

PRELIMINARY/FINAL SITE PLAN
OF
BUILDING PAD-CHASE BANK
AT
PLAINSBORO PLAZA CENTER
FOR
PLAINSBORO PLAZA, OWNER, LLC
BLOCK 1602, LOT 5
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

OWNER/Applicant:
PLAINSBORO PLAZA OWNER, LLC
1 GATEWAY CENTER, SUITE 2400
NEWARK, NJ 07102

ATTORNEY:
PRIME & TUEL ATTORNEYS AT LAW
1 UNIVERSITY PLAZA DRIVE, SUITE 500
HACKENSACK, NJ 07054

ARCHITECT:
CORE STATES GROUP
110 N. 11TH STREET, SUITE 101,
TAMPA, FL. 33602

CIVIL ENGINEER:
VAN NOTE-HARVEY ASSOCIATES, INC.
103 COLLEGE ROAD EAST
PRINCETON, NJ 08540

LANDSCAPE ARCHITECT/PLANNER:
STEARNS ASSOCIATES, LLC
15 WILLIAMSON LANE
LAMBERTVILLE, NJ 08530-3528

TRAFFIC ENGINEER:
BOWMAN
6 CAMPUS DR, 3RD FLOOR
PARSIPPANY, NJ 07054

SHEET INDEX

CIVIL ENGINEERING PLANS
VAN NOTE-HARVEY ASSOCIATES, INC.:

SHT.#	TITLE
CVR	COVER SHEET
VIC	VICINITY PLAN AND KEY MAP
OVL	OVERALL SITE PLAN
CE-1	SITE DEMOLITION PLAN
CE-2	SITE LAYOUT PLAN
CE-3	SITE GRADING PLAN
CE-4	SITE DRAINAGE AND UTILITY PLAN
CE-5	SOIL EROSION & SEDIMENT CONTROL PLAN
CE-6	SOIL EROSION & SEDIMENT CONTROL NOTES
CE-7	SOIL EROSION & SEDIMENT CONTROL DETAILS
CE-8	CONSTRUCTION DETAILS 1
CE-9	CONSTRUCTION DETAILS 2
TURN-1	TURNING MOVEMENT PLAN
1	EXISTING CONDITIONS SURVEY

LANDSCAPE/LIGHTING PLANS

STEARNS ASSOCIATES:

SHT.#	TITLE
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L1.1	OVERALL SITE PLAN, 50 SCALE
L1.2	PLANTING PLAN ENLARGED, 10 SCALE
L2.0	PLANTING DETAILS
L3.0	SITE DETAILS
L4.0	EXISTING LIGHTING PLAN FOR REFERENCE 50 SCALE
L4.1	LIGHTING PLAN 20 SCALE
L4.2	LIGHTING DETAILS
L4.3	LIGHTING CUTSHEETS
L4.4	LIGHTING CUTSHEETS
L5.1	ARCHITECTURAL ELEVATIONS FOR BUILDING LIGHTING
L5.2	ELEVATIONS

ARCHITECTURAL PLANS

CORE STATES GROUP:

SHT.#	TITLE
A1.0.0	FLOOR PLAN
A2.1.0	EXTERIOR ELEVATIONS
A2.2.0	EXTERIOR ELEVATION
A0.6	TRASH ENCLOSURE DETAILS

APPROVED BY THE PLAINSBORO TOWNSHIP PLANNING BOARD. PT#

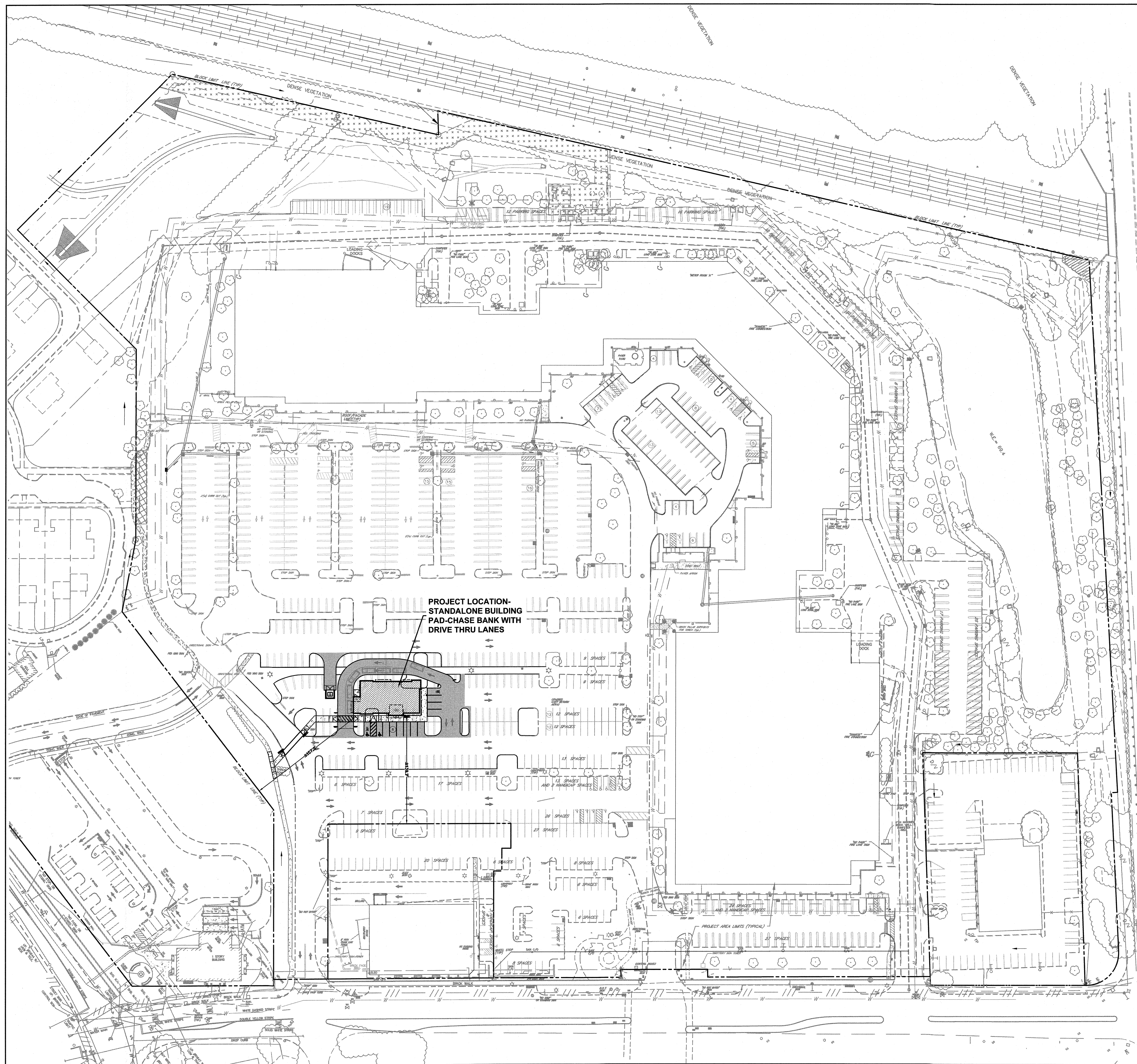
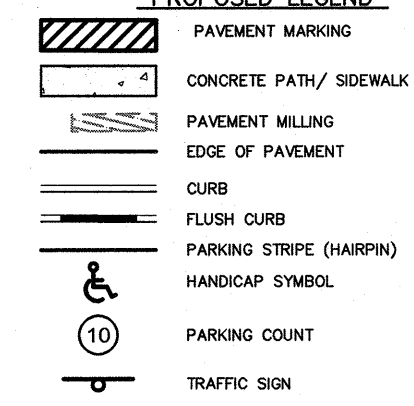
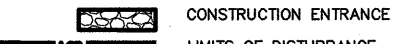
CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE

VNHA Project No.
PLPOL23001

CVR

**EXISTING LEGEND****DEMOLITION LEGEND****PROPOSED LEGEND****SESC LEGEND****ZONING DATA:**

TAX SHEET 16, BLOCK 1602, LOTS 5 AND 7
TAX SHEET 15, BLOCK 1508, LOT 7
ZONE: GB GENERAL BUSINESS

DESCRIPTION	CODE REQUIREMENTS	EXISTING LOTS 5 AND 7	LOTS 5 AND 7- APPROVED JUNE 10, 2014	PROPOSED BUILDING PAD FOR CHASE BANK
MINIMUM				
LOT AREA	25 ACRES	28.223± AC.	NO CHANGE	NO CHANGE
LOT FRONTAGE	425 FEET	± 905 FT.	NO CHANGE	NO CHANGE
LOT DEPTH	450 FEET	± 937 FT.	NO CHANGE	NO CHANGE
FRONT BUILDING SETBACK	1	± 4.6 FT.	NO CHANGE	NO CHANGE
BACK BUILDING SETBACK	1	± 71 FT.	NO CHANGE	NO CHANGE
SIDE BUILDING SETBACK (ONE SIDE ONLY)	1	± 59 FT.	NO CHANGE	NO CHANGE
IMPROVEMENT SETBACK FROM PLAINSBORO RD.	100 FEET	N/A	N/A	N/A
MAXIMUM				
PAD SITE BUILDING FROM SCHALKS CROSSING RD.	5 FEET	4.6 FT.	NO CHANGE	NO CHANGE
LOT COVERAGE- BUILDINGS	20%	18.07%	NO CHANGE	18.39%
LOT COVERAGE- IMPROVEMENTS	65%	61.8% (±758,400 SF)	61.3% ² (±753,900 SF)	61.0% ³ (±749,700 SF)
FLOOR AREA RATIO	0.20	0.181 (±224,794 SF)	0.186 (±228,294 SF)	0.189 (±232,219 SF)
BUILDING HEIGHT	1 STORY (28 FT. OR 30 FT. FOR OFFICE)	± 27'6"	NO CHANGE	NO CHANGE

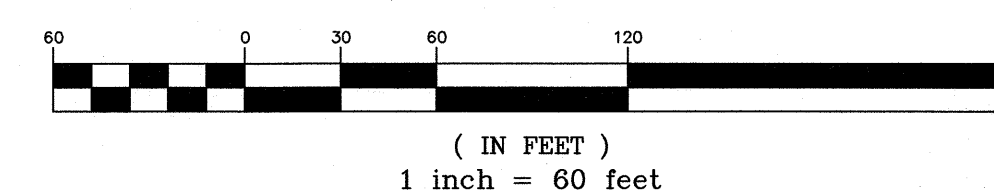
- 1 NO CODE REQUIREMENT
- 2 BASED ON IMPERVIOUS AREAS OF LOT. EXISTING IMPERVIOUS AREA TOTALS 16,606 AC., PROPOSED IMPERVIOUS AREA TOTALS 16,503 AC. YIELDING A NET DECREASE OF 0.103 AC. IN IMPERVIOUS AREAS.
- 3 6,400 S.F. OF NET IMPERVIOUS AREAS REMOVED

PARKING SCHEDULE:

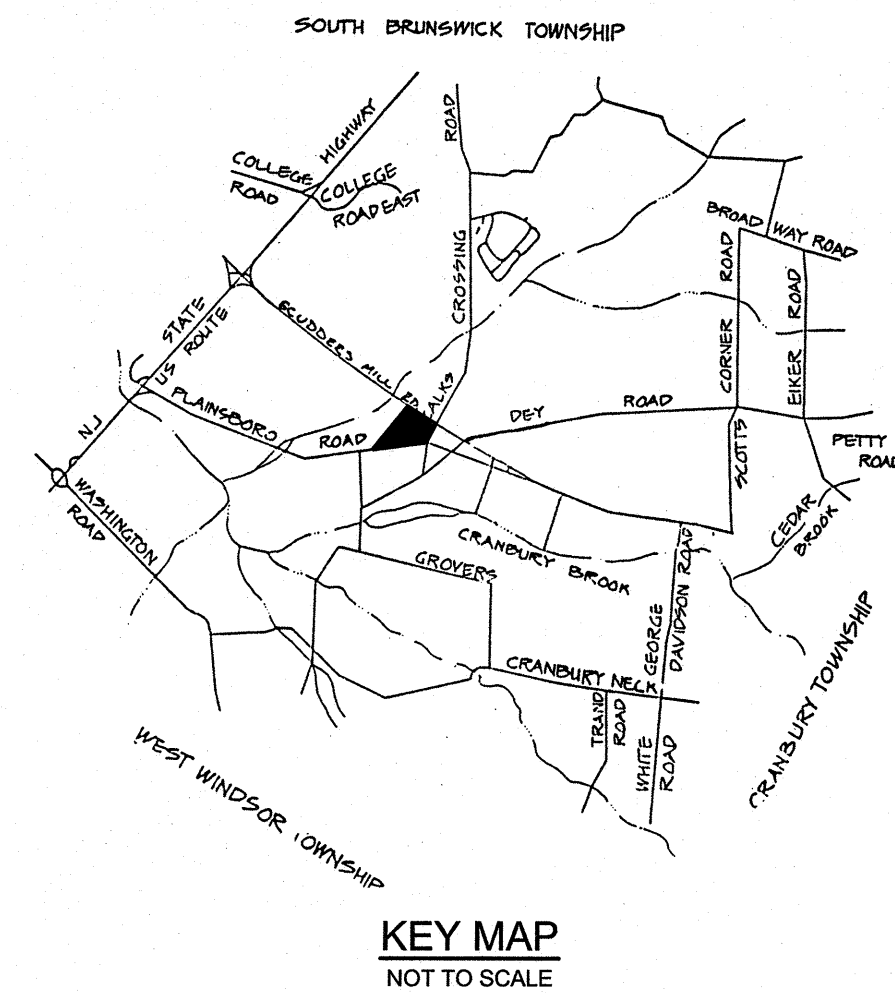
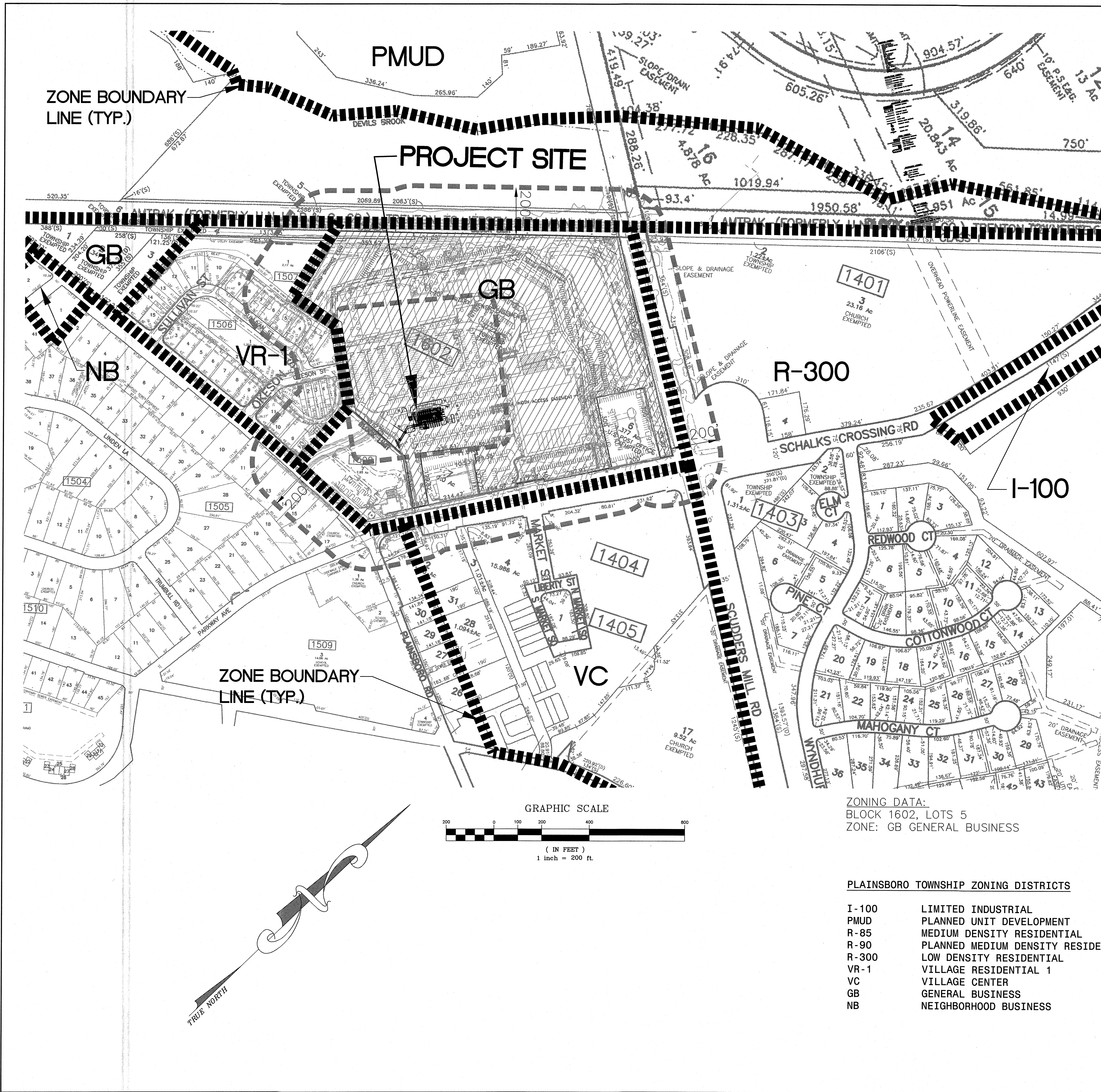
PARKING DATA	REQUIREMENT	REQUIRED	EXISTING ¹	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228,294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3478/250 ²	14	-	-75
LANDBANKED SPACES		-	46	-8
TOTAL SPACES	(228,294 x 5.5) + (3,478/250)	1266	1030	947
HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41
VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

* CURRENT CONDITIONS

- 1 EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13-11, PLAINSBORO TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00-02, APPROVED AUGUST 21, 2000.
- 2 PER PLAINSBORO TOWNSHIP CODE SECTION 85-44, MINIMUM NUMBER OF PARKING SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.
- 3 PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL SPACES MUST BE HANDICAP-ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15 SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE HANDICAP-ACCESSIBLE.
- 4 PER ADA REQUIREMENTS

GRAPHIC SCALE

van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com www.pennoni.com		Certificate of Authorization No. 24GA28033300			
OVERALL SITE PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP SCALE: 1" = 60' DATE: 07/20/2023					
REV. DESCRIPTION DATE DFT.BY CKD.BY 07/20/2023 RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160		DRAWN BY: WDV DATE: 43986- CHECKED BY: RAP DATE: 400-21 FIELD BK: PAGE ORDER No.: 207-C-3 FILE No.: 43986- SHEET No.: 400-21 OVL			



PROPERTY OWNERS LIST WITHIN 200 FT. OF SUBJECT SITE: (NOW OR FORMERLY)
CERTIFIED LIST PROVIDED BY PLAINSBORO TOWNSHIP OCTOBER 14, 2013

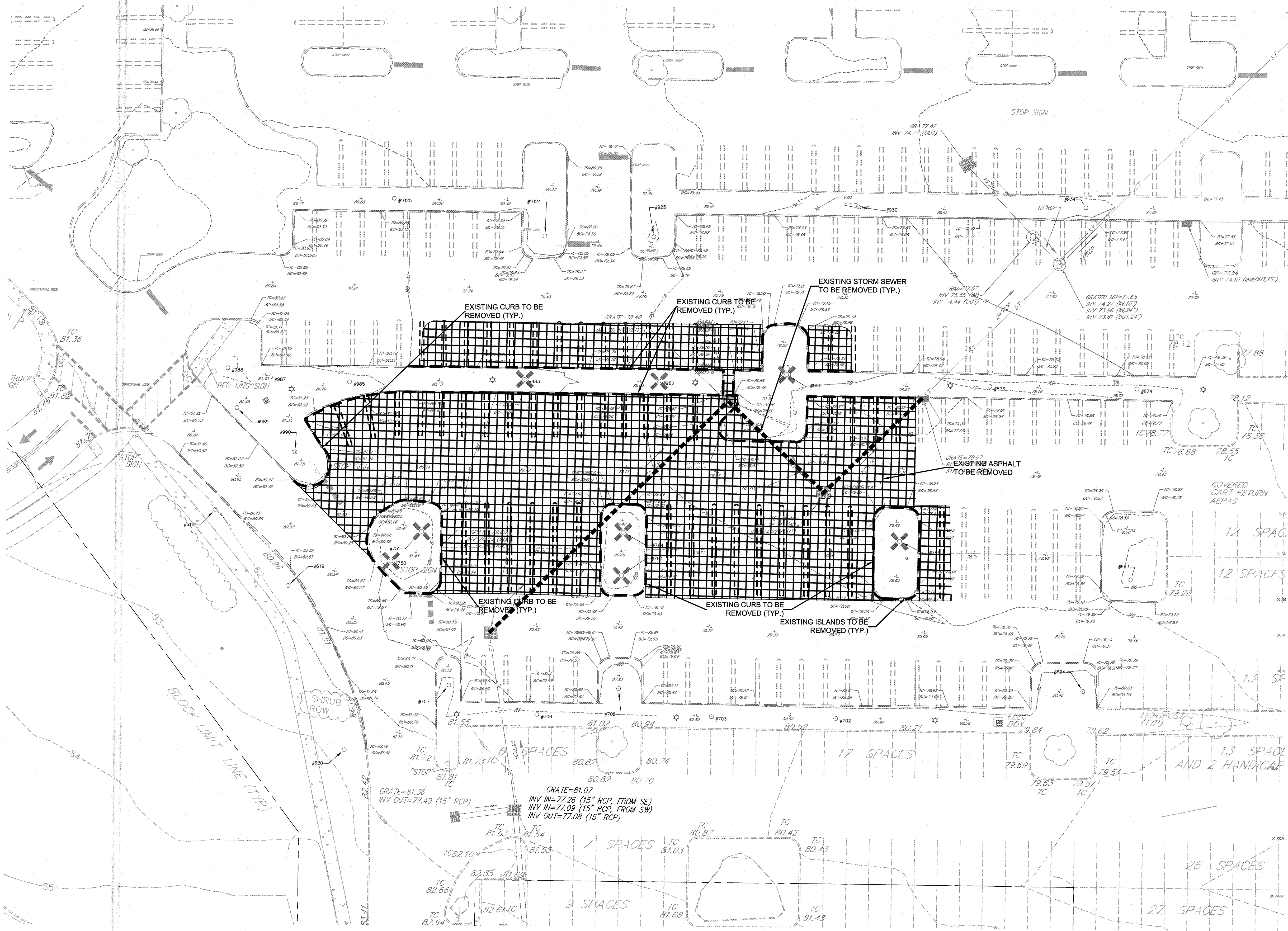
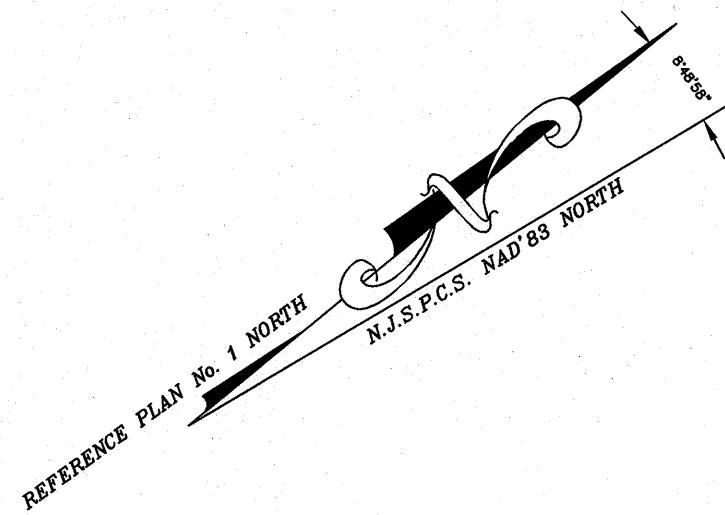
BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
1401	3	The Princeton Alliance Church PO Box 9000 Plainsboro, NJ 08536	1508	7	PNC Bank/Tax Administration 620 Liberty Ave 19th Fl Pittsburgh, PA 15222
1404	2	Hobbian, Marjan 12 Petty Road Cranbury, NJ 08512	1508	8	Wofford, Warren & Cynthia 441 Plainsboro Road Plainsboro, NJ 08536
1403	3	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1508	9	Arora, Anil & Reena 439 Plainsboro Road Plainsboro, NJ 08536
1404	4.01	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	3	Princeton Three Hospitality Group 1950 Street Road, Ste 204 Bensalem, PA 19020
1404	43	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	5	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536
1506	1	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536	1601	6	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	1	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1602	4	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	2	Shroff, A. & Mazagonwalla, R. 25 Sullivan Street Plainsboro, NJ 08536	1602	6	United States Post Office 12 Schalks Crossing Road Plainsboro, NJ 08536
1507	3	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691			Director of Planning for Middlesex County 40 Livingston Avenue New Brunswick, NJ 08901
1507	4	Rupani, Zahid & Shehla 23 Sullivan Street Plainsboro, NJ 08536			NJ American Water 1341 North Avenue Plainfield, NJ 07061-0001
1507	5	Jiang, Jincal & Liu, Zengying 21 Sullivan Street Plainsboro, NJ 08536			NJ Dept. of Transportation 1035 Parkway Ave, ON 600 Trenton, NJ 08625
1507	6	Yoon, Brian & Young 19 Sullivan Street Plainsboro, NJ 08536			PSE&G Manager - Corporate Properties 80 Park Plaza, T6B Newark, NJ 07102
1507	7	Suri, Naveen & Nirmala 17 Sullivan Street Plainsboro, NJ 08536			Comcast Cable Vision 90 Lake Avenue East Windsor, NJ 08520
1507	8	Gamper, Brett & Jami 15 Sullivan Street Plainsboro, NJ 08536			Verizon 1490 Prospect Street Trenton, NJ 08638
1507	9	Chen-Hayes, L & S & Hayes, LF 13 Sullivan Street Plainsboro, NJ 08536			United Water Princeton Meadows / a subsidiary of United Water Mid-Atlantic 111 Howard Boulevard, Suite 203 Mount Arlington, NJ 07856-1315
1508	1	Ananthakrishnan, V & Venkatesan, U 4 Oakeson Street Plainsboro, NJ 08536			Stony Brook Regional Sewerage Authority 290 River Road Princeton, NJ 08540
1508	2	Singh, Gurpreet & Jeevanjot 6 Oakeson Street Plainsboro, NJ 08536			Right-of-Way Dept. Sun Pipe Line Co. Ten Penn Center 26th Floor 1801 Market Street Philadelphia, PA 19103-1699
1508	3	Chandrika, Pillutla&Gopal, Maddapati 8 Oakeson Street Plainsboro, NJ 08536			Director of Planning for Mercer County PO Box 8068 Trenton, NJ 08650
1508	4	Tsal, Chijiang & Zhang, Fang 12 Oakeson Street Plainsboro, NJ 08536			Comcast Cable Communications, Inc. Andy Cortes Area Construction Supervisor - Monmouth Cluster 751 Brick Blvd Brick, NJ 08723
1508	5	Eapen, Sujit & Fernandes, Cheryl 12 Oakeson Street Plainsboro, NJ 08536			
1508	6	Sharbell Development Corporation 1 Washington Blvd Suite 9 Robbinsville, NJ 08691			

