complying with ANSI Z60.1.
- 6) All deciduous and evergreen trees shall be balled and burlap (B&B). Shrubs may be either B&B or container grown, but if container grown shall meet the ANSI standards for size. The use of bare root material shall be prohibited. The use of nylon twine on the root balls of proposed plant material is prohibited. Burlap for root balls shall be biodegradable burlap. All burlap shall be pulled back 1/3 from the root ball at time of planting.
- 7) All plants shall be typical of their species and variety; have normal growth habits; well developed branches, densely foliated, vigorous root systems and free from defects and injuries.
- 8) Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with acceptable local practice. Trees and shrubs shall be installed during the fall and spring seasons except for trees that are subject to fall planting hazard. These trees would be installed in spring only.
- 9) Fall planting time for evergreen trees is generally August 15 to December 15. Fall planting time for deciduous trees is generally October 15 to December 15. Spring planting for both evergreen and deciduous plants is generally March 1 to May 15.
- 10) The following tree varieties have been identified as having a high degree of transplantation failure if planted during the fall season. The fall planting hazard trees include the following genus and some cases particular species: Acer buergerianum, Betula, Carpinus, Celtis, Cercidiphyllum, Crataegus, Fagus, Halesia, Koeleruteria paniculata, Ilex opaca, Liquidambar, Linodendron tulipifera, Malus in leaf, Nyssa sylvatica, Ostrya, Prunus, Pyrus, Quercus, except Quercus palustris, Salix, sorbus, Tilia tomentosa, Ulmus parvifolia and zelkova.
- 11) Prior to installation of all plant material, the results of physical and chemical tests of the subsoil and topsoil shall be submitted to the Landscape Architect to assess soil composition and if the pH is acceptable for the proposed planting.
- 12) All trees shall be staked, wrapped, and have saucers with mulch.

- 13) All proposed evergreen trees to be a minimum distance of ten (10) feet from proposed curbing, sidewalks, and building, to prevent branch conflicts.
- 14) Contractor shall remove all wire baskets or burlap used for evergreen or deciduous trees at time of planting.
- 15) All disturbed lawn areas shall be stabilized with seed as indicated on the landscape plans or these notes. Seed shall consist of the mixture listed in the general seeding specifications. All disturbed lawn areas shall be topsoiled, limed, fertilized and fine graded prior to lawn installation.
- 16) The current developed site does not have an automatic irrigation system. Seed all disturbed areas with a drought tolerant low maintenance mix formula like National Seed Company mix #25217 or approved equal consisting of 40% Creeping Red Fescue, 15% Barengra Red Fescue, 30% Accent Perennial Rye Grass, and 15% Kenblue Kentucky Bluegrass. Seed at a rate of 6 pounds per 1,000 square feet. Hydro seed with hydro mulch.
- 17) Ideal seeding times are generally between April 15 through June 15 and August 15 through October 15 depending on the weather.
- 18) Contractor shall notify the Owner or Landscape Architect of any conditions that could prevent the healthy growth of plant materials. This would include shallow bedrock, boulders or rock outcrops, rubble fill, compacted soils, adverse drainage conditions, wet or poor soils, contaminated soil, disruption from construction operations, overhead or underground utilities and other obstructions, etc.
- 19) No plant substitutions shall be permitted regarding size, species or variety without written permission of the Township's Planning Consultant. Written proof of plant materials availability or unreasonable cost shall also be documented.
- 20) The location of all plant material indicated on the landscape plan is approximate. The final location of all plant material and planting bed lines shall be determined in the field under the direction of the landscape architect.
- 21) The final landscape plans are subject to an on-site inspection by the Township of Plainsboro's Landscape Architect before installation of the plants and subject to an inspection by the Township of Plainsboro's Landscape Architect after the installation.
- 22) Should any plant quantity discrepancies occur between the quantities listed in the planting schedule and the plan, the planting plan shall take precedence over the plant schedule.
- 23) Branches of deciduous trees shall be pruned back by no more than one quarter (1/4) to balance the top growth with the roots and to preserve their character and shape. The central leader of the tree shall not be pruned.
- 24) Provide planting pits as indicated on the planting details. If wet soil conditions exist, then planting pits shall be dug to an additional 12" depth and filled with 12" deep of clean 3/8" gravel with filter fabric and soil mix over the gravel.
- 25) Trees and shrubs shall only be planted when the soil is frost free and friable.
- 26) The contractor shall provide a minimum layer of 6 inches of topsoil in all lawn areas. Topsoil in lawn areas shall have 2 inches of compost tilled into the topsoil to a depth of 5 inches. Compost shall have a pH value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice, 1111 Springfield Road, 2nd Floor, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after construction and rough grading and prior to planting to determine the extent of the soil amendments required.
- 27) The contractor shall provide a minimum of 12" of topsoil in all shrub planting areas. Soil planting mix for planting pits for trees, shrubs and groundcover shall include 1/3 compost and 2/3rds topsoil. Compost shall have a pH value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice 1111 Springfield Road, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after

- construction and rough grading and prior to planting to determine the extent of the soil amendments required.
- 28) All trees, planting areas and shrub beds shall receive 3" depth of shredded hardwood bark mulch. Bark mulch shall be supplied by Natures Choice, 1111 Springfield Road, Union, NJ 07083 (800) 637-4140 or approved equal. Note mulch shall be installed with a maximum of one inch within one foot of the tree's root flair.
- 29) Unless indicated elsewhere on the drawings or notes, all plant and shrub beds shall have a clean "shovel-out" edge.
- 30) All installed plant material shall bear the same relation to finished grade as it did to existing grade at the nursery.
- 31) Newly installed plant material shall receive regular watering from the time of installation through the guarantee period to ensure the establishment, growth, and survival of the plants. Contractor is responsible for all plant, irrigation, and lawn maintenance during construction and until the Owner takes over maintenance operations.
- 32) The Contractor shall guarantee all work and all plant materials for a 2-year period from the date of certificate of occupancy approval by the Township of Plainsboro. Any such material that dies within this period must be removed and replaced by materials of similar size and species at the expense of the applicant. Any plant material that dies within that 2-year time period shall be removed, including the stump/root ball, and replaced by a tree or shrub of similar size and species at the expense of the contractor.
- 33) If any of the existing trees to be relocated do not remain as healthy trees two (2) years after transplanting, such trees shall be replaced to the satisfaction of the Plainsboro Director of Community Development.
- 34) After one growing season and the establishment of the plant material on the site, all stakes, guying, tree wrapping, and saucers shall be removed.
- 35) All existing trees and shrubs to be preserved on the site shall be protected by 4-foot-high standard wood snow fencing. All fencing shall be placed outside the tree canopy or drip line or in the case of smaller trees, a minimum of 10 feet from the tree. All trees to remain shall be identified in the field prior to beginning construction. Tree protection fencing shall be installed prior to the start of construction, grading, or clearing and shall remain on the site until construction is completed. All existing vegetation being preserved and located at the edge of the new tree line shall be pruned, trimmed to remove all dead, diseased, or damaged branches.
- 36) Existing trees to remain on the site will be maintained by the applicant. Applicant will establish a maintenance contract with a landscape maintenance company that is responsible for mowing lawns and maintenance of trees and shrubs per their maintenance schedule in their contract.
- 37) The Contractor shall exercise care and caution while working around existing trees and will protect the trees from damage. The contractor shall keep equipment and material storage out of drip line of tree canopies. Contractor shall exercise care in location and digging of trenches for electrical lines and other utilities under existing tree canopies so to minimize cutting of tree roots.
- 38) All debris from planting operations shall be removed from the site after planting is complete. The contractor is responsible for daily clean-up. Walks, drives and parking areas shall be swept broom clean. The site and property are to be left in a neat orderly condition.
- 39) The existing site does not have a fully automatic irrigation system. A fully automatic irrigation system is proposed between the building and curb around the bank building. The existing parking lot islands will not be irrigated.
- 40) All landscaping shall be guaranteed for a minimum of 2 years from planting. Any relocated trees that do not survive, shall be replaced in kind by a similar tree measuring a minimum of 2.5 to 3 inches in caliper at planting.

Topsoil Notes:

Contractor shall provide borrow topsoil if on site stockpiles are insufficient; and topsoil shall consist of sand, silt and clay material passing the 2.00 mm (no 10) sieve, as defined by AASHTO T-88 and within the following ranges:

	Minimum Percent	Maximum Percent
Sand	25	70
Silt	15	50
Clay	5	25

Furnished topsoil shall also meet the following criteria:

Characteristic:	Criteria:
pH	From 6.5 to 7.5
Cation exchange Capacity	From 5 to 25 cmol+/kg (meq/100g)
Nutrient Content	Normal contents of nitrogen, phosphorous Potassium, calcium, magnesium, sulfur, & proper micronutrient levels.
Soluble salts	Less than 200 ppm
Contaminants	should contain no toxic substances.

Furnished topsoil shall be fertile, friable, natural loam free from subsoil, clay lumps, brush, litter, roots, stones 2" and larger, and other foreign materials. Furnishes topsoil shall be obtained from a local well-drained site with a topsoil depth of at least 4 inches, with a proven ability to support native vegetative growth. Furnished topsoil shall be free of Bermuda grass, Quackgrass, Johnson grass, mugwort, nutsedge, Poison Ivy, Canadian Thistle, Teatthumb, Phragmites, Mustard Seed and other noxious weeds.

Wetland Topsoil

In addition to topsoil as defined above, this project requires topsoil for wetland areas or wetland soil which shall contain at least 12% organic matter determined by loss on ignition moisture free samples dried in accordance with the current method of the Association of Agricultural Chemists. If manmade topsoil is used it shall consist of equal volumes of organic and mineral materials. The acidity range shall be pH 5.0 to pH 7.0 inclusive.

The mechanical analysis of the wetland topsoil shall be:

Passing	Percentage
1" screen	100%
1" screen to 1/4" screen	3%
1/4" screen to #100 USS sieve (Coarse, medium & fine sand)	40 to 60 %
#100 USS sieve (Very fine sand, silt & clay)	40 to 60%

Construction

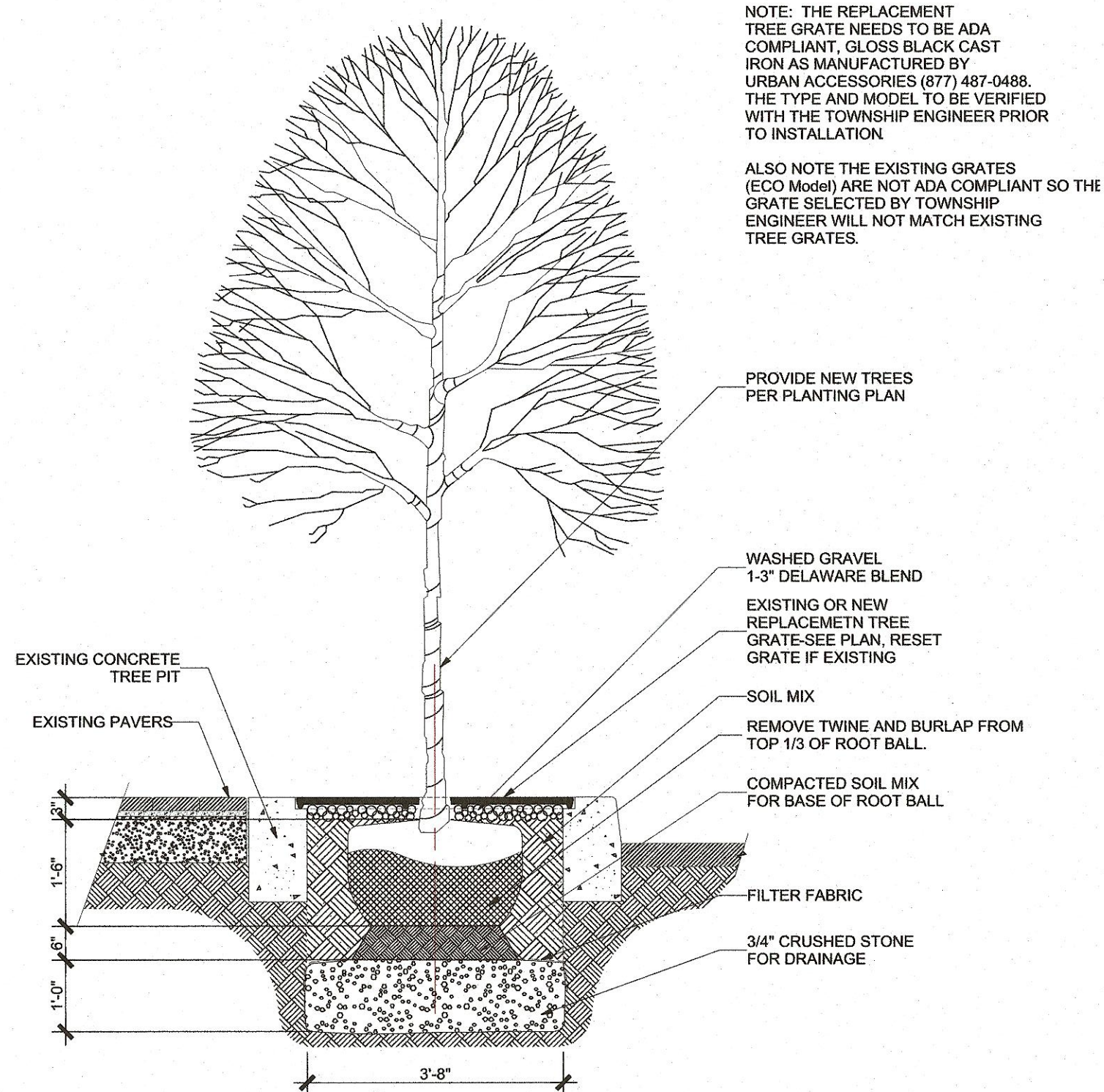
Furnished topsoil shall be obtained from a properly permitted, commercially available site.