ZONING DATA:
BLOCK 1602, LOTS 5
ZONE: GB GENERAL BUSINESS

PLAINSBORO TOWNSHIP ZONING DISTRICTS

I-100	LIMITED INDUSTRIAL
PMUD	PLANNED UNIT DEVELOPMENT
R-85	MEDIUM DENSITY RESIDENTIAL
R-90	PLANNED MEDIUM DENSITY RESIDENTIAL
R-300	LOW DENSITY RESIDENTIAL
VR-1	VILLAGE RESIDENTIAL 1
VC	VILLAGE CENTER
GB	GENERAL BUSINESS
NB	NEIGHBORHOOD BUSINESS

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REV. DESCRIPTION DATE DFT.BY CKD.BY	DRAWN BY WDV FIELD BK ORDER No. FILE No. SHEET No. DATE 43986-400-21 207-C-3 VIC	
Ralph A. Petrella RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160		



TREE INFORMATION			
TAG#	COMMON NAME	WIDTH (INCHES)	HEIGHT (FEET)
618	HONEY LOCUST	15	40
619	HONEY LOCUST	15	40
620	CRAB APPLE	12	20
693	RED MAPLE	12	30
694	RED MAPLE	15	35
702	HONEY LOCUST	8	30
703	HONEY LOCUST	10	30
705	HONEY LOCUST	8	30
707	HONEY LOCUST	8	25
*750	HONEY LOCUST	10	25
*751	RED MAPLE	12	30
*783	HONEY LOCUST	9	25
*784	RED MAPLE	11	30
*786	RED MAPLE	12	35
874	HONEY LOCUST	12	30
876	HONEY LOCUST	12	30
*880	RED MAPLE	12	35
925	HORN BEAN	5	20
930	HORN BEAN	5	20
934	HORN BEAN	5	20
*982	HONEY LOCUST	10	30
*983	HONEY LOCUST	10	30
985	HONEY LOCUST	10	30
987	RED MAPLE	12	35
988	RED MAPLE	8	30
989	HONEY LOCUST	15	40
990	RED MAPLE	8	30
1024	HORN BEAN	4	20
1025	HORN BEAN	4	20

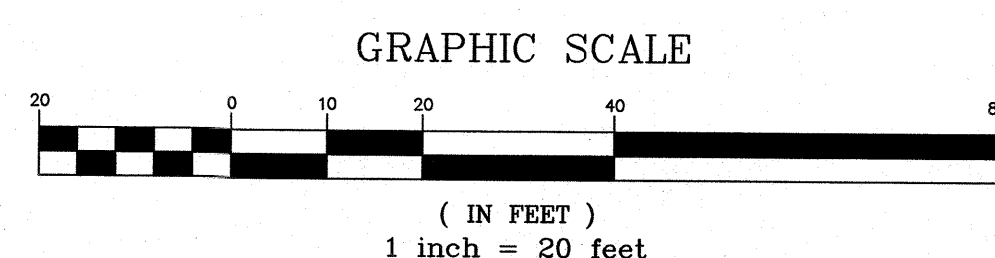
*DENOTES EXISTING TREES TO BE REMOVED.

PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602

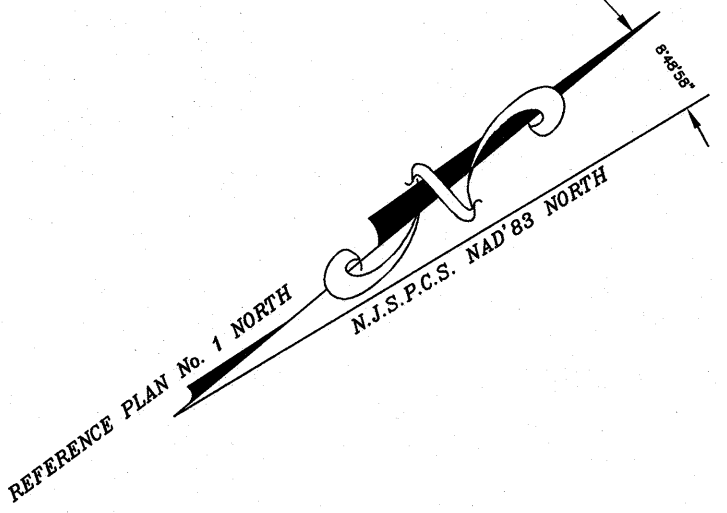


VNHA SYMBOLS LEGEND:

- | | | | |
|---|--|--|---|
| <ul style="list-style-type: none"> SPOT ELEVATION TOP OF CURB BOTTOM OF CURB DEPRESSED CURB CLEAN OUT LIGHT POST #26 TREE I.D. | <ul style="list-style-type: none"> STORM GRATE STORM DRAINAGE MANHOLE SANITARY SEWER MANHOLE ELECTRIC MANHOLE UTILITY MANHOLE FIRE HYDRANT | <ul style="list-style-type: none"> BOLLARD GAS VALVE WATER VALVE SIGN UTILITY BOX | <ul style="list-style-type: none"> MAJOR TOPOGRAPHIC CONTOUR MINOR TOPOGRAPHIC CONTOUR STORM SEWER |
|---|--|--|---|



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SITE DEMOLITION PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP MIDDLESEX CO., N.J. SCALE: 1" = 20' DATE: 07/20/2023 DRAWN BY: WDV FIELD BK: ORDER No. 43986-400-21 SHEET No. 207-C-3 CHECKED BY: RAP DATE: CE-1			
1. MUNICIPAL SUBMISSION REV. DESCRIPTION		11/20/23 DATE DFT BY CKD BY	
Ralph A. Petrella 07/20/2023 RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160			



1. THE PROPOSED DUMPSTER ENCLOSURE SHALL BE PROPERLY SIZED TO FULLY CONTAIN THE DUMPSTER CONTAINERS (TRASH AND RECYCLABLES) THAT WILL BE NEEDED TO SERVE THE SOLID WASTE NEEDS OF THE PROPOSED DEVELOPMENT. THE ENCLOSURE SHALL BE DESIGNED TO BE SECURE, STURDY AND IT SHALL BE EASY TO ACCESS. THE ENCLOSURE SHALL BE DESIGNED TO BE VISIBLE FROM OUTSIDE THE ENCLOSURE. OTHER THAN WHEN THE DUMPSTERS ARE BEING EMPTIED, THE GATES ON THE ENCLOSURE SHALL BE KEPT CLOSED AT ALL TIMES. NO WASTE STORAGE, INCLUDING ADDITIONAL DUMPSTERS, SHALL BE ALLOWED INSIDE THE PROPOSED DUMPSTER ENCLOSURE.
2. ALL WATER DISTRIBUTION SYSTEM IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY AND PLUMBING SUBCODE OFFICIAL.
3. THE DESIGN OF THE ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE ADEQUATE TO PROVIDE FIRE PROTECTION AS PER ISO STANDARD, FIRE SUPPRESSION RATING SCHEDULE, OR PER AWWA M31, MANUAL OF WATER SUPPLY PRACTICES.
4. THE PROPOSED UTILITY IMPROVEMENTS SHALL REQUIRE A RIGHT OF WAY PERMIT APPLICATION PRIOR TO UTILITY WORK COMMENCING WITHIN THE SHOULDS CROSSING ROAD RIGHT OF WAY.
5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A DETAILED SEQUENCE OF CONSTRUCTION AND CONSTRUCTION SCHEDULE SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER, PLANNING AND PUBLIC TRAFFIC. THIS WILL FURTHER ESTABLISH CONTRACTOR'S WORK AND STAGING AREAS FOR EACH PHASE OF CONSTRUCTION, AND SHALL INCLUDE BUT NOT LIMITED TO ITEMS RELATED TO THE PLACEMENT OF CONSTRUCTION MATERIALS AND/OR CONSTRUCTION TRAILERS, OUTSIDE STORAGE AND MATERIALS STORAGE, AND SECURITY FENCING, VEHICULAR AND PEDESTRIAN CIRCULATION, INSTALLATION OF UNDERGROUND UTILITIES, PARKING AREA CONSTRUCTION AND CONSTRUCTION RELATED SIGNAGE.
6. PRIOR TO THE COMMENCEMENT OF WORK, INCLUDING INITIAL SITE CLEARANCE AND GRADING, A HAULING PLAN SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER AND APPROVAL FOR THE MOVEMENT OF ANY CONSTRUCTION MATERIALS OR DEMOLITION DEBRIS ON ROADWAYS LEADING FROM THE TOWNSHIP BORDER AND VICE VERSA.

PARKING DATA	REQUIREMENT	REQUIRED	EXISTING ¹	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228.294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3432/250 ²	14		-75
LANDBANKED SPACES	-	-	46	-8
TOTAL SPACES	(228.294 x 5.5) + (3,432/250)	1270	1030	947
HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41
VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

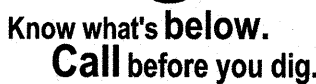
1 EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF
PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13--11, PLAINSBORO
TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00--02,
APPROVED AUGUST 21, 2000.

2 PER PLAINSBORO TOWNSHIP CODE SECTION 85--44, MINIMUM NUMBER OF PARKING
SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.

3 PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL
SPACES MUST BE HANDICAP--ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO
TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15
SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE
HANDICAP--ACCESSIBLE.

4 PER ADA REQUIREMENTS

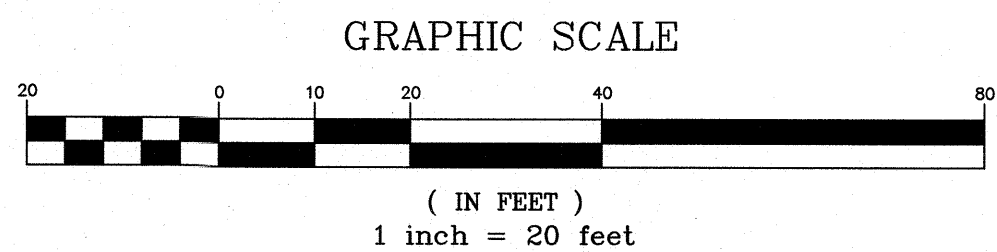
SHEET 16 LOT 5 BLOCK 1602



As-built grading plans are required to be submitted by the developer to the Township Engineer's Office prior to occupying the site. As a minimum the following shall be provided:

1. Storm System:
 - a. Provide as-built pipe sizes, types and classes, manhole and inlet inlets, grates, and inverts; and detention basin, subsurface piping, grading, flow channel, and outlet structures.
 - b. A certification shall be provided from the storm water subsurface recharge and storage facilities design engineer indicating that the subsurface recharge and storage facilities have been constructed in accordance with the final plans and specifications and that the facilities will function as originally designed prior to site occupancy.
2. Roadway Systems:
 - a. Provide as-built of access drive and aisles relative to the top of curb, gutter, and centerline elevations at 50' intervals and all returns, high points and low points prior to occupancy.
3. Buildings:
 - a. Submit as-built grading plans for each phase of the building(s) prior to the issuance of certificates of occupancy.
4. Parking Areas:
 - a. Where parking area slopes are less than 1% provide as-built top of curb and gutter elevations at breaks and angle points and sufficient pavement elevations to establish positive drainage to the nearest storm system.
5. Water Distribution System:
 - a. Provide copies of the as-built plans as required by the operating utility company providing the water service, but no less than the location and size of water meter pits, water mains, valves, fire department connections and fire hydrants.
6. Sanitary Sewer System:
 - a. Provide as-built location, size, slope, material and inverts of all pipes, manholes and pumping stations, or as may be required by the operating utility company providing such service.

SPOT ELEVATION		STORM GRATE				MAJOR TOPOGRAPHIC CONTOUR
TOP OF CURB		STORM DRAINAGE MANHOLE				MINOR TOPOGRAPHIC CONTOUR
BOTTOM OF CURB		SANITARY SEWER MANHOLE				STORM SEWER
DEPRESSED CURB		ELECTRIC MANHOLE				UTILITY BOX
CLEAN OUT		UTILITY MANHOLE				
LIGHT POST		FIRE HYDRANT				
Ø26 TREE I.D.						



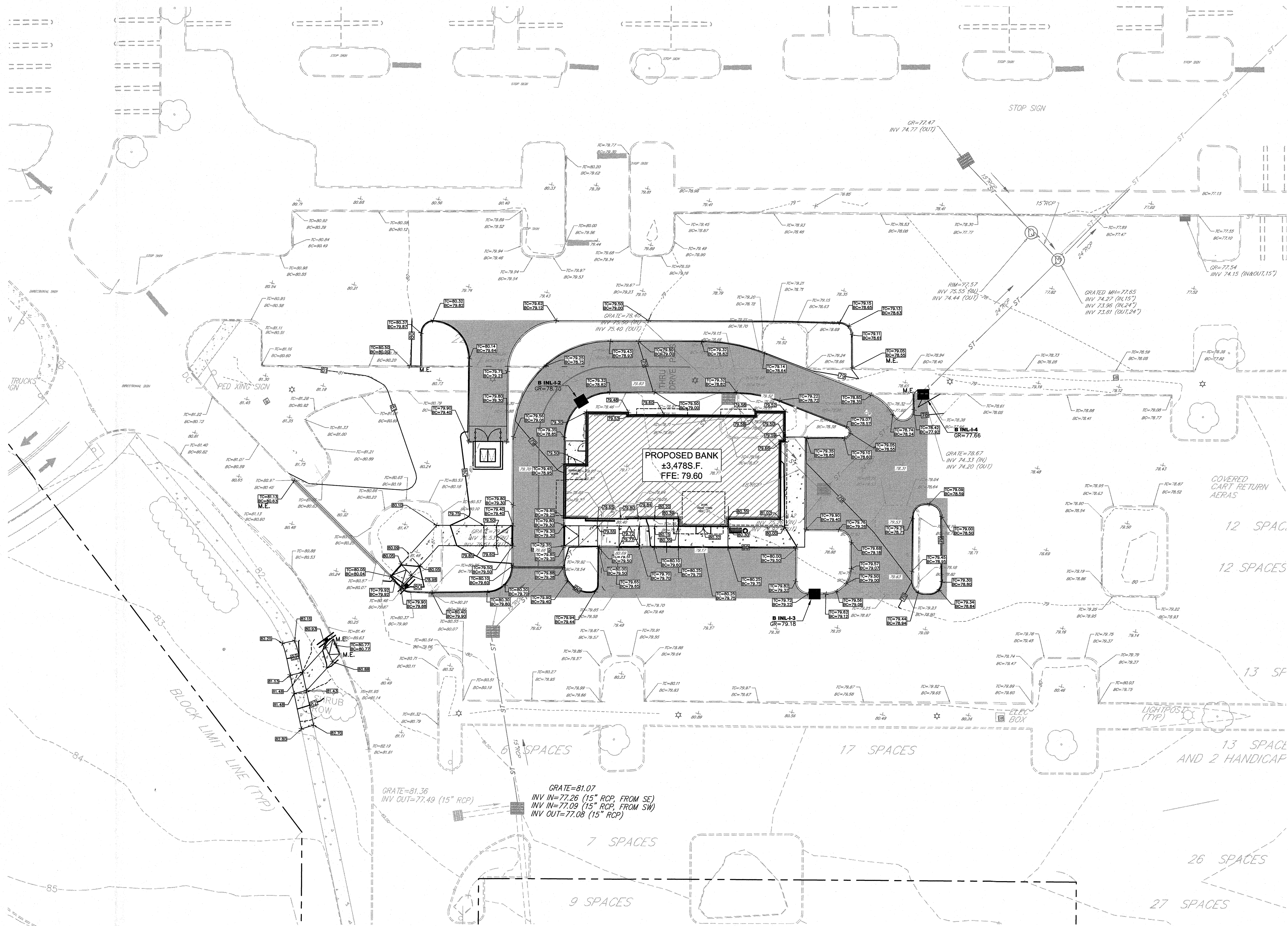
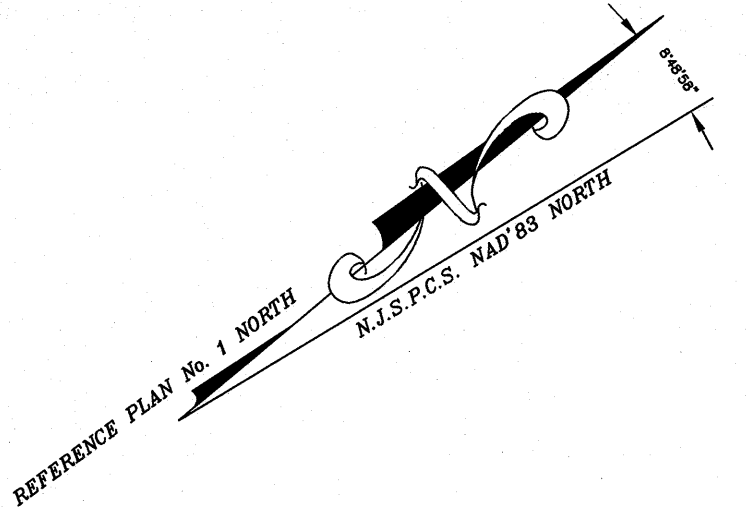
Ralph A. Petrella 07/20/2023
DATE OF SIGN.

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160



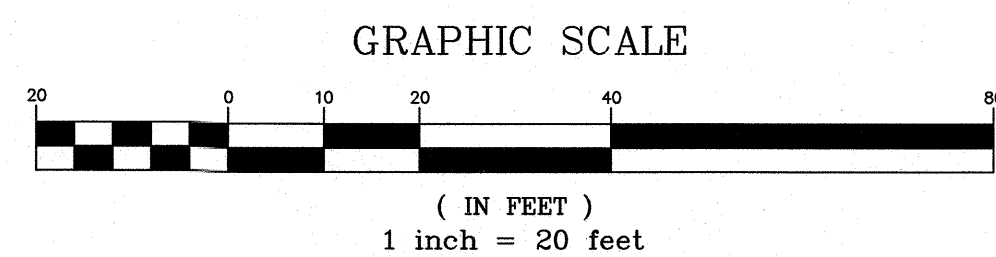
PLAINSBORO PLAZA OWNER, LLC

DRAWN BY DATE	WDV	FIELD BK	ORDER No. 43986- 400-21	FILE No. 207-C-3	SHEET No. CE-2
CHECKED BY DATE	RAP	PAGE			



VNHA SYMBOLS LEGEND:

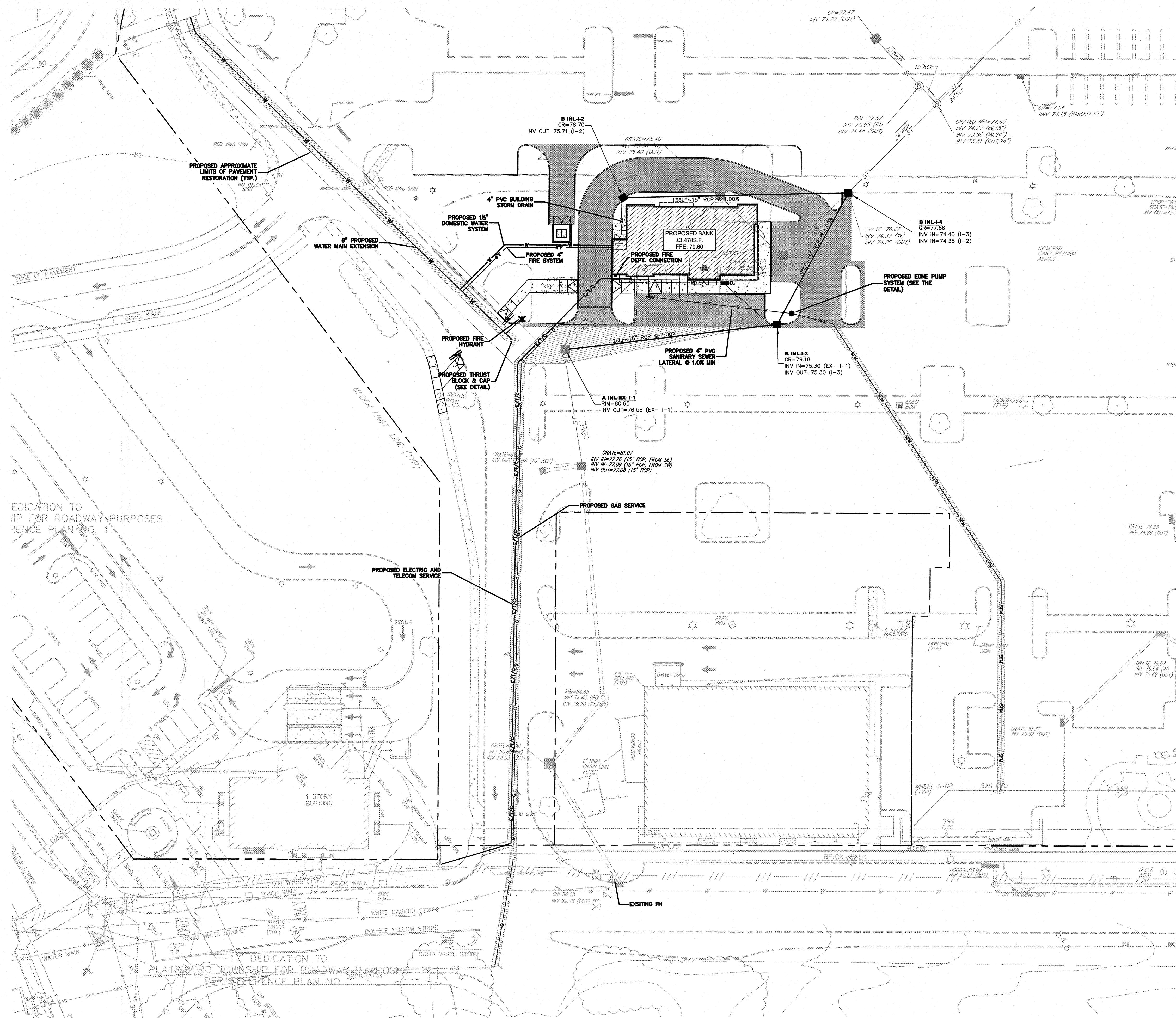
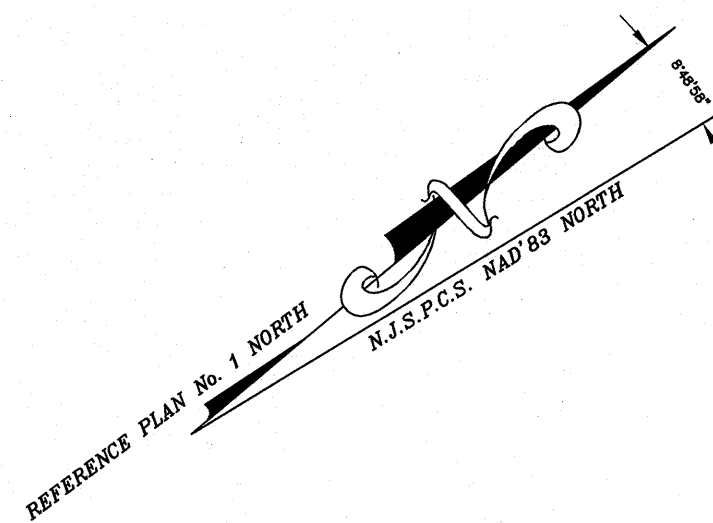
- | | | |
|--|---|--|
| <p>SPOT ELEVATION</p> <p>TOP OF CURB</p> <p>BOTTOM OF CURB</p> <p>DEPRESSED CURB</p> <p>M.E. MATCH EXISTING</p> <p>CLEAN OUT</p> <p>LIGHT POST</p> <p>Ø 26 TREE I.D.</p> | <p>STORM GRATE</p> <p>STORM DRAINAGE MANHOLE</p> <p>SANITARY SEWER MANHOLE</p> <p>ELECTRIC MANHOLE</p> <p>UTILITY MANHOLE</p> <p>FIRE HYDRANT</p> <p>BOLLARD</p> <p>GAS VALVE</p> <p>WATER VALVE</p> <p>SIGN</p> <p>UTILITY BOX</p> | <p>MAJOR TOPOGRAPHIC CONTOUR</p> <p>MINOR TOPOGRAPHIC CONTOUR</p> <p>STORM SEWER</p> |
|--|---|--|



PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



<p>van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com Certificate of Authorization No. 24GA28033300 www.pennoni.com</p>			
<p>SITE GRADING PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP MIDDLESEX CO. N.J. SCALE: 1" = 20' DATE: 07/20/2023 DATE OF SIGN: 07/20/2023</p>			
<p>1. MUNICIPAL SUBMISSION</p> <p>REV. DESCRIPTION</p>	<p>11/20/23</p> <p>DATE</p>	<p>KMW</p> <p>DFT.BY</p>	<p>RAP</p> <p>CKD.BY</p>
<p><i>Ralph A. Petrella</i></p> <p>RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160</p>		<p>FIELD BK</p> <p>PAGE</p>	<p>ORDER No.</p> <p>FILE No.</p> <p>SHEET No.</p> <p>43986-400-21</p> <p>207-C-3</p> <p>CE-3</p>



PLAINSBORO TOWNSHIP TAX MAP DATA

SHEET 16 LOT 5 BLOCK 1602



Know what's below.
Call before you dig.

VNHA SYMBOLS LEGEND:

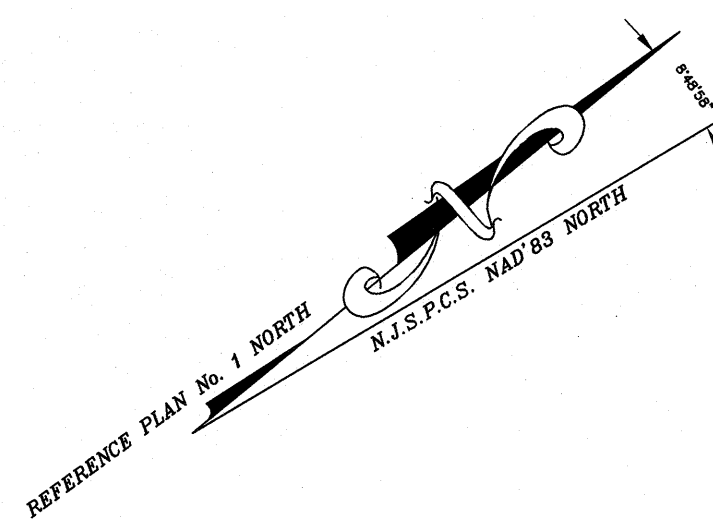
SPOT ELEVATION	STORM GRATE	BOLLARD
TOP OF CURB	STORM DRAINAGE MANHOLE	GAS VALVE
BOTTOM OF CURB	SANITARY SEWER MANHOLE	WATER VALVE
DEPRESSED CURB	ELECTRIC MANHOLE	SIGN
CLEAN OUT	UTILITY MANHOLE	UTILITY BOX
LIGHT POST	FIRE HYDRANT	
#26 TREE I.D.		

MAJOR TOPOGRAPHIC CONTOUR
MINOR TOPOGRAPHIC CONTOUR
STORM SEWER

GRAPHIC SCALE



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SITE DRAINAGE AND UTILITY PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN PLAINSBORO TOWNSHIP MIDDLESEX CO., N.J. SCALE: 1" = 30' JULY 20, 2023			
1. MUNICIPAL SUBMISSION	11/20/23	KMW	RAP
REV.	DESCRIPTION	DATE	DFT.BY CKD.BY
<i>Ralph A. Petrella</i> 07/20/2023 DATE OF SIGN.			
RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160		DRAWN BY WDV DATE 43986- CHECKED BY RAP DATE 400-21	FIELD BK PAGE ORDER No. 207-C-3 FILE No. 207-C-3 SHEET No. CE-4



SOIL EROSION AND SEDIMENT CONTROL LEGEND:

- — — — — LIMIT OF DISTURBANCE
- SF — SF — SF — SF — SILT FENCE
- TP — TREE PROTECTION
- ▨ INLET PROTECTION
- STONE CONSTRUCTION ENTRANCE
- TOPSOIL STOCKPILES

PLAINSBORO TOWNSHIP TAX MAP DATA

SHEET 16 LOT 5 BLOCK 1602



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211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600

www.vannoteharvey.com
www.pennoni.com

Certificate of Authorization
No. 24GA28033300



SOIL EROSION AND SEDIMENT CONTROL PLAN

OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE

PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC

SITUATED IN MIDDLESEX CO. N.J.

DATE: 07/20/2023

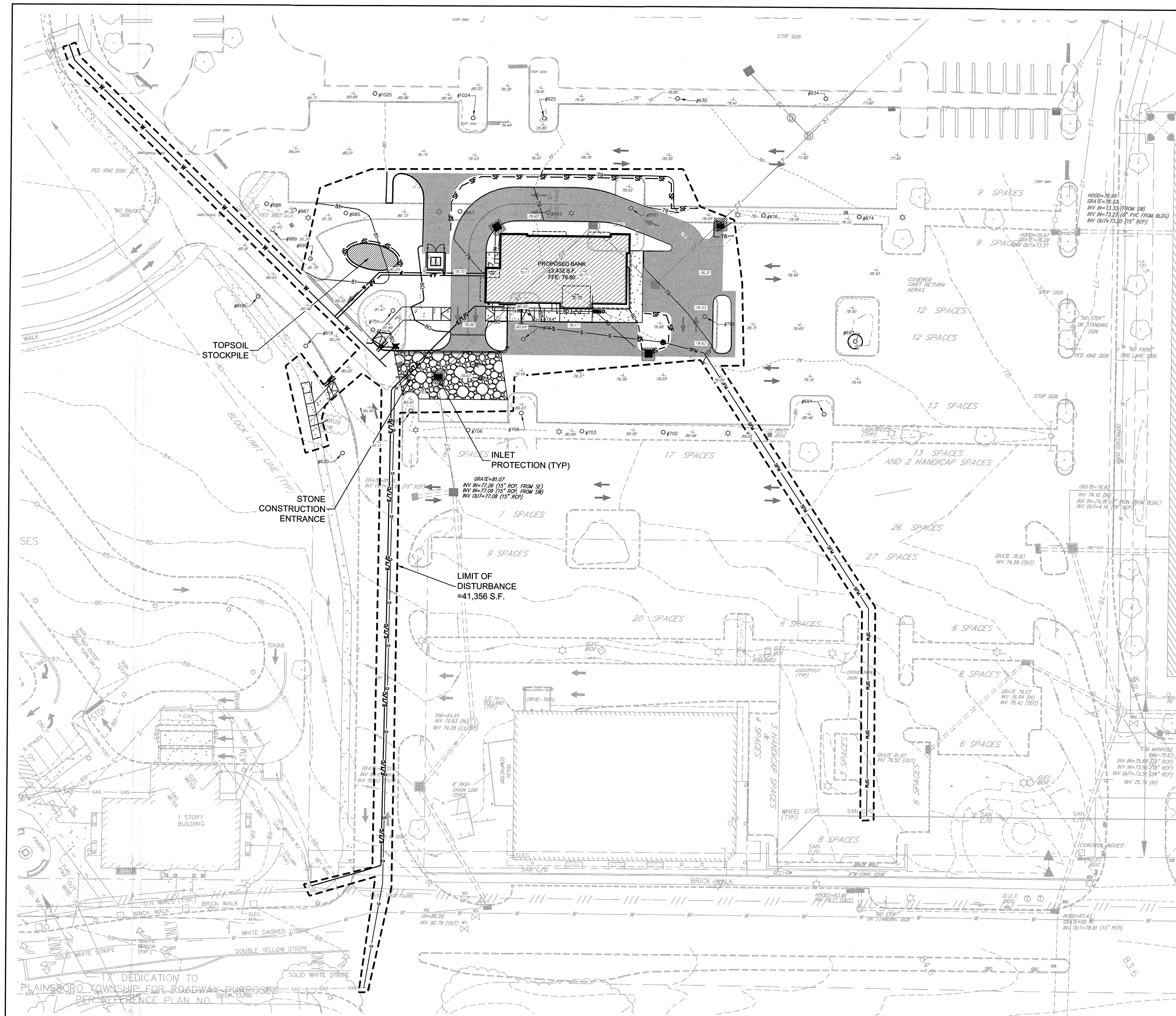
DRAWN BY: WDV FIELD BK: ORDER No. FILE No. SHEET No.
DATE: 43986- PAGE: 207-C-3 JULY 20, 2023

CHECKED BY: RAP DATE: 400-21

DATE: 400-21

CE-5

N:\P\43986\DWG\43986-SESC-PLT.DWG



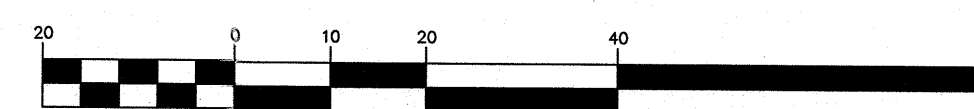
VNHA SYMBOLS LEGEND:

- SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- DEPRESSED CURB
- CLEAN OUT
- LIGHT POST
- #26 TREE I.D.

- STORM GRATE
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- ELECTRIC MANHOLE
- UTILITY MANHOLE
- FIRE HYDRANT
- BOLLARD
- GAS VALVE
- WATER VALVE
- SIGN
- UTILITY BOX

- MAJOR TOPOGRAPHIC CONTOUR
- MINOR TOPOGRAPHIC CONTOUR
- STORM SEWER

GRAPHIC SCALE



(IN FEET)
1 inch = 20 feet

Ralph A. Petrella

07/20/2023
DATE OF SIGN.

RALPH A. PETRELLA

N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

A. TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1, IN "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" (SSESCNJ).
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE SSESCNJ ENGINEERING STANDARDS.
- C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED TO A 6" MINIMUM DEPTH. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS FIRMED, BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
- B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
- D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, SSESCNJ PG 1-1.

3. SEEDING

- A. APPLY SEED AS FOLLOWS:
- COOL SEASON:** PERENNIAL RYEGRASS AT 100 POUNDS/ACRE OR 1 POUND/1000 SQ.FT.; OPTIMUM SEEDING DATES: 3/1-5/15 & 8/15-10/1; OPTIMUM SEED DEPTH: 0.5 INCHES
- WARM SEASON:** PEARL MILLET AT 20 POUNDS/ACRE OR 0.5 POUNDS/1000 SQ.FT. OPTIMUM SEEDING DATE: 5/15-8/15; OPTIMUM SEED DEPTH: 1.0 INCHES

THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF THE SPECIFIED SEED AND PLANTING DATES WITH THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.

- B. SEEDING RATE FOR WARM SEASON GRASS SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.
- C. GRASSES MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDBED AREA CAN BE IRRIGATED.