Scarify all existing soil surfaces to a depth of 4 inches before topsoil is added.

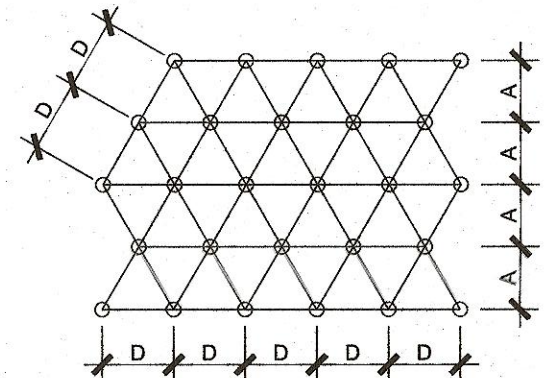
Place and spread a uniform 6-inch depth of topsoil in all planting areas and all disturb areas unless otherwise indicated.

Compact with a roller having a mass weight not over 120 pounds per foot width of roller or by other acceptable methods, as directed. Remove over depth topsoil. Do not place topsoil in a wet or frozen condition.

Wetlands Areas, compaction shall be avoided in the wetland areas. Wetland soil mix shall be installed and spread but not rolled. If spread topsoil becomes compacted in wetland areas then it should be disked or rotor-tilled prior to planting.



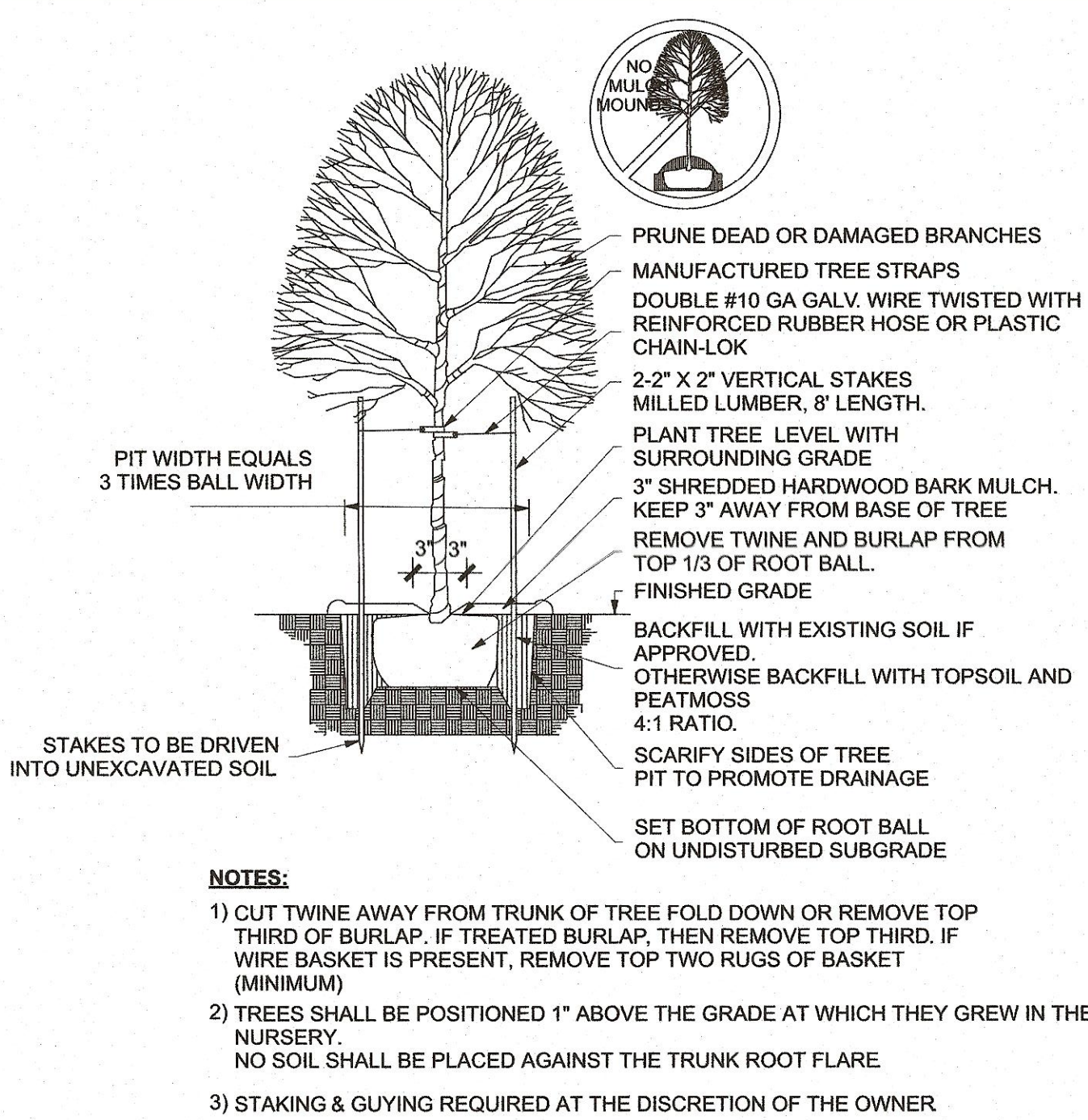
6 NEW DECIDUOUS TREE IN EXISTING TREE PIT
SCALE: 1/2"=1'-0"



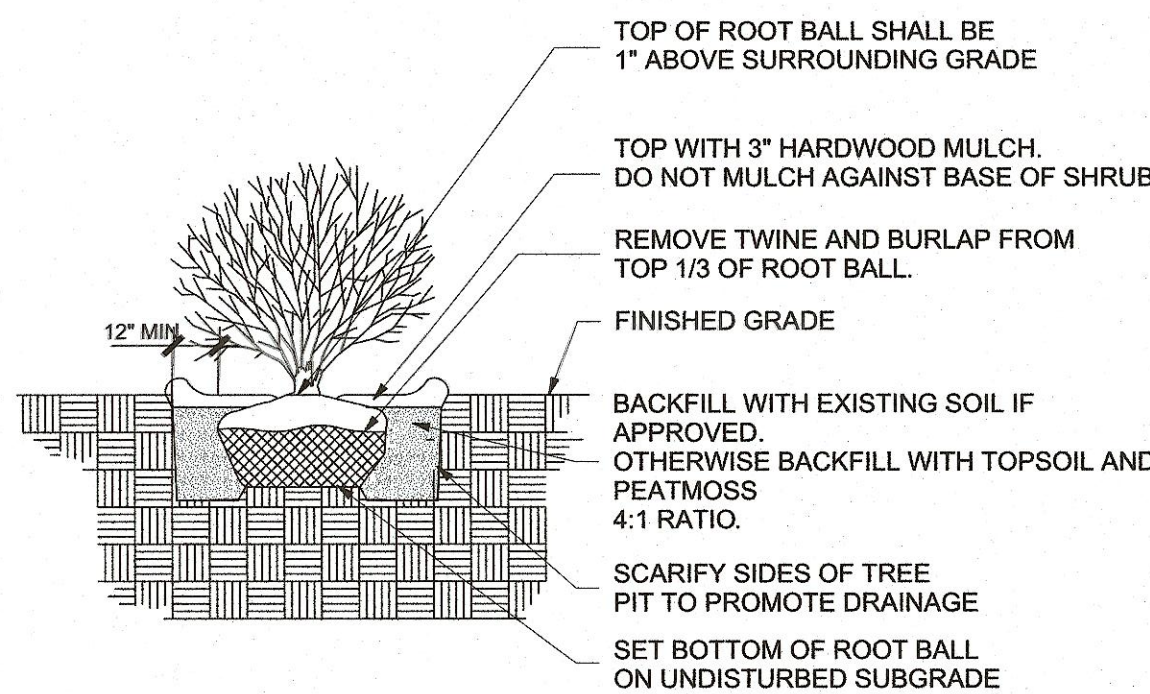
SPACING 'D'	ROW 'A'
6" OC	5"
8" OC	7"
12" OC	10.5"

NOTE: USE PLANT SPACING NOTED ON THE PLANT LIST

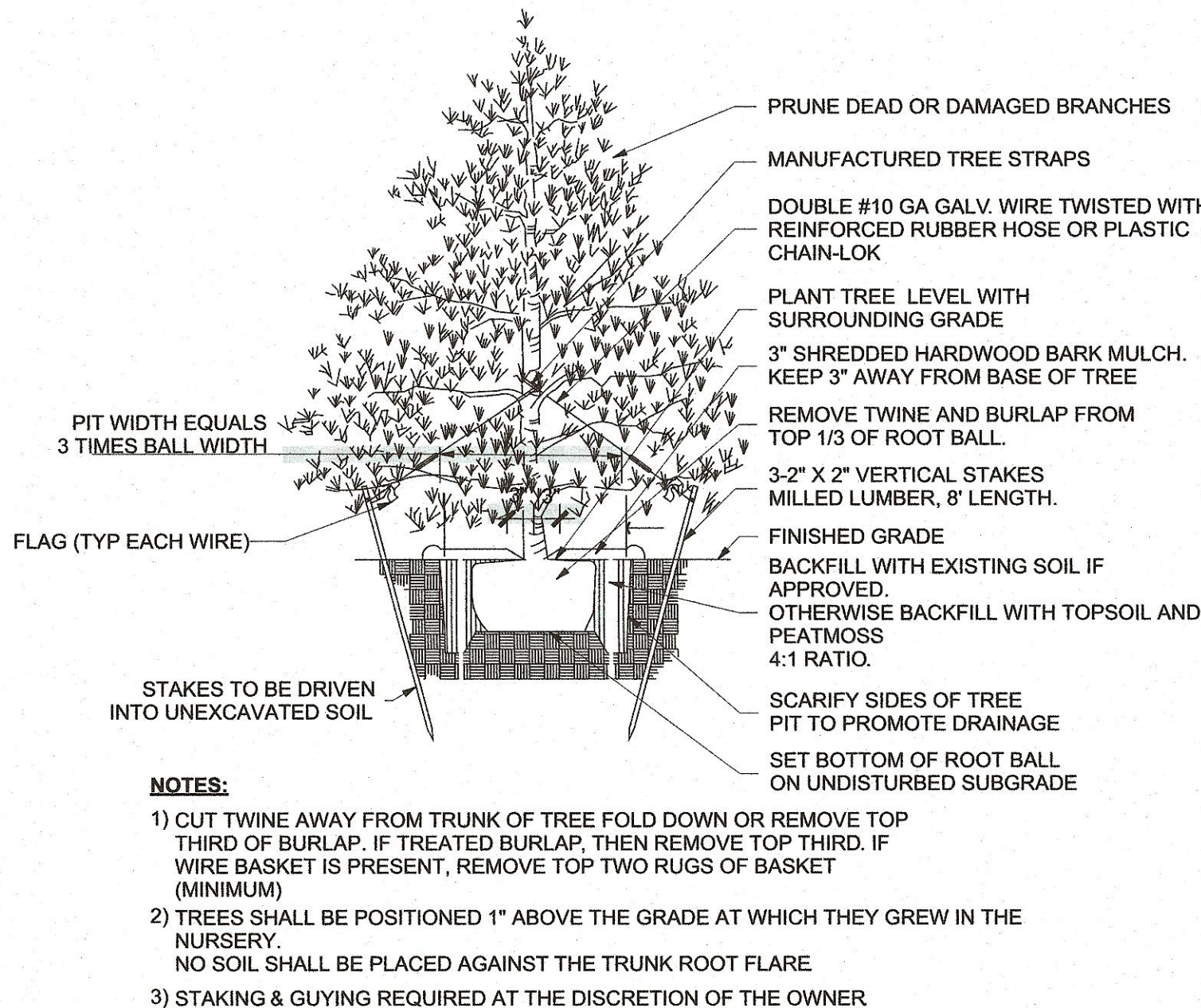
5 GROUNDCOVER PLANTING
N.T.S.