- E. PLANTING DEPTHS SHOULD BE DOUBLED FOR SANDY SOILS.
- F. CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULPICKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULPICKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY RANKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.

- G. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4, MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

- H. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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- S. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

- T. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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- V. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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- X. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

- Y. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

- Z. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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- AD. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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- AH. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

B. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARDS FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE FOR PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING

- A. SELECT A MIXTURE FROM BELOW OR USE A MIXTURE RECOMMENDED BY RUTGERS COOPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RE-TESTED. APPLY SEED AS FOLLOWS:

WARMER MIX

- STRONG CREEPING RED FESCUE AT 130 POUNDS/ACRE OR 3 POUNDS/1000 SQ.FT.; OPTIMUM SEEDING DATES: 8/15-10/15, ACCEPTABLE SEEDING DATES: 3/1-4/30 & 5/1-8/14*
- KENTUCKY BLUEGRASS AT 50 POUNDS/ACRE OR 1 POUND/1000 SQ.FT.; OPTIMUM SEEDING DATES: 8/15-10/15, ACCEPTABLE SEEDING DATES: 3/1-4/30 & 5/1-8/14*
- PERENNIAL RYEGRASS AT 20 POUNDS/ACRE OR 0.5 POUNDS/1000 SQ.FT.; OPTIMUM SEEDING DATES: 8/15-10/15, ACCEPTABLE SEEDING DATES: 3/1-4/30 & 5/1-8/14*

- OR, REDTOP AT 10 POUNDS/ACRE OR 0.05 POUNDS/1000 SQ.FT PLUS WHITE CLOVER AT 5 POUNDS/ACRE OR 0.1 POUNDS/1000 SQ.FT.; OPTIMUM SEEDING DATES: 8/15-10/15, ACCEPTABLE SEEDING DATES: 3/1-4/30 & 5/1-8/14*

GENERAL LAWN/RECREATION

- BLEND OF HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE AT 175 POUNDS/ACRE OR 4 POUNDS/1000 SQ.FT. WITH PERENNIAL RYEGRASS AT 45 POUNDS/ACRE OR 1 POUND/ACRE PLUS KENTUCKY BLUEGRASS BLEND AT 45 POUNDS/ACRE OR 1 POUND/1000 SQ.FT.; OPTIMUM SEEDING DATES: 8/15-10/15, ACCEPTABLE SEEDING DATES: 3/1-4/30 & 5/1-8/14*

- * IF SITE IS IRRIGATED

1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. TO REPORT OF COMPLIANCE INSPECTION. WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION, THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE AND THE SPECIFIED SEED MIXTURE FOR THE SEEDBED AREA AND MOVED ONCE.

2. WARM SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 85 DEGREES F AND ABOVE. SEE TABLE 4-3 IN SSESCNJ, MIXTURES 1 TO 3.
3. PLANTING RATES FOR WARM SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

4. COOL SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 85 DEGREES F. MANY GRASSES BECOME ACTIVE AT 65 DEGREES F. SEE TABLE 4-3 IN SSESCNJ, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.

5. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULPICKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULPICKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RANKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.

6. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING (ALSO SEE SECTION 4 BELOW, MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS, REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

7. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

8. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.

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C. PERMANENT STABILIZATION WITH SOD

1. METHODS AND MATERIALS

- A. HIGH QUALITY CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD.
- B. SOD SHOULD BE FREE OF BROADLEAF WEEDS AND UNDESIRABLE COARSE AND FINE WEED GRASSES.
- C. SOD SHOULD BE OF UNIFORM THICKNESS, TYPICALLY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING (EXCLUDES TOP GROWTH).
- D. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS AND ROLLS OR TORN AND UNEVEN EDGES WILL NOT BE ACCEPTABLE.
- E. FOR DROUGHTY SITES, A SOD OF TURF-TYPE TALL FESCUE OR TURF-TYPE TALL FESCUE MIXED WITH KENTUCKY BLUEGRASS IS PREFERRED OVER A 100% KENTUCKY BLUEGRASS SOD. ALTHOUGH NOT WIDELY AVAILABLE, A SOD OF FINE FESCUE IS ALSO ACCEPTABLE FOR DROUGHTY SITES.
- F. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS OR LESS DURING SUMMER MONTHS.

2. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, INCORPORATION OF ORGANIC MATTER, AND OTHER SOIL PREPARATION PROCEDURES. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
- B. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. SEE STANDARD FOR TOPSOILING FOR TOPSOIL AND AMENDMENT REQUIREMENTS.
- C. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

3. SOIL PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE, AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER 1/2 RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.

- B. WORK LINE AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED.

- C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO TOPSOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.

- D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED IN ACCORDANCE WITH THE ABOVE.

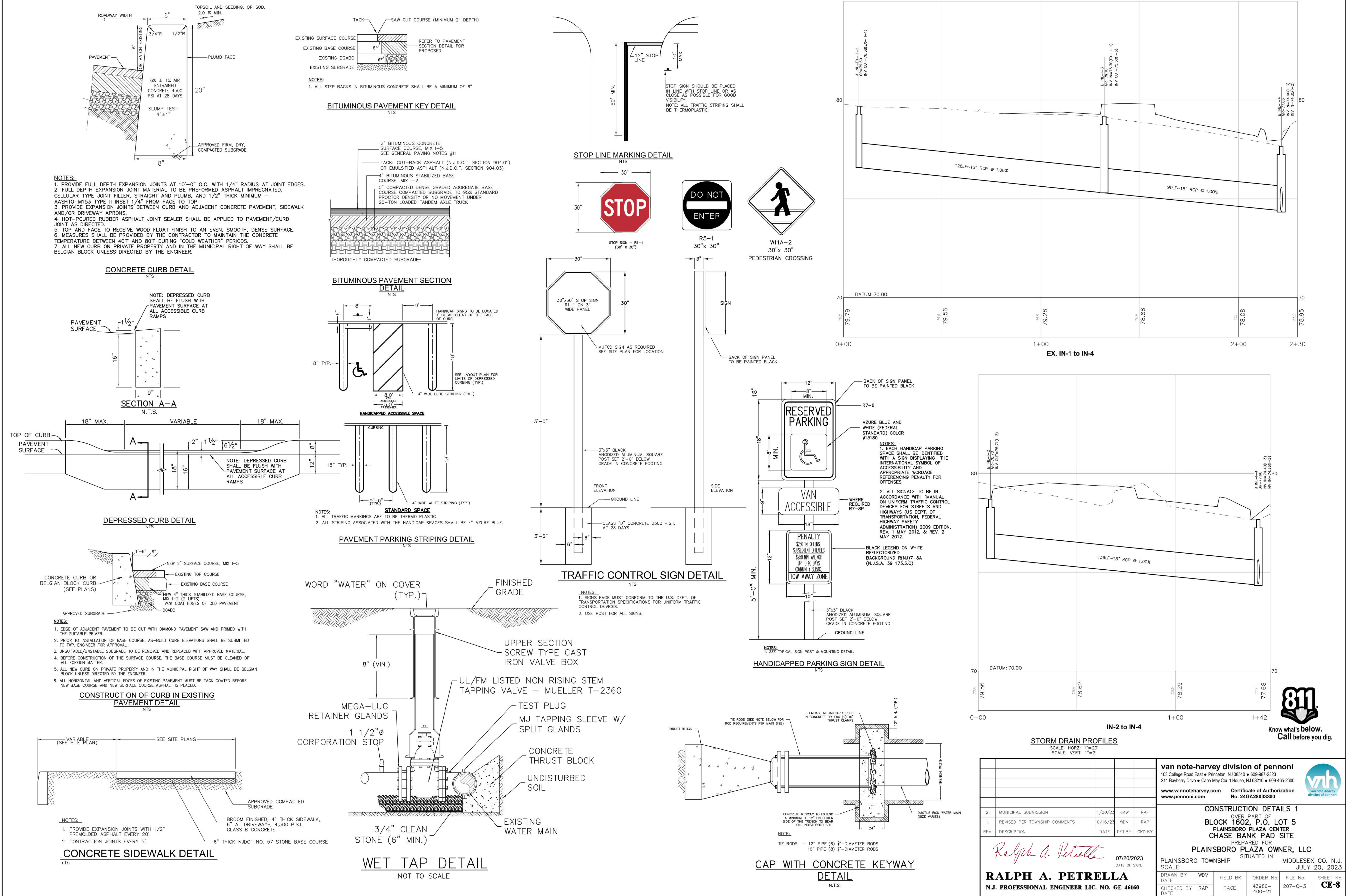
4. SOD PLACEMENT

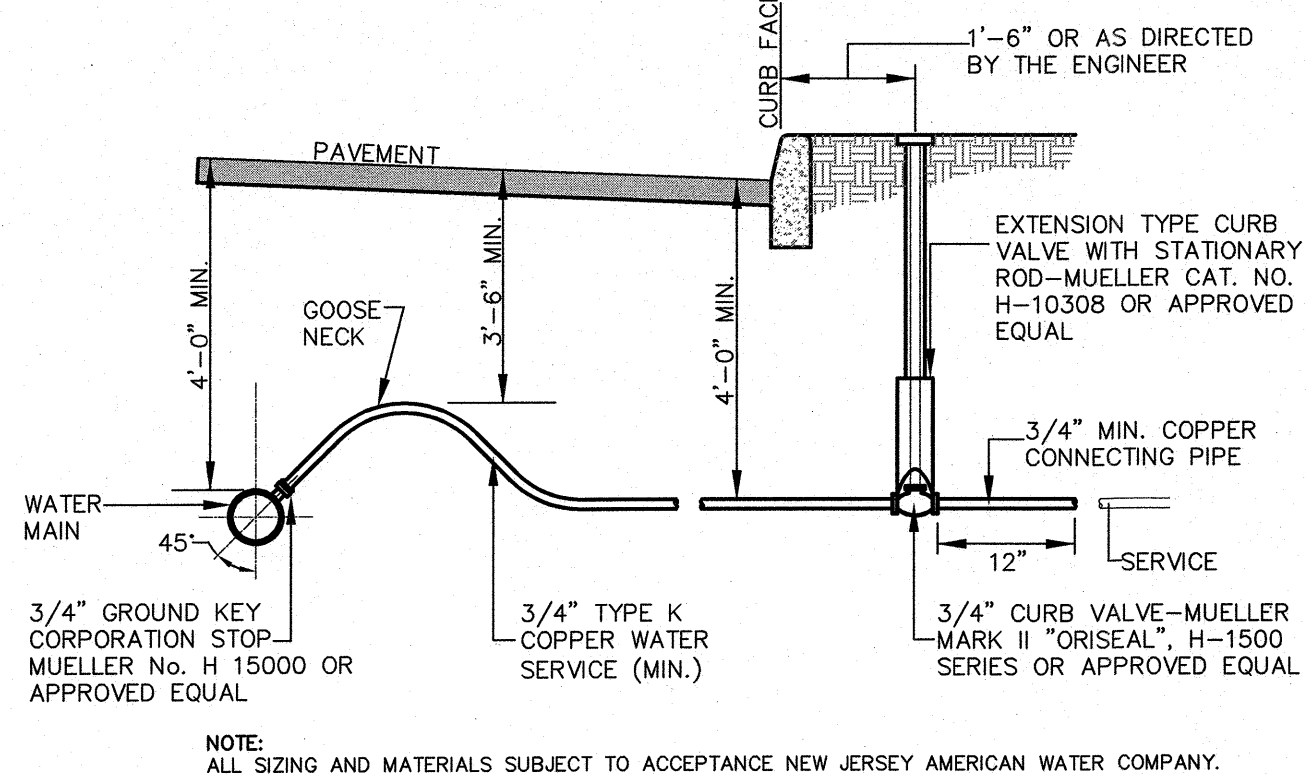
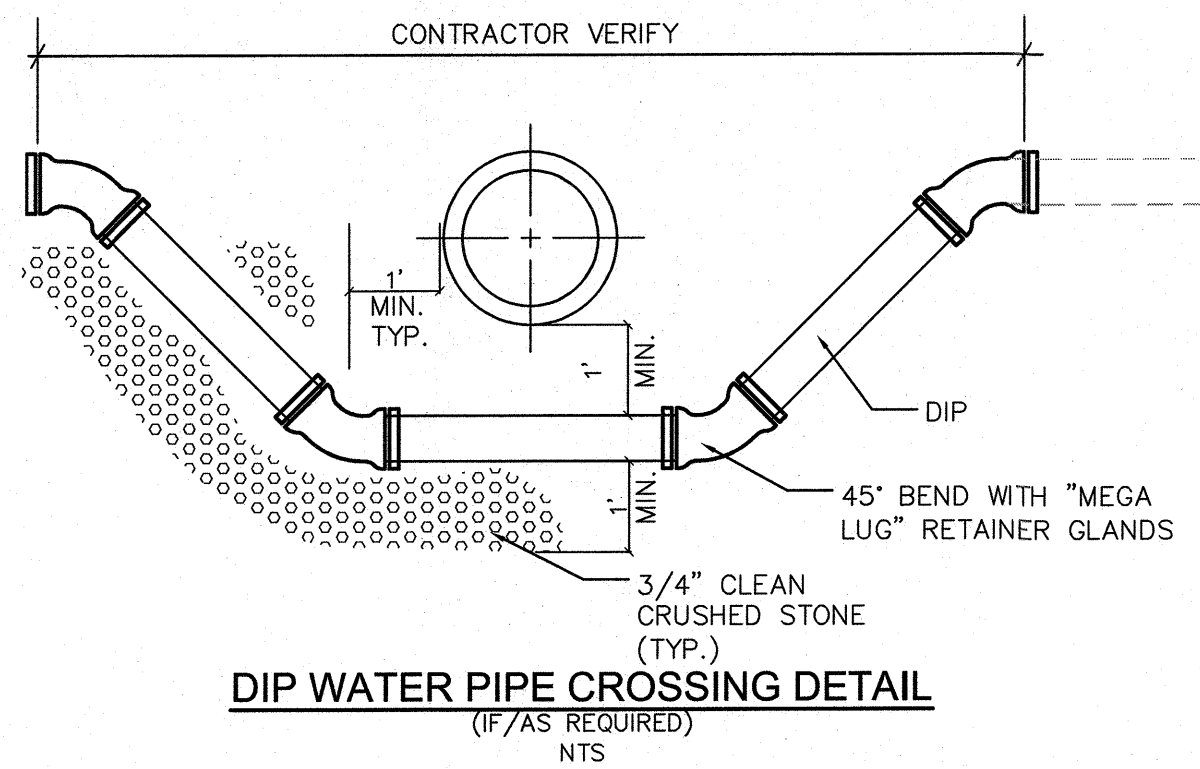
- A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LAIDERS WILL FACILITATE THE LAYING AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