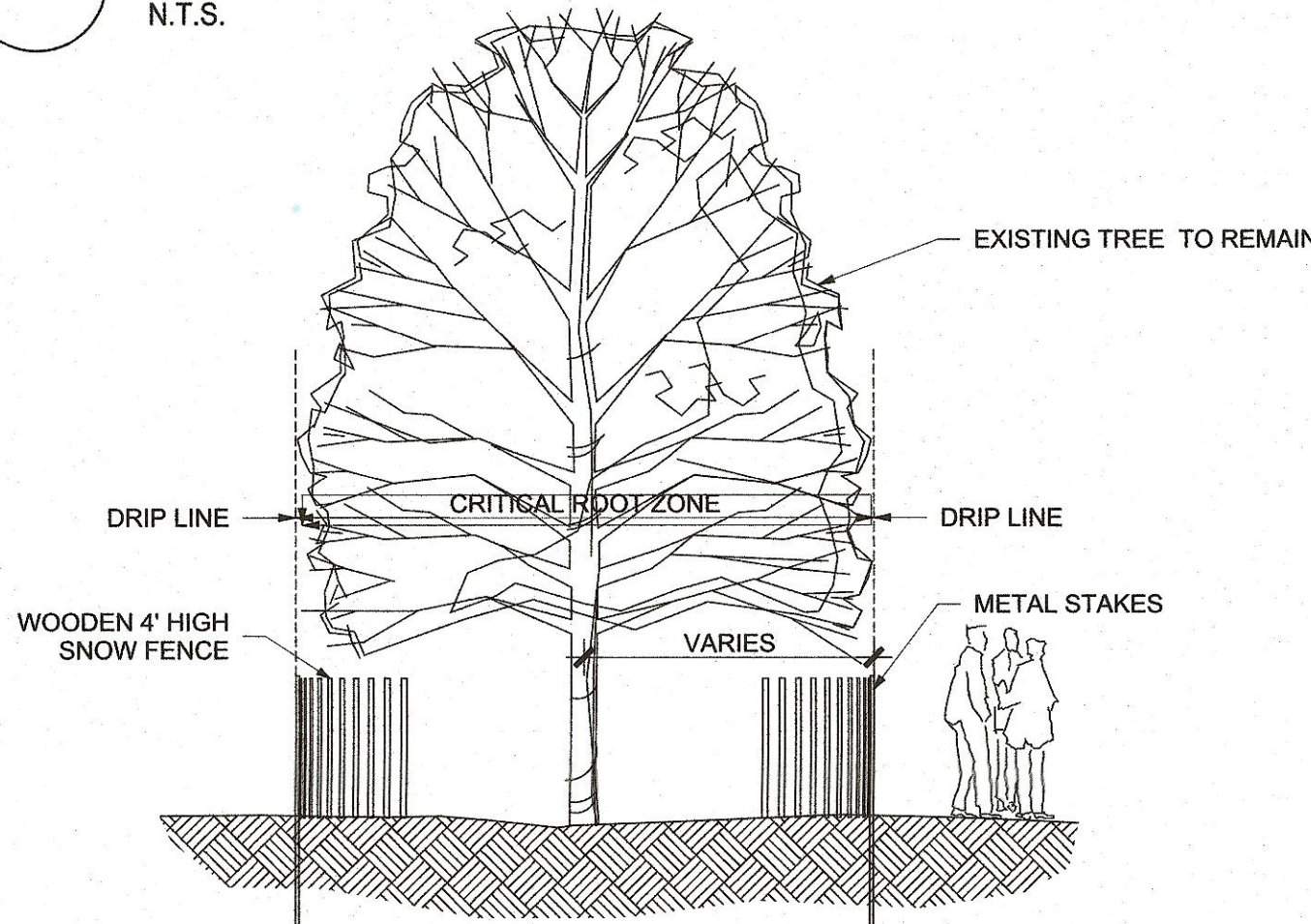
4 DECIDUOUS TREE PLANTING DETAIL
N.T.S.



3 STANDARD SHRUB DETAIL
N.T.S.



2 STANDARD EVERGREEN TREE DETAIL
N.T.S.



- NOTES:
- 1) SNOW FENCE SHALL BE LOCATED BEYOND THE DRIP LINE OF EXISTING VEGETATION TO REMAIN. SNOW FENCING SHALL BE INSTALLED AT THE COMMENCEMENT OF CONSTRUCTION AND IS TO BE MAINTAINED THROUGHOUT THE DURATION.
 - 2) NO STORAGE OF CONSTRUCTION MATERIALS. SOIL STOCK PILES OR PARKING OF VEHICLES NEAR TREES TO REMAIN.
 - 3) NO UTILITY TRENCHING WITHIN CRITICAL ROOT ZONE.

1 EXISTING TREE PROTECTION DETAIL
N.T.S.

Versions		
No.	Date	Description
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Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization

D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal
Professional License Number
NJAS00512

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

Project

CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

PLANTING DETAILS

Scale	Drawn	Project No.
AS SHOWN	KRKS	X
Sheet No.		

L2.0


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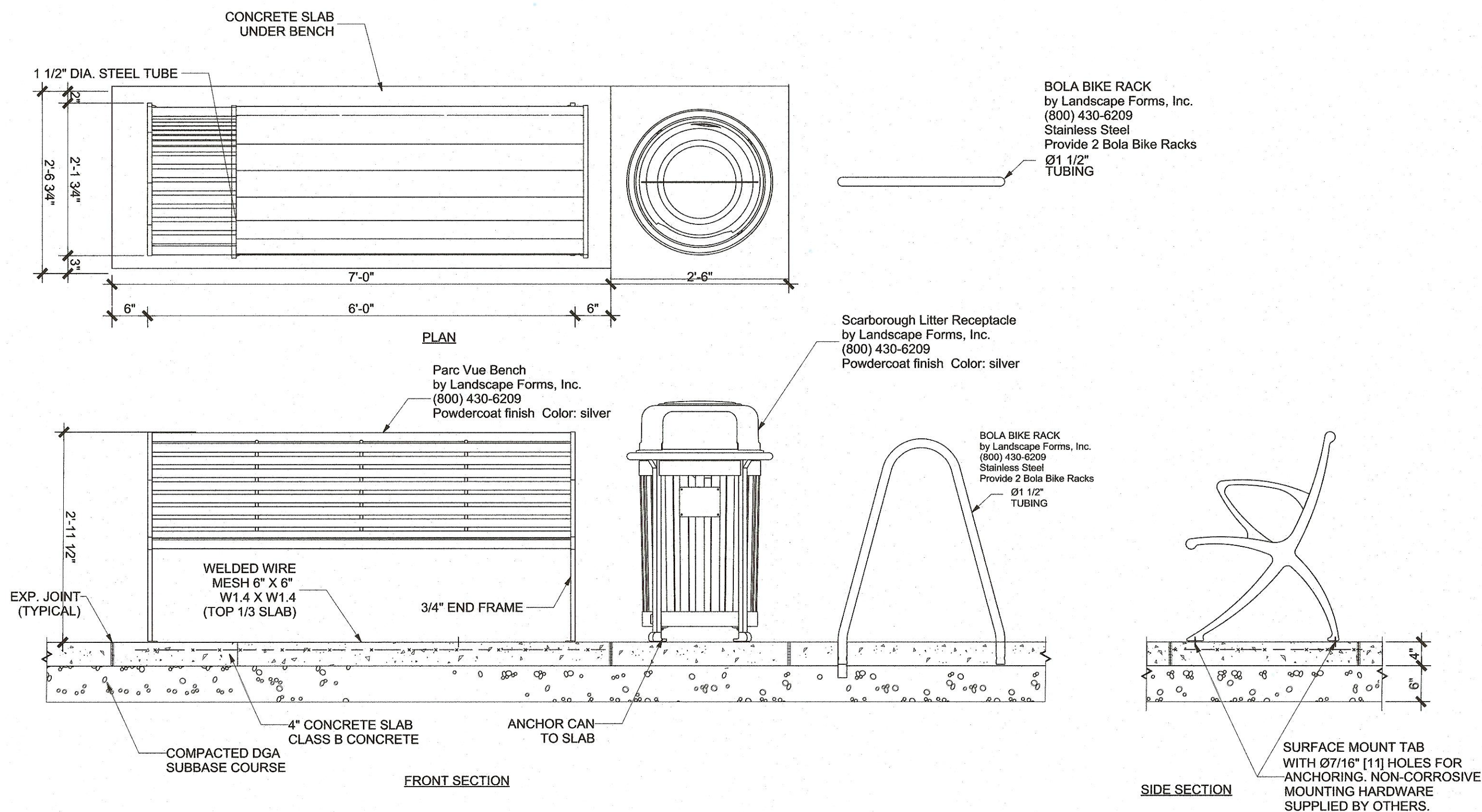
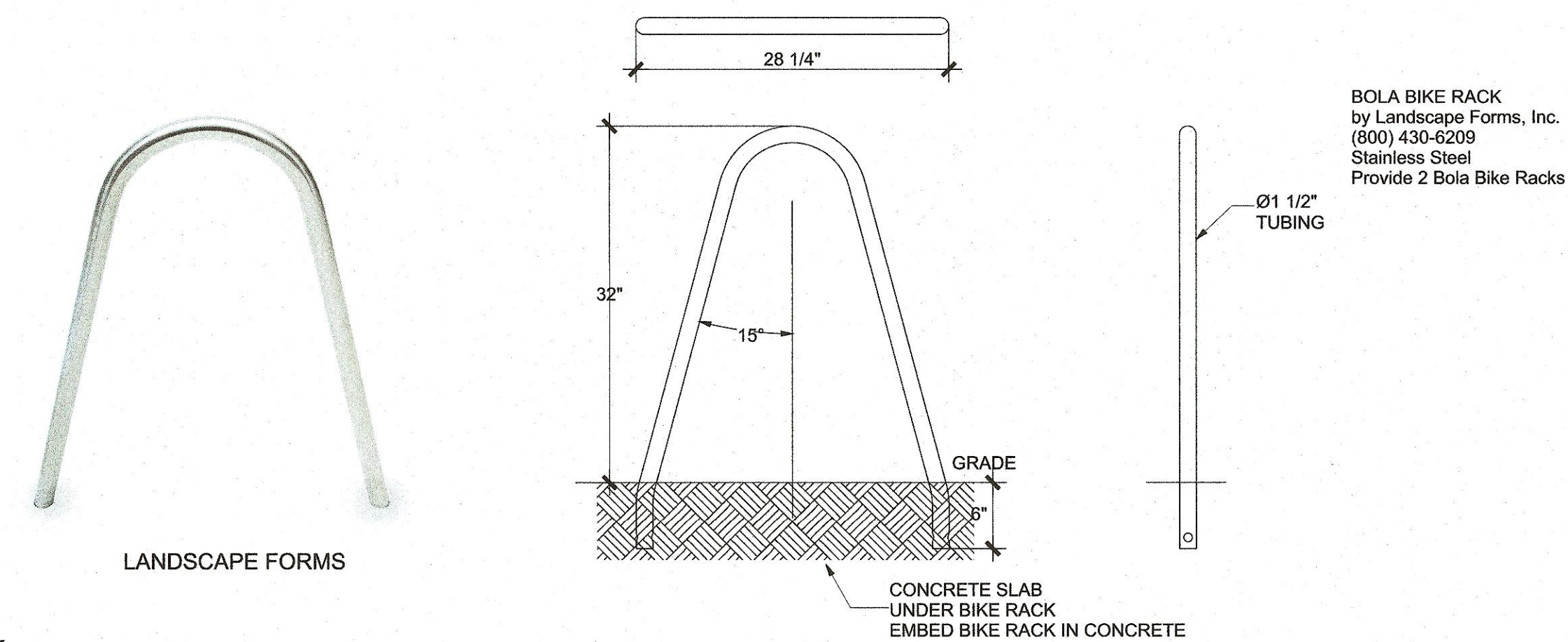
SITE DETAILS

Scale	Drawn	Project No.
AS SHOWN	KRK/S	X
Sheet No.		

L3.0

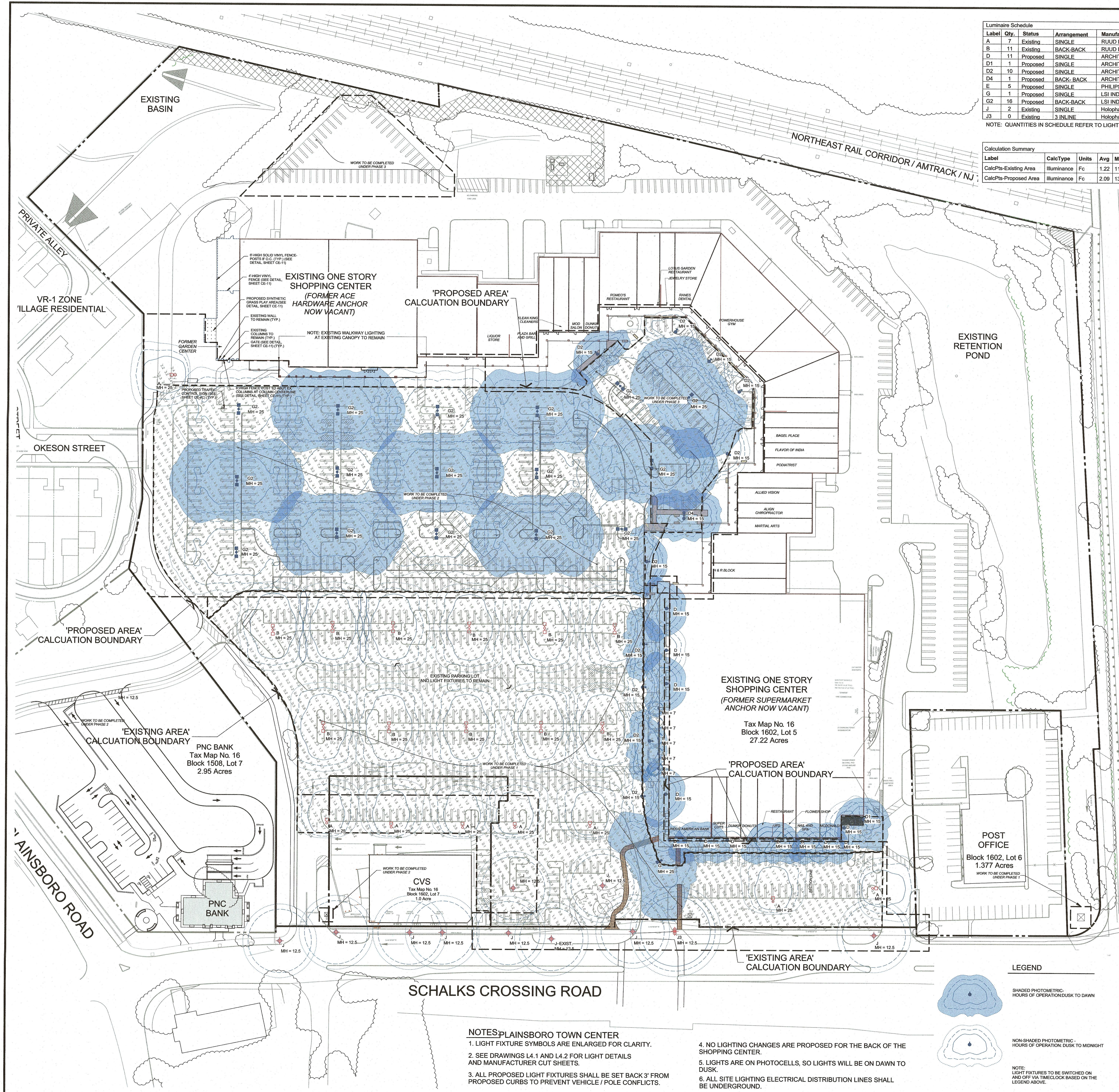
2 BIKE RACK

SCALE: 1'-1'-0"



1 BENCH & TRASH RECEPCTACLE

SCALE: 3/4'-1'-0"



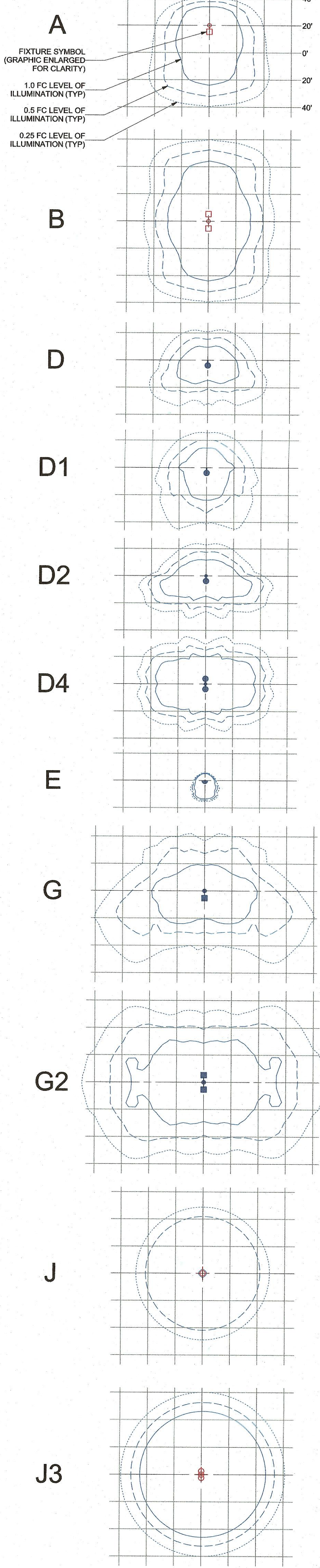
Luminaire Schedule										
Label	Qty.	Status	Arrangement	Manufacturer	Fixture Description	Mounting	Height	Lamp	LLF	IES Class
A	7	Existing	SINGLE	RUUD LIGHTING	AC440-Single-250w	Pole	25'	250w MH	0.720	Type III
B	11	Existing	BACK-BACK	RUUD LIGHTING	AC440-Double-250w	Pole	25'	250w MH	0.720	Type III
D	11	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Wall	15'	100w MH	0.720	Type IV
D1	1	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Pole	15'	100w MH	0.720	Type II
D2	10	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Pole	15'	100w MH	0.720	Type II
D4	1	Proposed	BACK-BACK	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Pole	15'	100w MH	0.720	Type II
E	5	Proposed	SINGLE	PHILIPS GARDCO	301-FT	Wall	7'	70w MH	0.720	Type III
G	1	Proposed	SINGLE	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720	Type III
G2	16	Proposed	BACK-BACK	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720	Type III
J	2	Existing	SINGLE	Holophane	Granville Classic	Pole	12'-6"	175w MH	0.720	Type V
J3	0	Existing	3 IN-LINE	Holophane	Granville Classic	Pole	12'-6"	175w MH	0.720	Type V

NOTE: QUANTITIES IN SCHEDULE REFER TO LIGHT FIXTURES WITHIN CALCULATION BOUNDARIES

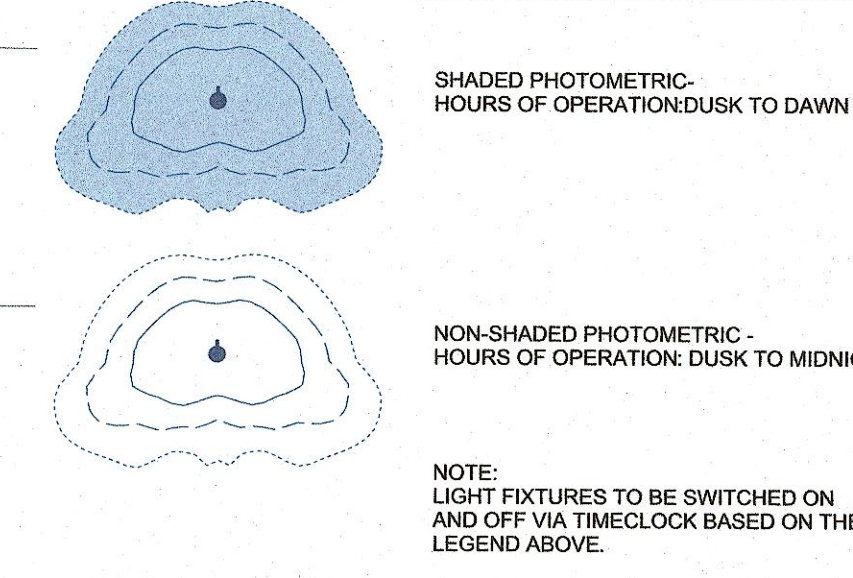
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPis-Existing Area	Illuminance	Fc	1.22	11.6	0.0	N.A.
CalcPis-Proposed Area	Illuminance	Fc	2.09	13.2	0.1	20.90

FIXTURE KEY ISOFOOTCANDLE DIAGRAMS

SCALE: 1" = 50'
(SEE LUMINAIRE SCHEDULE FOR DESCRIPTIONS)



LEGEND



- NOTES: PLAINSBORO TOWN CENTER
1. LIGHT FIXTURE SYMBOLS ARE ENLARGED FOR CLARITY.
 2. SEE DRAWINGS L4.1 AND L4.2 FOR LIGHT DETAILS AND MANUFACTURER CUT SHEETS.
 3. ALL PROPOSED LIGHT FIXTURES SHALL BE SET BACK 3' FROM PROPOSED CURBS TO PREVENT VEHICLE / POLE CONFLICTS.
 4. NO LIGHTING CHANGES ARE PROPOSED FOR THE BACK OF THE SHOPPING CENTER.
 5. LIGHTS ARE ON PHOTOCELLS, SO LIGHTS WILL BE ON DAWN TO DUSK.
 6. ALL SITE LIGHTING ELECTRICAL DISTRIBUTION LINES SHALL BE UNDERGROUND.

Versions

No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN

Stearns

STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-387-1880

Certificate of Authorization

Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal
Professional License Number
NJAS00512

Applicant:

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

Project

CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

EXISTING LIGHTING PLAN FOR REFERENCE

Scale	Drawn	Project No.
AS SHOWN	KRW/S	X

Sheet No.

L4.0

Luminaire Schedule									
Label	Qty.	Status	Arrangement	Manufacturer	Fixture Description	Mounting	Height	Lamp	IES Class
B	7	Existing	BACK-BACK	RUUD LIGHTING	AC440-Double-250w	Pole	25'	250w MH	0.720 Type III
G2	3	Proposed	BACK-BACK	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720 Type III

NOTE: QUANTITIES IN SCHEDULE REFER TO LIGHT FIXTURES WITHIN CALCULATION BOUNDARIES

MANUFACTURER ORDERING CATALOG NUMBER	
AC2625 (2 FIXTURES @ 180 DEGREES)	
CTM-3-250-PSMH-F-VOLT-BRZ (2 FIXTURES @ 180 DEG)	

NOTE: EXISTING FIXTURE CATALOG NUMBERS ARE PROVIDED FOR INFORMATION ONLY.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.59	6.6	0.0	N.A.	N.A.