- B. PLACE SOD STRIPS WITH SHAGS, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
- C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOIL CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT PENETRATION OF DEBRIS OR ROOTS.

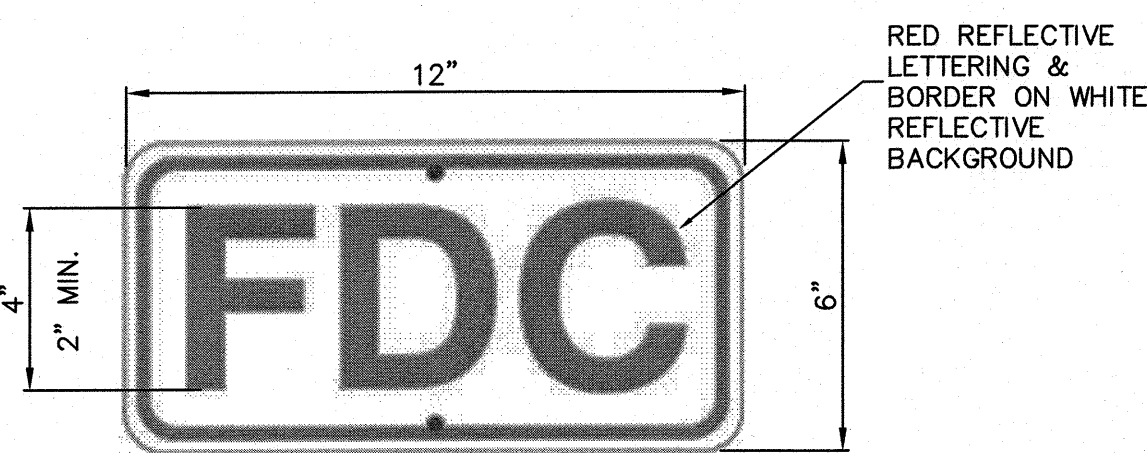
- D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, BIODEGRADABLE PLASTIC SPIKES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 1/2 INCH WIDE).
- E. SURFACE WATER

Know what's **below**.
Call before you dig.



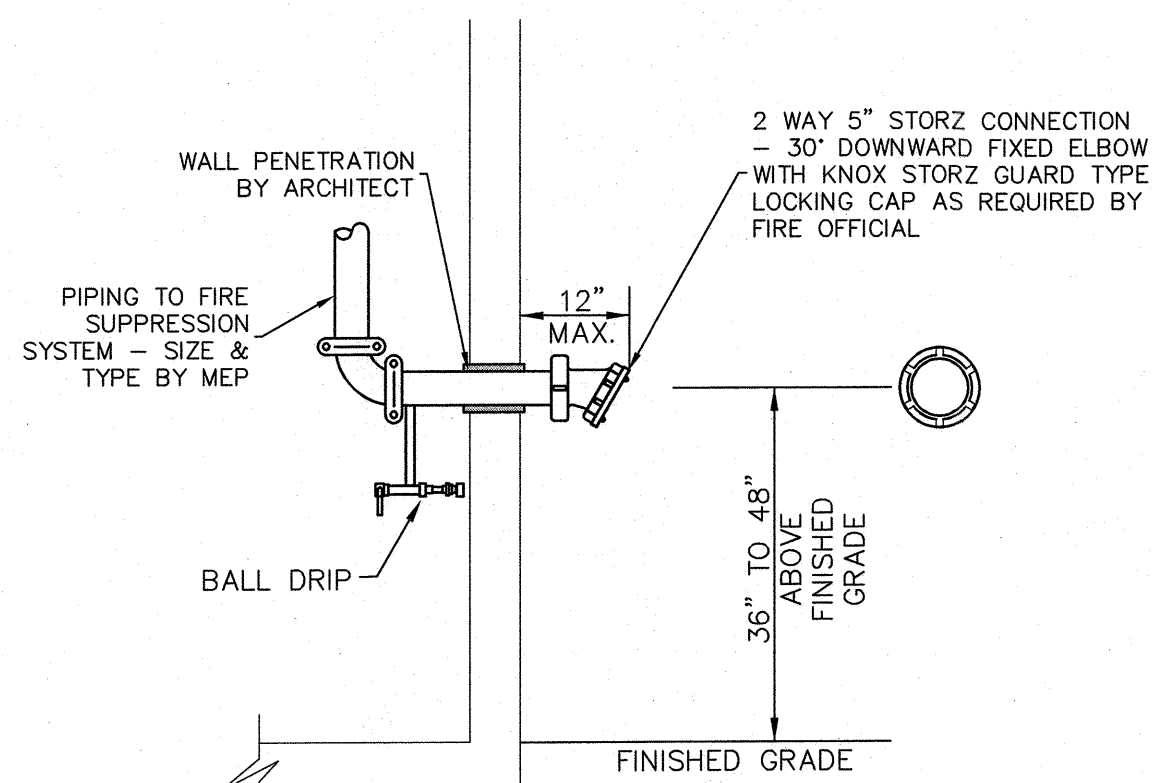


WATER SERVICE CONNECTION DETAIL



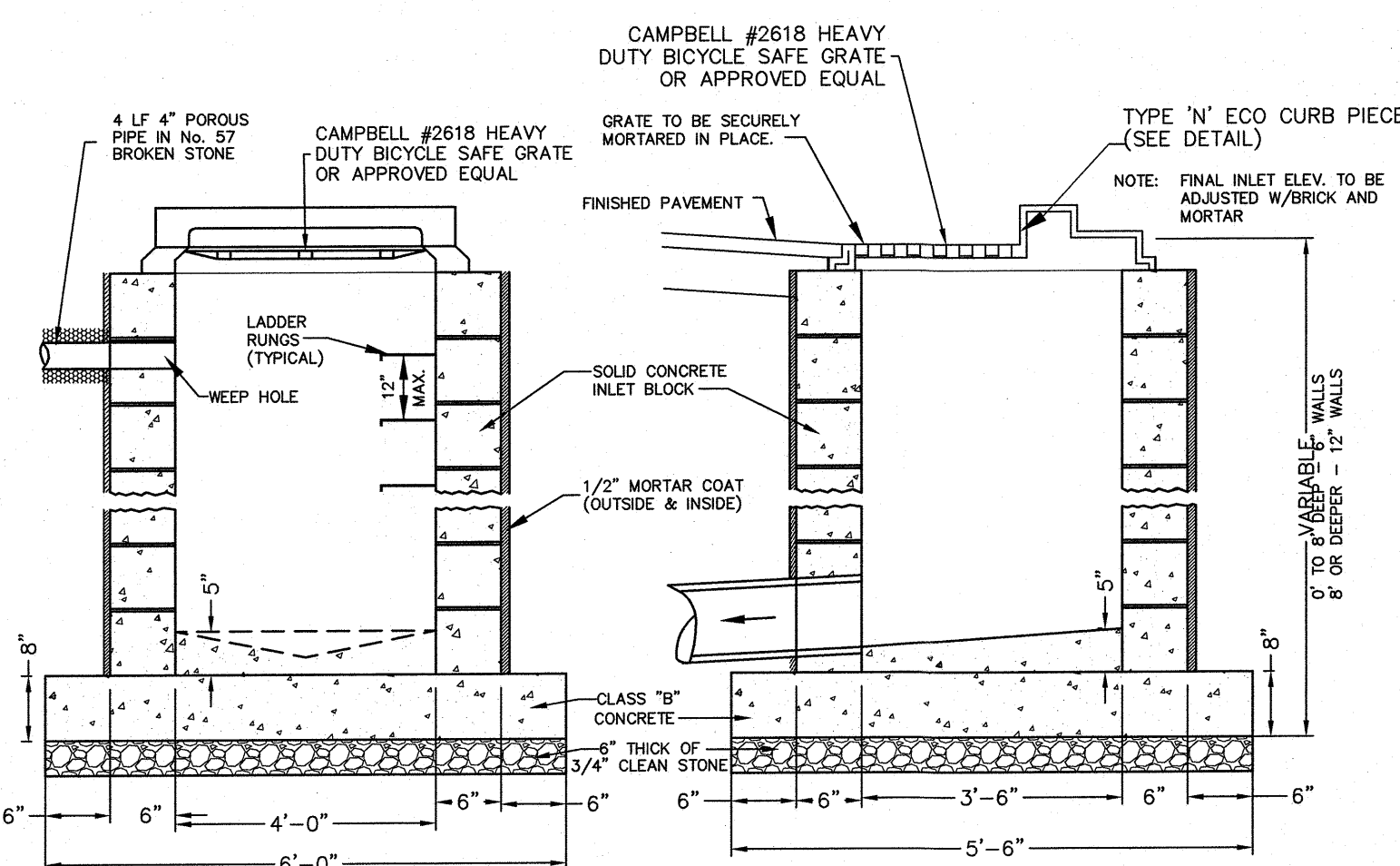
NOTE: THE FDC SIGN LETTERING SHALL BE RED REFLECTIVE LETTERING, AT LEAST 2" HIGH PLACED ON A REFLECTIVE WHITE BACKGROUND AND INDICATE THE BUILDING IT PROVIDES COVERAGE/PROTECTION FOR.