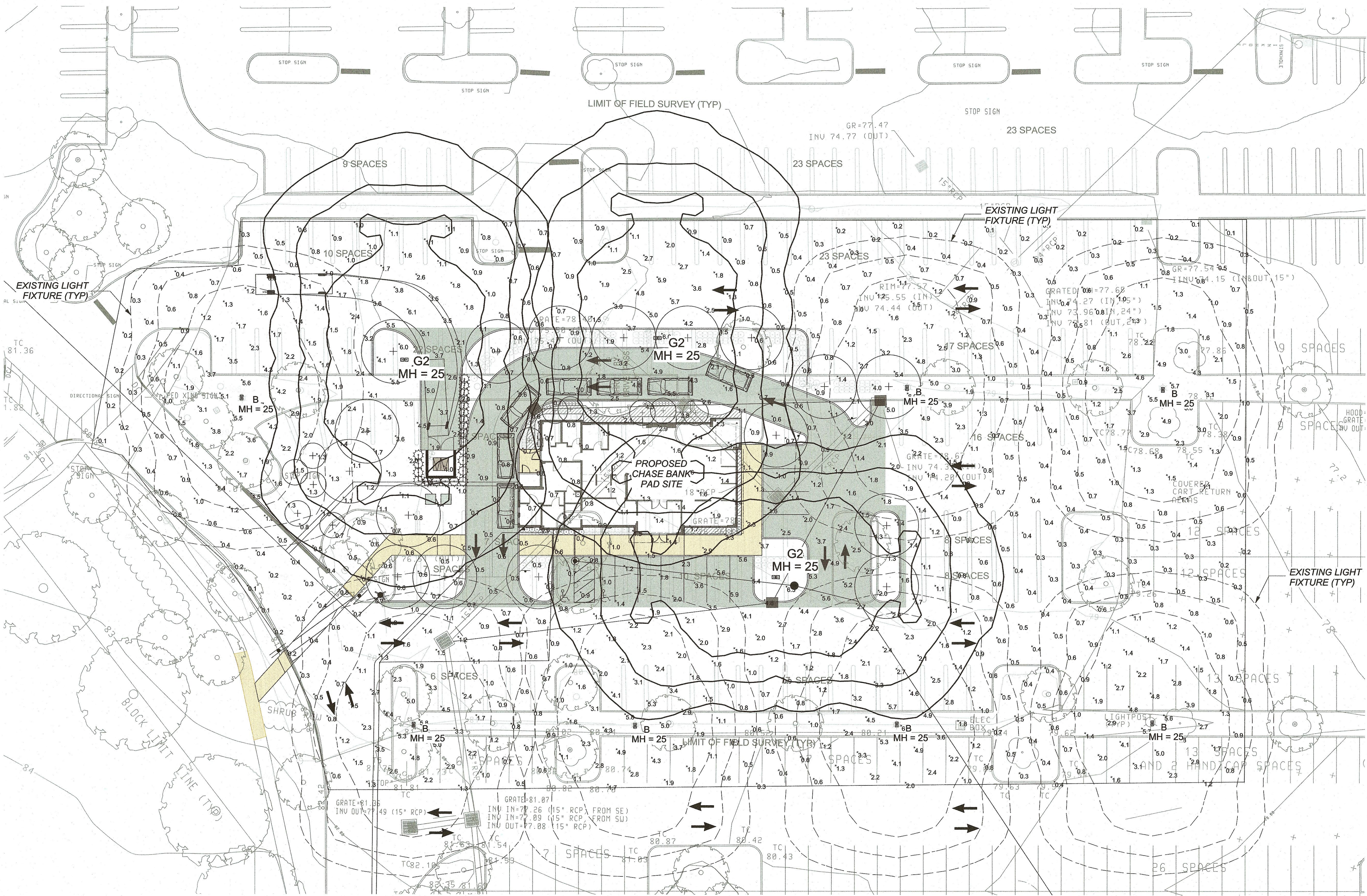
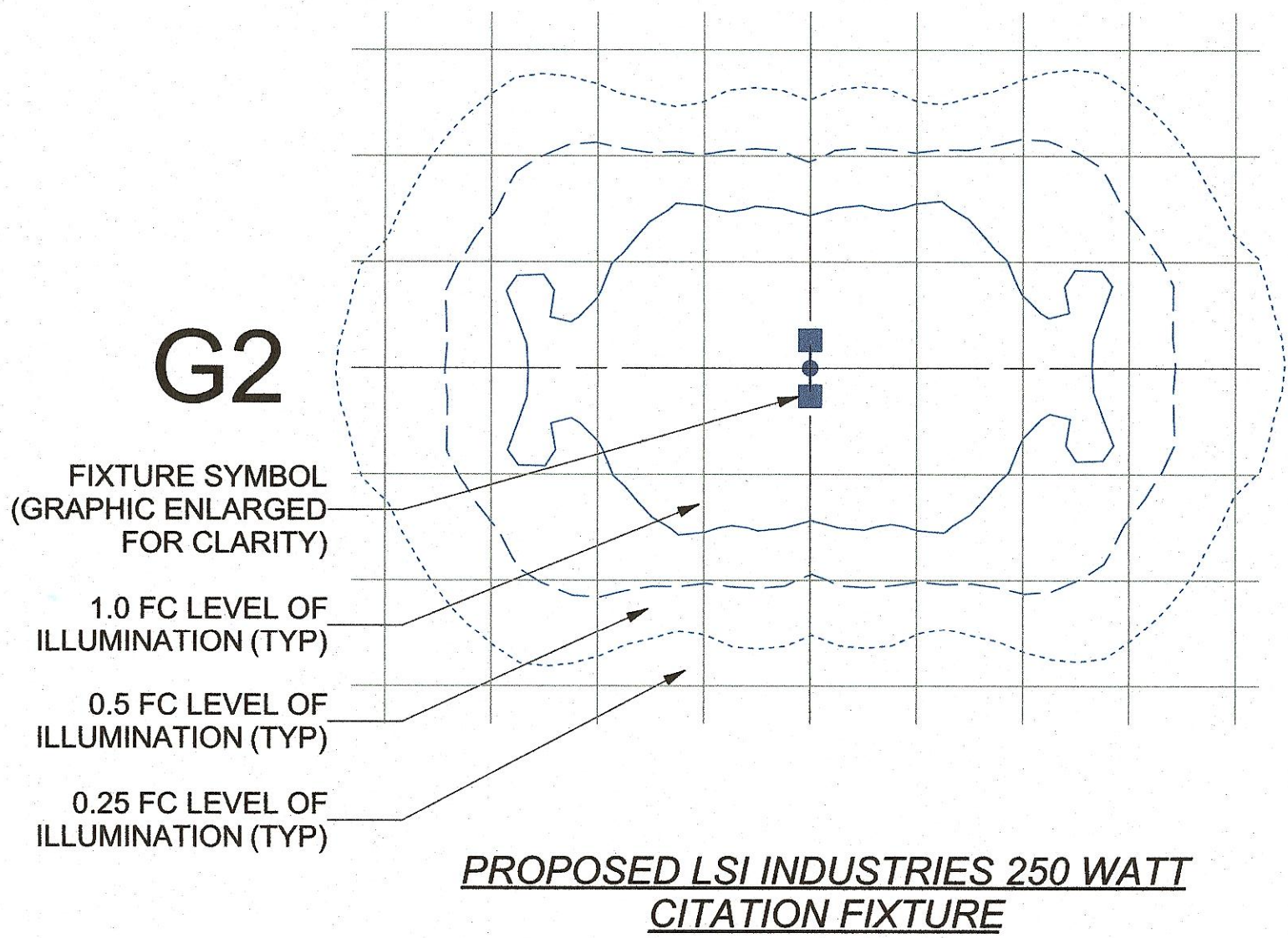
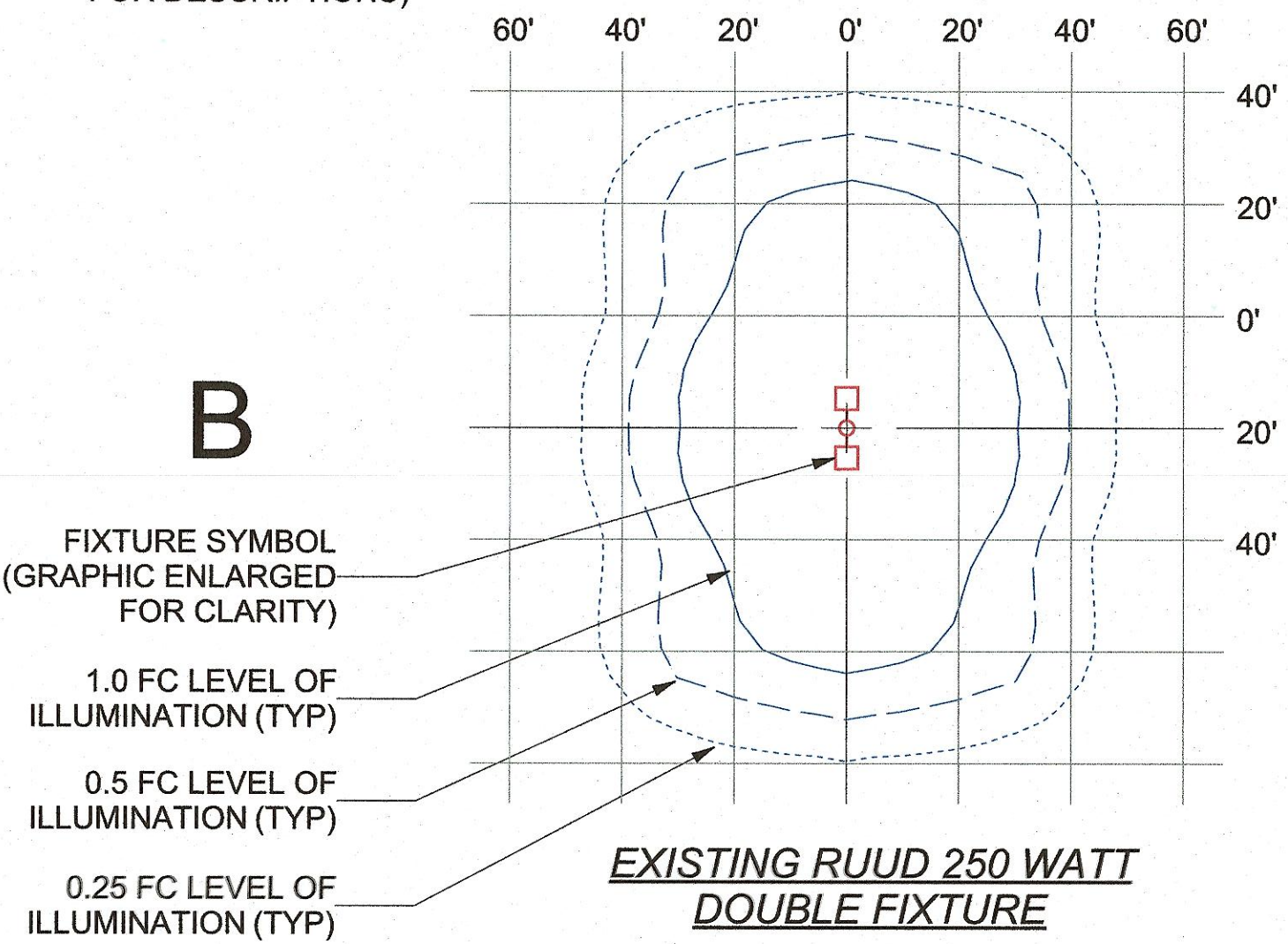
Note: The Calculations Summary above is for the overall calculation area shown on plan below, which includes existing fixtures. The minimum footcandles in parking areas around the bank are 0.5 fc.

Lighting Notes

- The existing light fixtures are RUUD (B) 250-watt double fixture metal halide lamps on 25-foot-high poles, these are approximately 30 years old and installed when the shopping center was originally built. Two of these fixtures are being removed and replaced with three of the LSI Citation (G2) 250-watt double fixture metal halide lamps on 25-foot-high poles. These are the same fixtures used per the last revised plan in 2014.
- Light fixture symbols are enlarged for clarity.
- See drawing L4.2 for light details and manufacturer cut sheets.
- All proposed light fixtures shall be set back 3' from proposed curbs to prevent vehicle / pole conflicts.
- Lights are on photocells, so lights will be on dawn to dusk.
- All site lighting electrical distribution lines shall be underground.

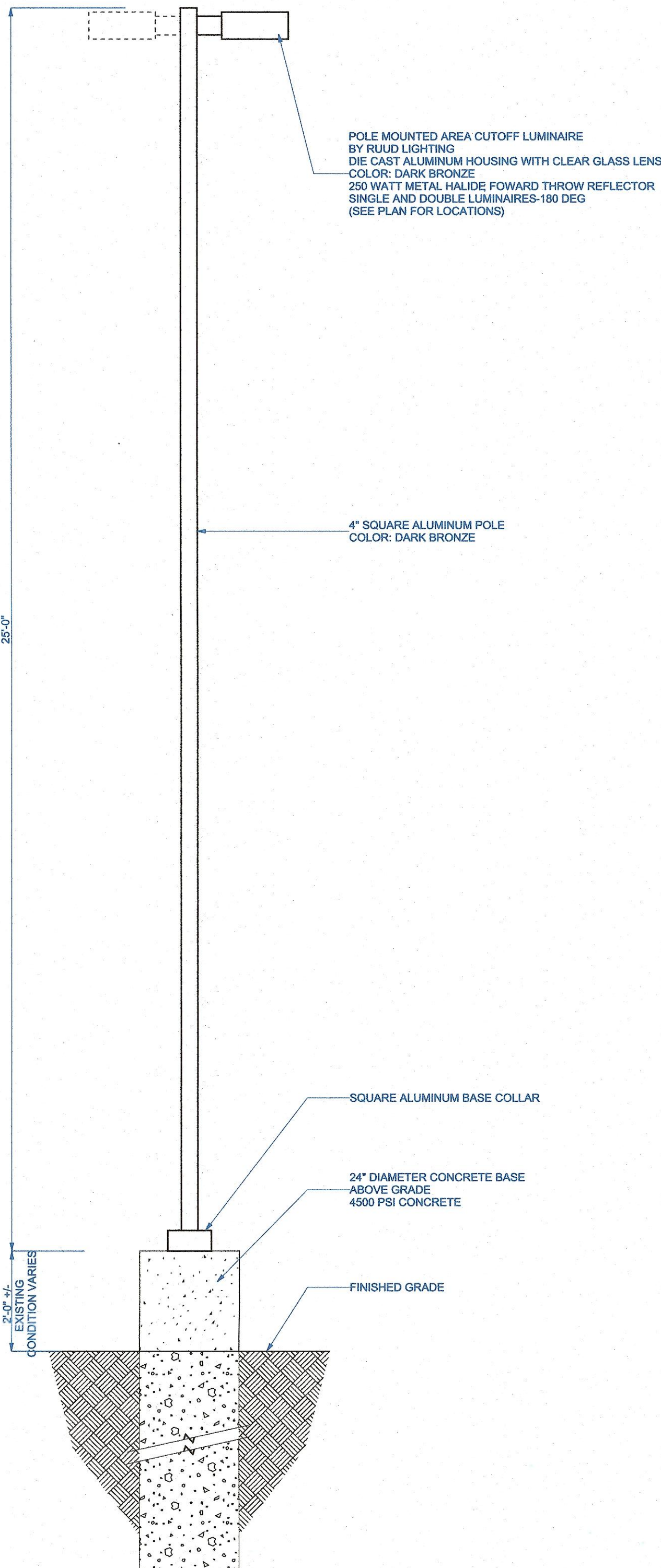
FIXTURE KEY ISOFOOTCANDLE DIAGRAMS

SCALE: 1" = 50'
(SEE LUMINAIRE SCHEDULE FOR DESCRIPTIONS)



MANUFACTURER ORDERING CATALOG NUMBER
AC2625 (2 FIXTURES @ 180 DEGREES)
CTM-3-250-PSMH-F-VOLT-BRZ (2 FIXTURES @ 180 DEG)

NOTE: EXISTING FIXTURE CATALOG NUMBERS ARE PROVIDED FOR INFORMATION ONLY.



ACC-16
SERIES

6" EXTENDED POLE MOUNT
16" (406 mm) AREA CUTOFF LIGHT

EPA RATING

EPA 0.95 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units.)

Illuminance (foot candles) varies with initial beamwidth at grade. (Footcandle = 0.0930 × Lux)

Candela distribution curve of 40W/PSM Area Cutoff light without hood/tilt adjust.

Illuminance plot of 40W/PSM Area Cutoff Light at 0° tilt with mounting height, 0° vertical tilt, with hood/tilt adjust removed. (Foot Candles)

Candela distribution curve of 20W/PSM Area Cutoff light without hood/tilt adjust.

Illuminance plot of 20W/PSM Area Cutoff Light at 0° tilt with mounting height, 0° vertical tilt, with hood/tilt adjust removed. (Foot Candles)

Illuminance plot of 40W/PSM Area Cutoff Light at 0° tilt with mounting height, 0° vertical tilt, with hood/tilt adjust removed. (Foot Candles)

Pole-spacing Example Data

						</			

RUUD LIGHTING DIRECT
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5204 Westlinton Avenue • Racine, Wisconsin 53406-5772 • PHONE: (800) 236-7000 • FAX: (800) 236-7500 • <http://www.ruudlightingdirect.com> (See Page 2)

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S	S	A				-	4	-	
			Mounting Height	Wall Thick.	Built Dia.	Top Dia.	Base Style		Finish

Alt.	Wt.	Dist.	Trk. Dist.	Trk. Class	Trk. Class	Trk. Class
High	Low	Low	High	Major	Minor	Minor

CATALOG NUMBER SYSTEM
Complete the catalog number with the entry codes below.

10	125"	4	100	17.0	13.1	9.9	7.6	5.9	SSA10B4- ^{AK}	11-063
10	150"	4	100	20.2	15.8	12.7	9.7	7.5	SSA10D4- ^{AK}	11-064
12	125"	4	100	15.4	9.7	7.1	5.2	3.9	SSA12B4- ^{AK}	11-063
12	150"	4	100	21.0	15.5	11.7	8.9	6.9	SSA12D4- ^{AK}	11-064
12	180"	6	100	26.6	26.8	19.7	15.4	12.1	SSA12D5- ^{AK}	11-067

E = .125" C = .150" D = .188"
 E = .219" F = .250"

BUTT DIAMETER:
 4 = 4" 6 = 6"
 5 = 5" 3 = 3"

14	130"	4	100	16.5	11.9	8.8	6.5	SSA1ND4-***	11-104
14	130"	5	100	20.9	20.5	15.4	11.7	SSA1ND5-***	11-107
15	125"	4	100	8.9	6.0	4.0	2.7	SSA1ND4-***	11-123
15	130"	4	100	14.7	13.5	7.6	5.5	SSA1ND4-***	11-124
15	130"	5	100	25.1	19.3	13.0	9.2	SSA1ND5-***	11-127

- = no taper
 BASE STYLE:
 4 = 4 Bolt Anchor
 FINISH: ** (add as suffix)

16	180°	5	100	23.2	56.2	12.8	8.8	6.5	SSA180S-4**	11-119
16	180°	5	100	22.7	56.2	12.8	8.8	6.5	SSA180S-4**	11-147
18	125°	4	100	5.6	3.4	2.0	1.6	1.1	SSA180H-4**	11-163
18	185°	4	100	10.3	6.9	4.6	3.1	1.9	SSA180H-4**	11-164
18	250°	4	100	14.6	10.2	7.3	5.1	3.6	SSA180H-4**	11-165
18	180°	6	100	19.5	12.6	6.5	4.5	3.5	SSA180S-6**	11-167

BH = White Powder Paint
 BW = Bronze Powder Paint
 BV = Dark Green Powder Paint
 G2 = Grey Powder Paint
 G2 = Satin
 * Other finishes available, consult factory

20"	125"	4	100	3.0	5.1	2.2	1.8	0.8	SSA2004-4-100	11-194
20"	100"	4	100	3.0	5.1	2.2	1.8	0.8	SSA2004-4-100	11-194
20"	250"	4	100	11.0	10.0	5.4	2.5	2.3	SSA2004-4-100	11-185
20"	180"	5	100	15.1	10.2	6.9	4.5	2.0	SSA2005-4-100	11-187
20"	250"	5	100	21.4	15.1	10.7	7.0	3.3	SSA2005-4-100	11-188
20"	180"	6	100	24.0	16.8	11.0	7.8	5.7	SSA2006-4-100	11-190

SPECIFY MOUNTING:
Tenon Mount: Specify Tenon and diameter
 (2,375", 2,875", 4,0", etc.)
 (3", 4", etc.)
Side mounting: Specify luminaire type,

25	184"	5	100	8.6	4.9	2.6	0.9	-	SGA20F4-4-22	11-247
25	250"	5	100	13.4	8.6	5.3	3.1	1.8	SGA20F5-4-22	11-248
25	183"	6	100	10.6	5.5	2.7	3.1	1.5	-	11-250
25	250"	6	100	22.2	15.0	10.1	6.4	4.0	SGA20F6-4-22	11-251
25	183"	6	100	20.8	10.8	3.7	6.3	6.1	SGA3F3-4-22	11-252
25	250"	6.625	100	-	-	-	-	-	-	-

30	250"	6	100	16.2	8.5	4.6	2.0	-	SEA30F6-4**	11-291
30	250"	6.625	100	19.2	12.1	7.2	3.7	1.3	SEA30F7-4**	11-294
35	250"	6	100	8.1	2.5	0.7	-	-	SEA35F6-4**	11-291
35	250"	6.625	100	11.9	6.0	2.2	-	-	SEA35F7-6**	11-294

C	E	F	G	
Cell Number	Dimensions	Rebar Size	Rebar Spacing	Rebar No.
4'	9.675'	0.5 - 0.5	1.5	75 x 17 x 3
5'	11.125'	10.5 - 11.5	2	75 x 30 x 3


6.625"	13.5"	13.5	2.5	1 x 36 x 4
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LITERATION® GENERAL INFORMATION

TYPICAL DATA CTD28 3 400 PSMHR F MT BRZ PCR

Machine Type	Brochures	Line	Light	Line	Line	Line	Line	Line	Line
CTD28	1-2-3-4-5-6-7-8-9-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1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Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN

[illegible]

Stearns
STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

[illegible]

Certificate of Authorization



D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal

Professional License Number
NJAS00512

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: XXX

Project

CHASE BANK PAD SITE
Plainboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title		
LIGHTING DETAILS		
Scale AS SHOWN	Drawn KR/KS	Project No. X
Sheet No.		
L4.2		
STEARNS ASSOCIATES LLC All Rights Reserved		



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ISSUE	DATE	DESCRIPTION
-	2021.XX.XX	PERMIT SET

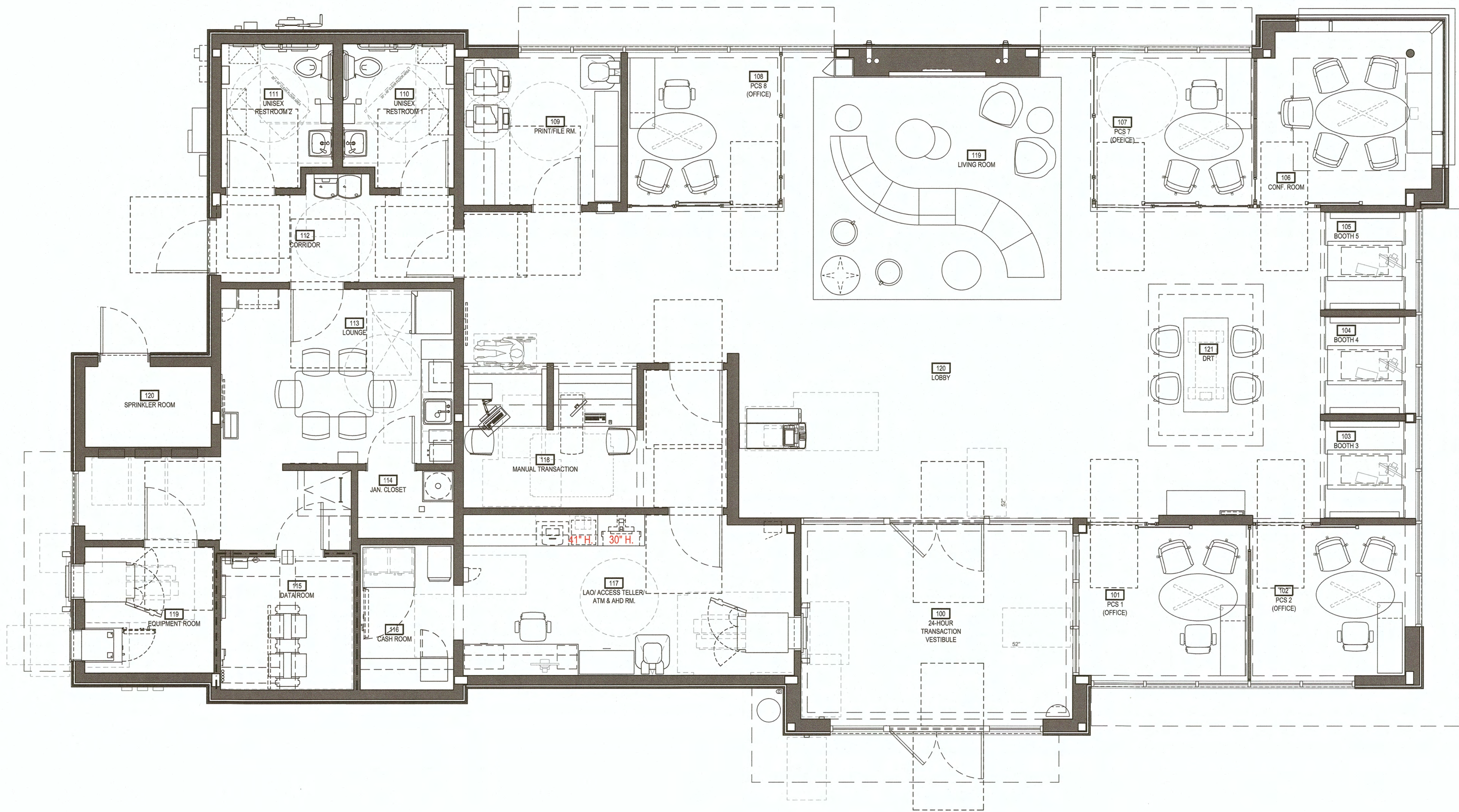
PROJECT INFORMATION	
PROJECT NO:	JPM.36304
DATE:	AS NOTED
PROTOTYPE:	20.6
DRAWN BY:	J.JAYMER
CHECKED BY:	X.X.LASTNAME
VERSION:	SE.1.00

SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A1.0.0



1
A1.0.0

FLOOR PLAN
1/4" = 1'-0"





2
A2.1.0
END ELEVATION
1/4" = 1'-0"



1
A2.1.0
MAIN ENTRY ELEVATION
1/4" = 1'-0"

STOREFRONT
APPLICATION: EXTERIOR
COLOR: CLEAR ANODIZED

STOREFRONT/CANOPY
APPLICATION: EXTERIOR
COLOR: BLACK ANODIZED

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7045 INTELLECTUAL GRAY

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE

CORONADO STONE
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM

ALUMINUM COMPOSITE MATERIAL (ACM)
APPLICATION: CANOPY
COLOR: "CHASE SILVER"

NICHIHA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - BARK

NICHIHA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - ASH

PAC-CLAD COPING
APPLICATION: EXTERIOR/COPING
COLOR: AGED BRONZE

CHASE
JP MORGAN CHASE, N.A.
PLAINSBORO
10 SCHALKS CROSSING ROAD
PLAINSBORO, NJ 08536
CHASE OVP #48100R0003700

CORE STATES
GROUP
201 S. Maple Avenue
Suite 300
Arlingdale, PA 19002
215.809.2128
core-states.com

ARCHITECT OF RECORD

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ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION		
PROJECT NO:	JPM.36304	
DATE:	AS NOTED	
PROTOTYPE:	20.5	
DRAWN BY:	D.WHITEHOUSE	
CHECKED BY:	N.MENDENHALL	
VERSION:	SE_1.00	

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A2.1.0



2 B.O.H. END ELEVATION
A2.2.0 1/4" = 1'-0"



1 REAR ELEVATION
A2.2.0 1/4" = 1'-0"

STOREFRONT
APPLICATION: EXTERIOR
COLOR: CLEAR ANODIZED

STOREFRONT/CANOPY
APPLICATION: EXTERIOR
COLOR: BLACK ANODIZED

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7045 INTELLECTUAL GRAY

PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE

CORONADO STONE
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM

ALUMINUM COMPOSITE MATERIAL (ACM)
APPLICATION: CANOPY
COLOR: "CHASE SILVER"

NICHIIHA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - BARK

NICHIIHA
APPLICATION: EXTERIOR
COLOR: VINTAGEWOOD - ASH

PAC-CLAD COPING
APPLICATION: EXTERIOR/COPING
COLOR: AGED BRONZE

CHASE
JP MORGAN CHASE, N.A.
PLAINSBORO
10 SCHALKS CROSSING ROAD
PLAINSBORO, NJ 08536
CHASE OVP # 48100R003700

CORE STATES
GROUP
CORESTATES, INC.
201 S. Maple Avenue
Suite 300
Annville, PA 17002
215.809.2125
core-states.com

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Cham

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ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION	
PROJECT NO:	JPM.36304
DATE:	AS NOTED
PROTOTYPE:	20.5
DRAWN BY:	D.WHITEHOUSE
CHECKED BY:	N.MENDENHALL
VERSION:	SE.1.00

SHEET TITLE

EXTERIOR
ELEVATIONS

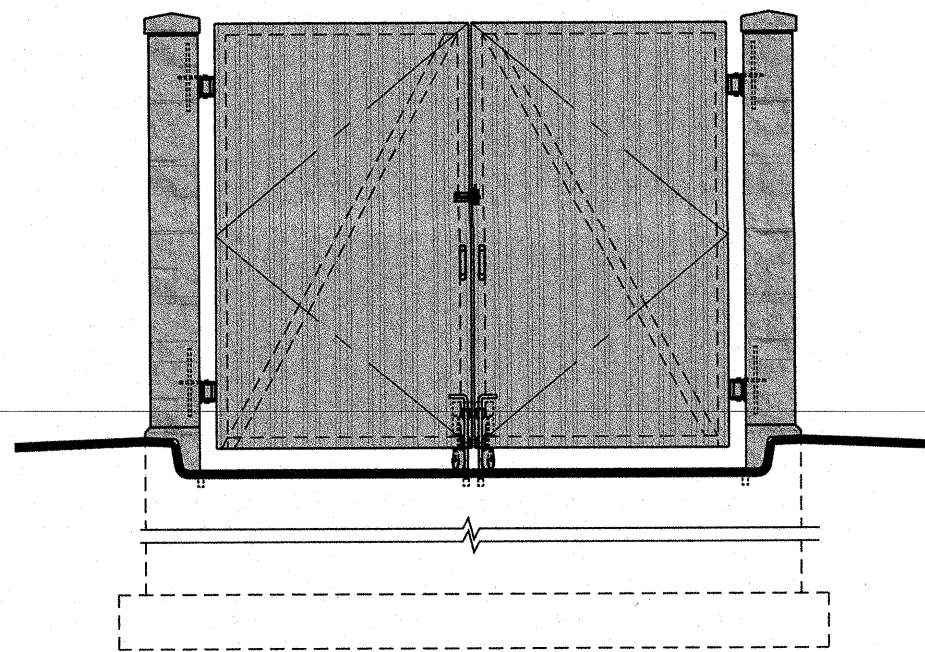
SHEET NUMBER

A2.2.0

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Version: December 21, 2021 3:30:07 PM

T.O. TRASH ENCLOSURE
6'-4"

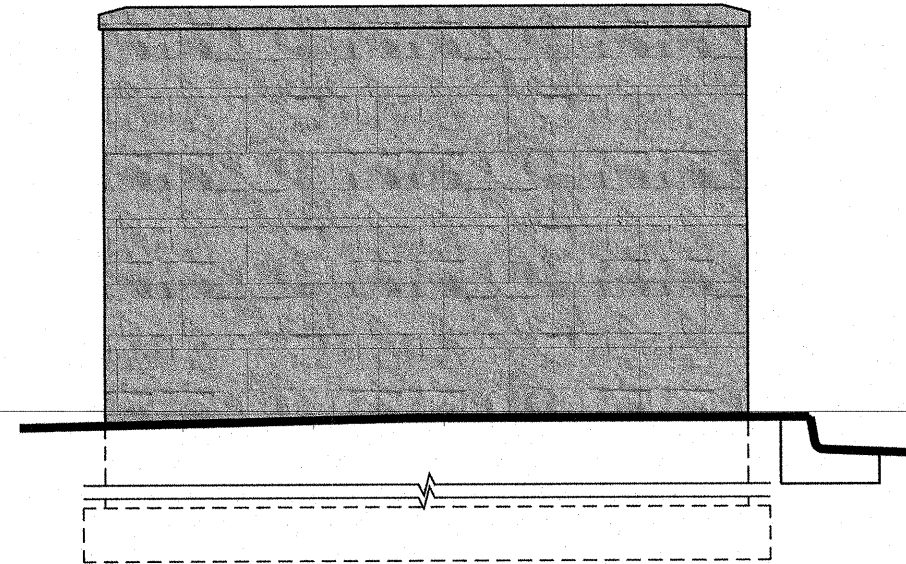
T.O. CURB
0'-0"



NORTH ELEVATION (FRONT)

T.O. TRASH ENCLOSURE
6'-4"

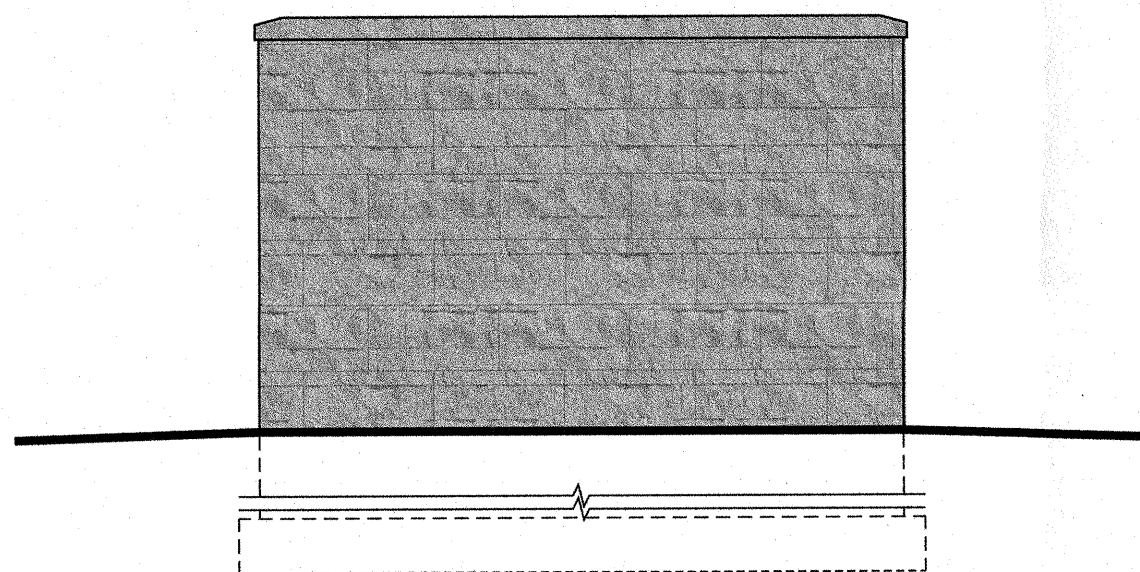
T.O. CURB
0'-0"



EAST ELEVATION

T.O. TRASH ENCLOSURE
6'-4"

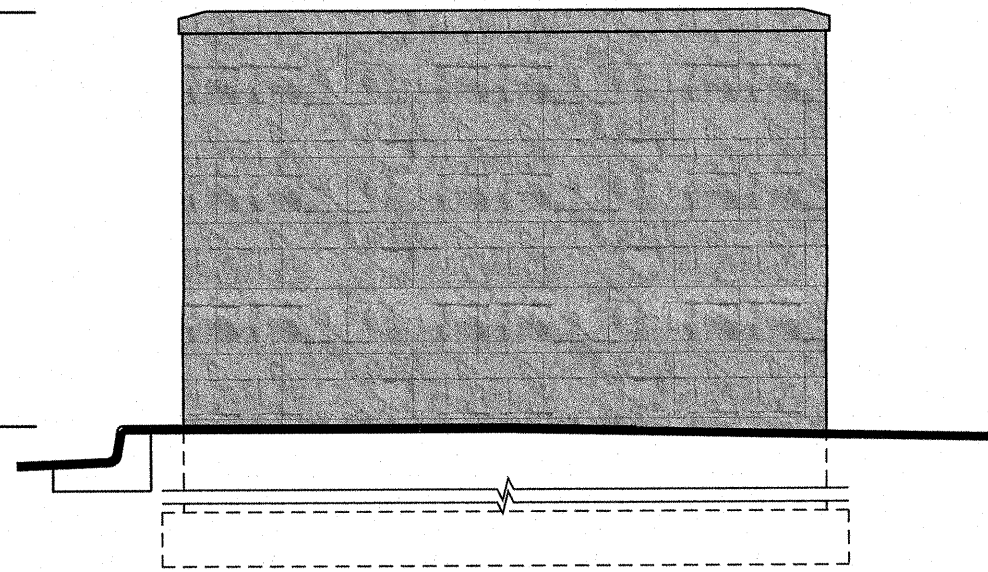
T.O. CURB
0'-0"



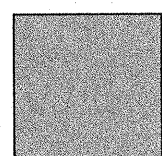
SOUTH ELEVATION (REAR)

T.O. TRASH ENCLOSURE
6'-4"

T.O. CURB
0'-0"



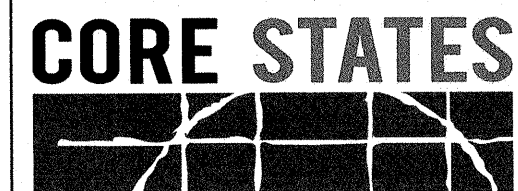
WEST ELEVATION


PAINT
APPLICATION: EXTERIOR METAL
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE


CORONADO STONE
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM

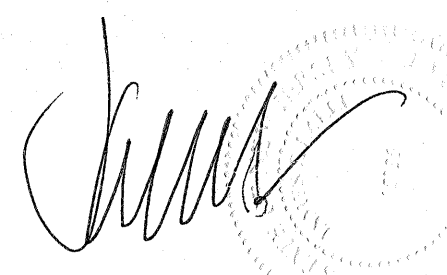


JP MORGAN CHASE, N.A.
PLAINSBORO
10 SCHALKS CROSSING ROAD
PLAINSBORO, NJ 08536
CHASE OVP#48100R003700



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ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION
PROJECT NO: JPM.34304
DATE: AS NOTED
PROTOTYPE: 20.5
DRAWN BY: D.WHITHOUSE
CHECKED BY: N.MENDENHALL
VERSION: SE 1.00

SHEET TITLE

DUMPSTER ENCLOSURE
ELEVATIONS

SHEET NUMBER

A0.6



LIF-WBO-24-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9sf
SCALE: NTS
...



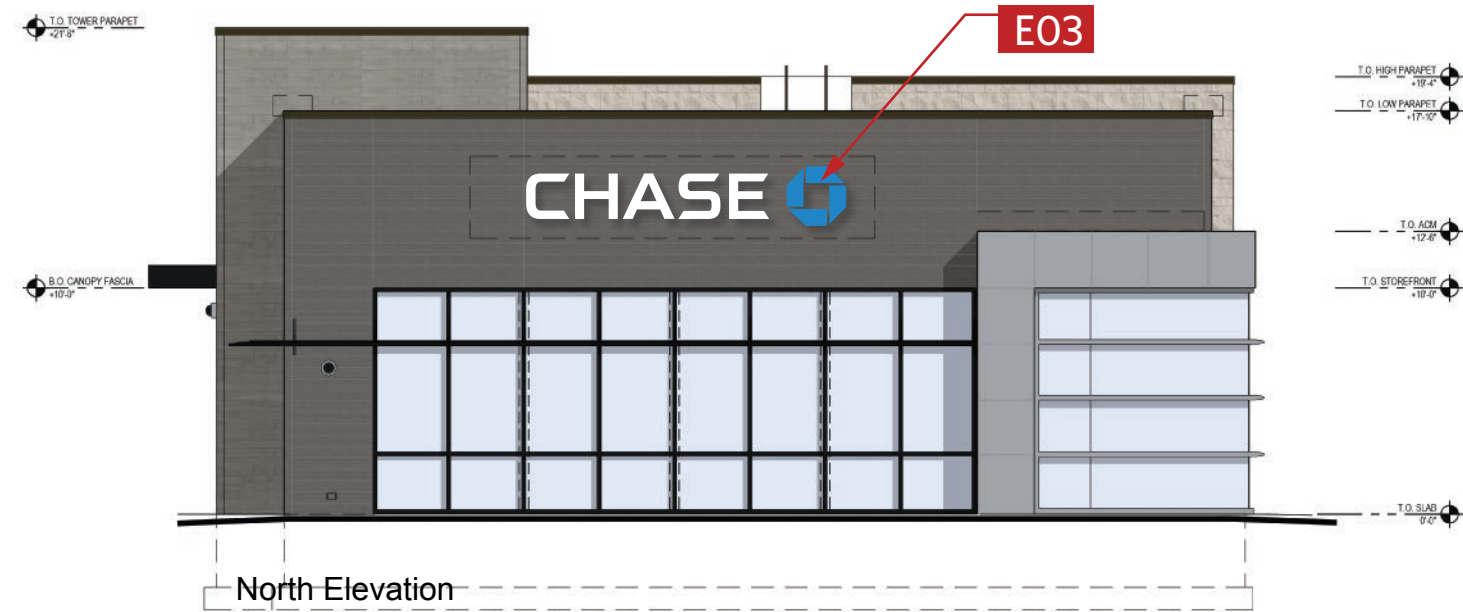
CHS.NB.1284 - Plainsboro
Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

DESIGNER - FP
CREATED - 02.23.23
DRAWING - B104562

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....



LIF-WBO-24-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
SCALE: NTS
....
I

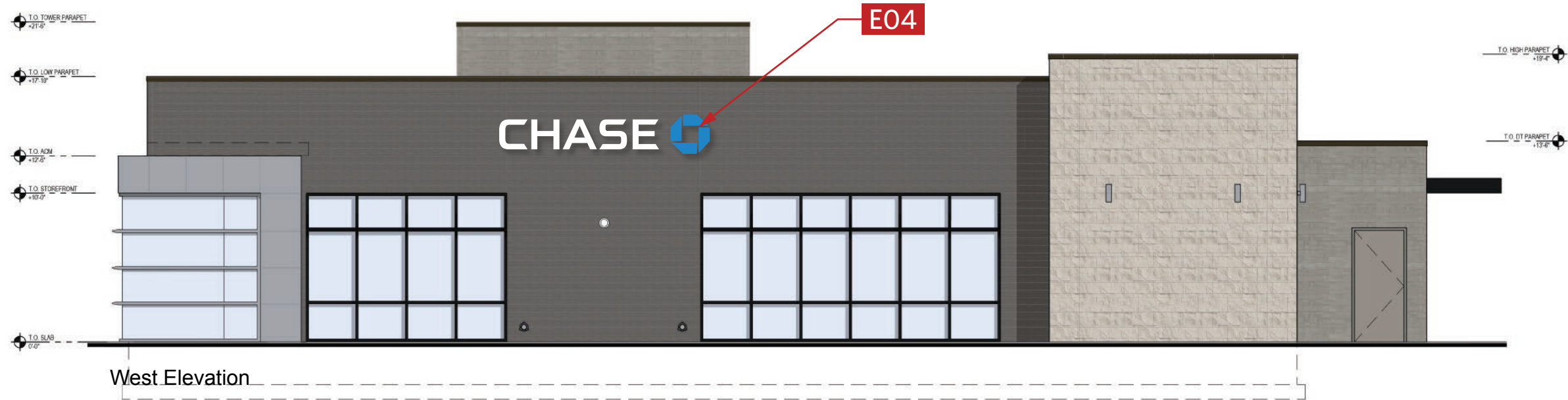


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Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

DESIGNER - FP
CREATED - 02.23.23
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LIF-WBO-24-LED
WHITE W/ BLUE OCTAGON ILLUM CHANNEL LETTERS - 36.9SF
SCALE: NTS

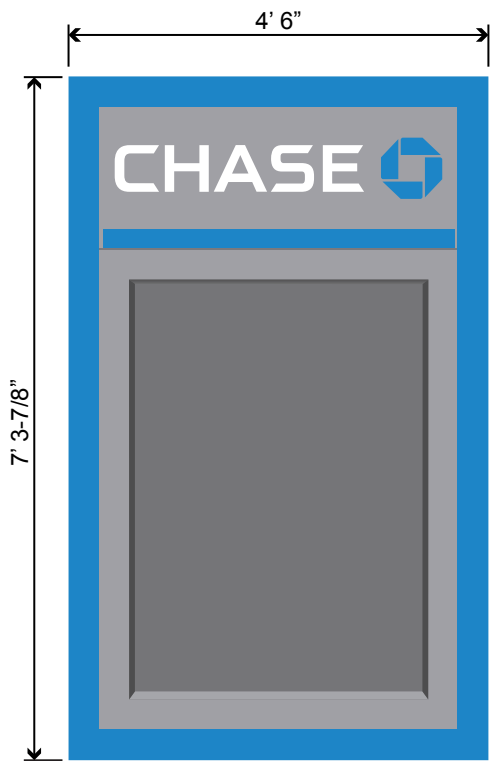
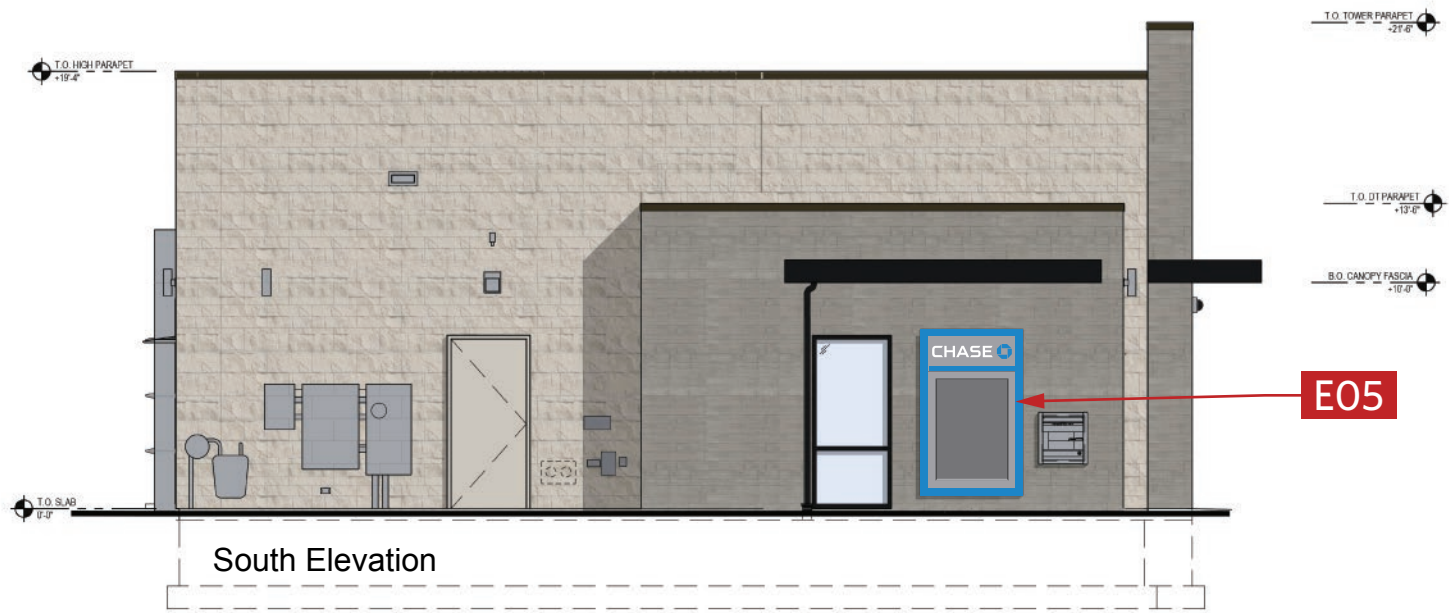


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Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

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SUR-TTW-U-4-TP
THIN PROFILE ATM SURROUND - 33SF
SCALE: NTS



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Schalks Crossing Rd & Scudders Mill Rd
Plainsboro, NJ 08536

DESIGNER - FP
CREATED - 02.23.23
DRAWING - B104562



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