FIRE DEPARTMENT CONNECTION (FDC) SIGN DETAIL

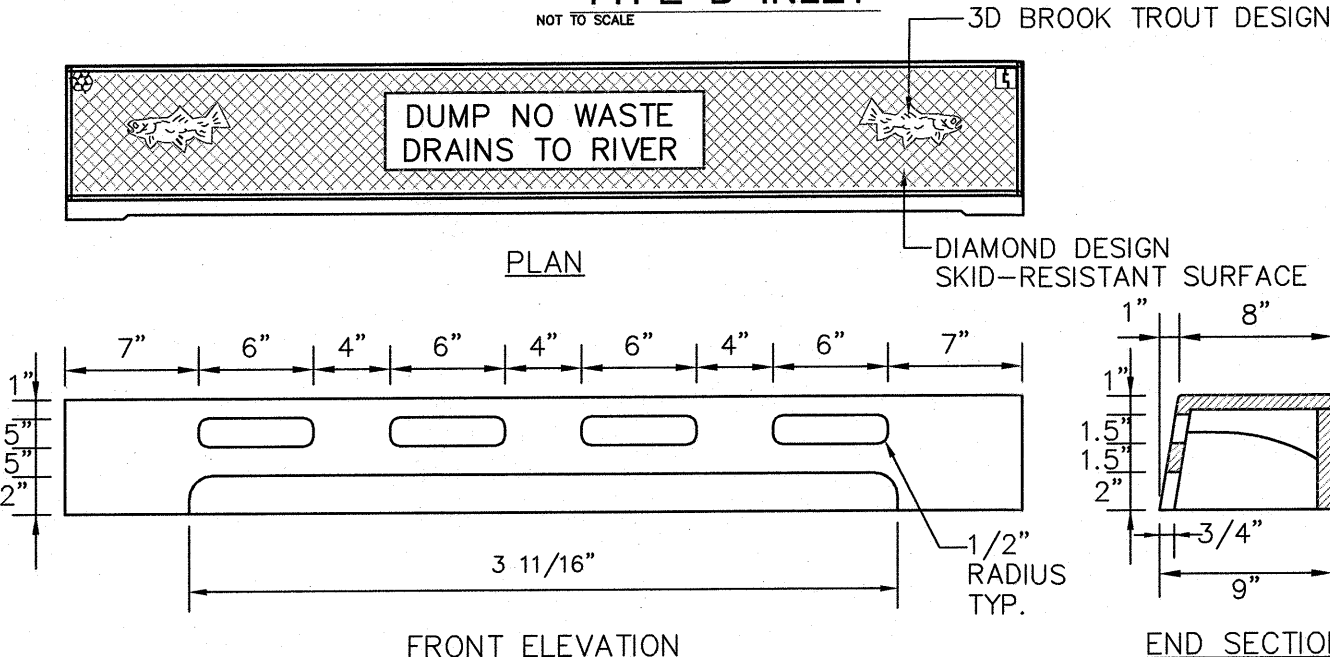


NOTES:
1. PROVIDE CHECK VALVE INSIDE BUILDING - COORDINATE WITH BUILDING UTILITY PLANS
2. ALL PIPING SHALL BE EXTERNALLY COATED AND WRAPPED PER NFPA24
3. ALL EXPOSED PIPING SHALL BE FLANGED/GALVANIZED THREADED PIPE - COORDINATE SIZE WITH MECHANICAL PLANS
4. PROVIDE FDC IDENTIFICATION SIGNAGE PER FIRE OFFICIAL'S REQUIREMENTS.
5. FDC MUST BE SUBMITTED FOR REVIEW AND COMMENTS TO FIRE OFFICIAL & OWNER PRIOR TO PLACING ORDER FOR MATERIALS.
6. FDC MUST BE FM APPROVED & UL LISTED.
7. ENTIRE INSTALLATION SHALL COMPLY WITH NFPA113 AND/OR NFPA24 AS REQUIRED BY JURISDICTIONAL AUTHORITIES/OWNER.
8. FDC SHALL BE 2 WAY 5" STORZ CONNECTIONS WITH 30 DEGREE DOWNWARD DEFLECTION AND KNOX LOCKING CAP.
9. NO SHRUBS OR TREES SHALL BE PLACED WITHIN 2FEET ON EITHER SIDE OF THE FDC.
10. THE FINAL APPROVAL FOR THE PROPOSED FIRE PROTECTION SYSTEMS SHALL BE REVIEWED AND ADMINISTRATIVELY APPROVED BY THE WEST WINDSOR TOWNSHIP DIRECTOR OF FIRE AND EMERGENCY SERVICES.

FIRE DEPARTMENT CONNECTION DETAIL



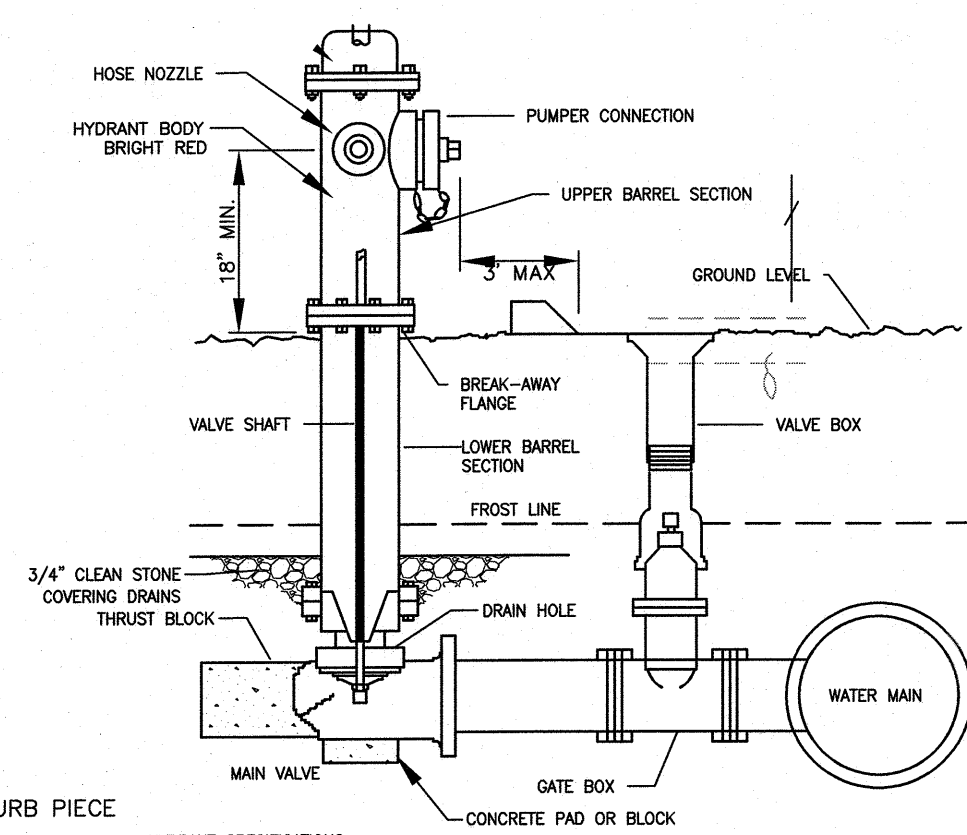
TYPE "B" INLET



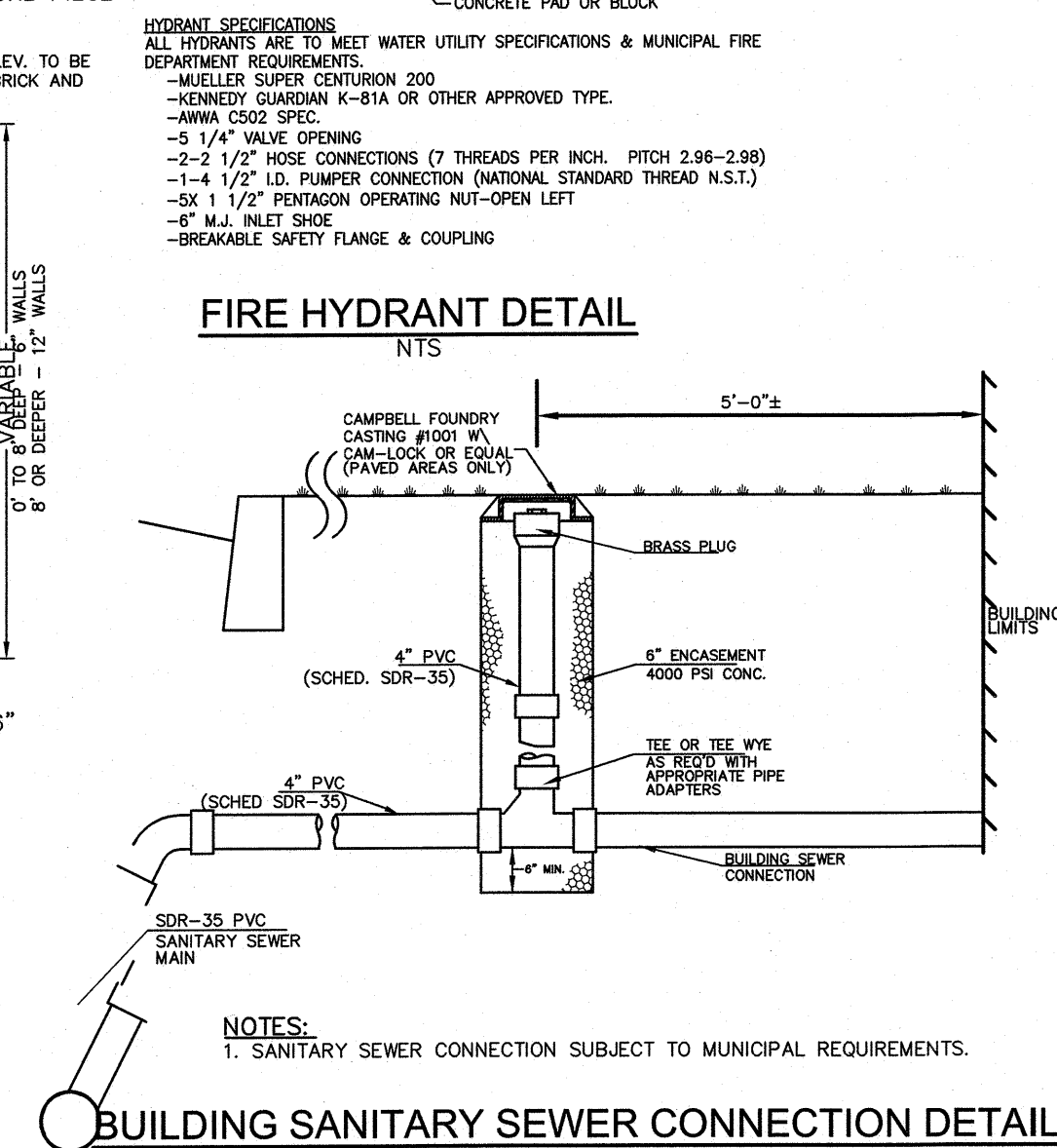
FRONT ELEVATION

END SECTION

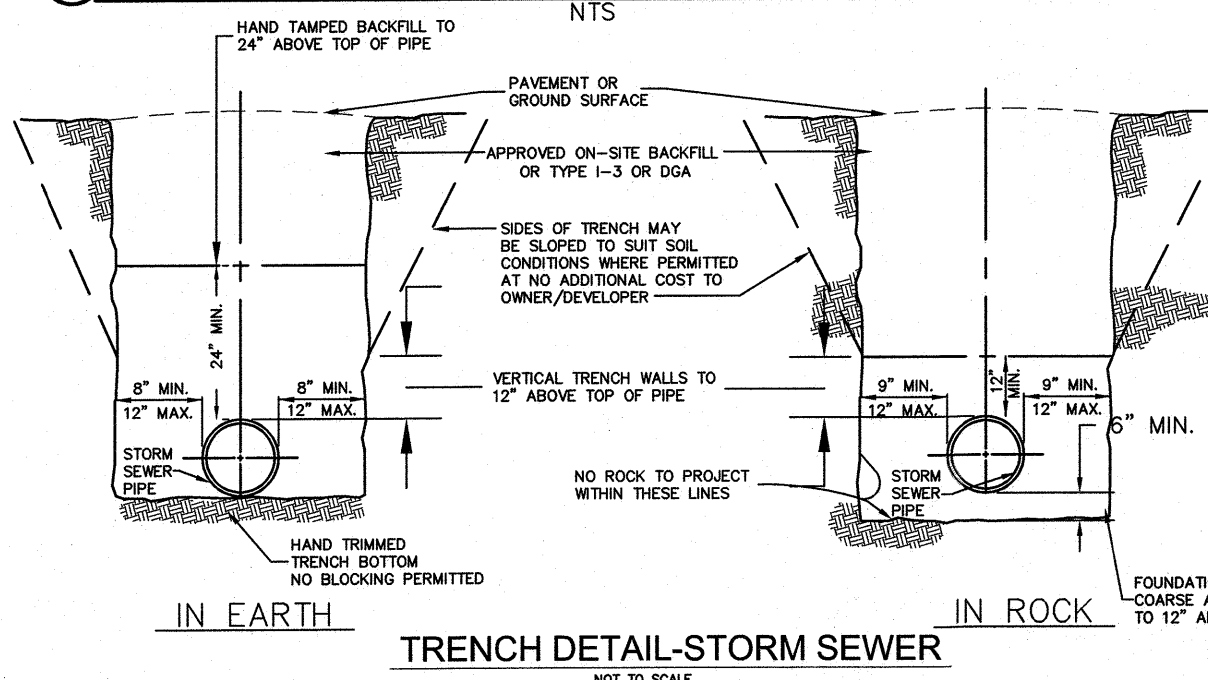
CURB PIECE TYPE N-ECO DETAIL



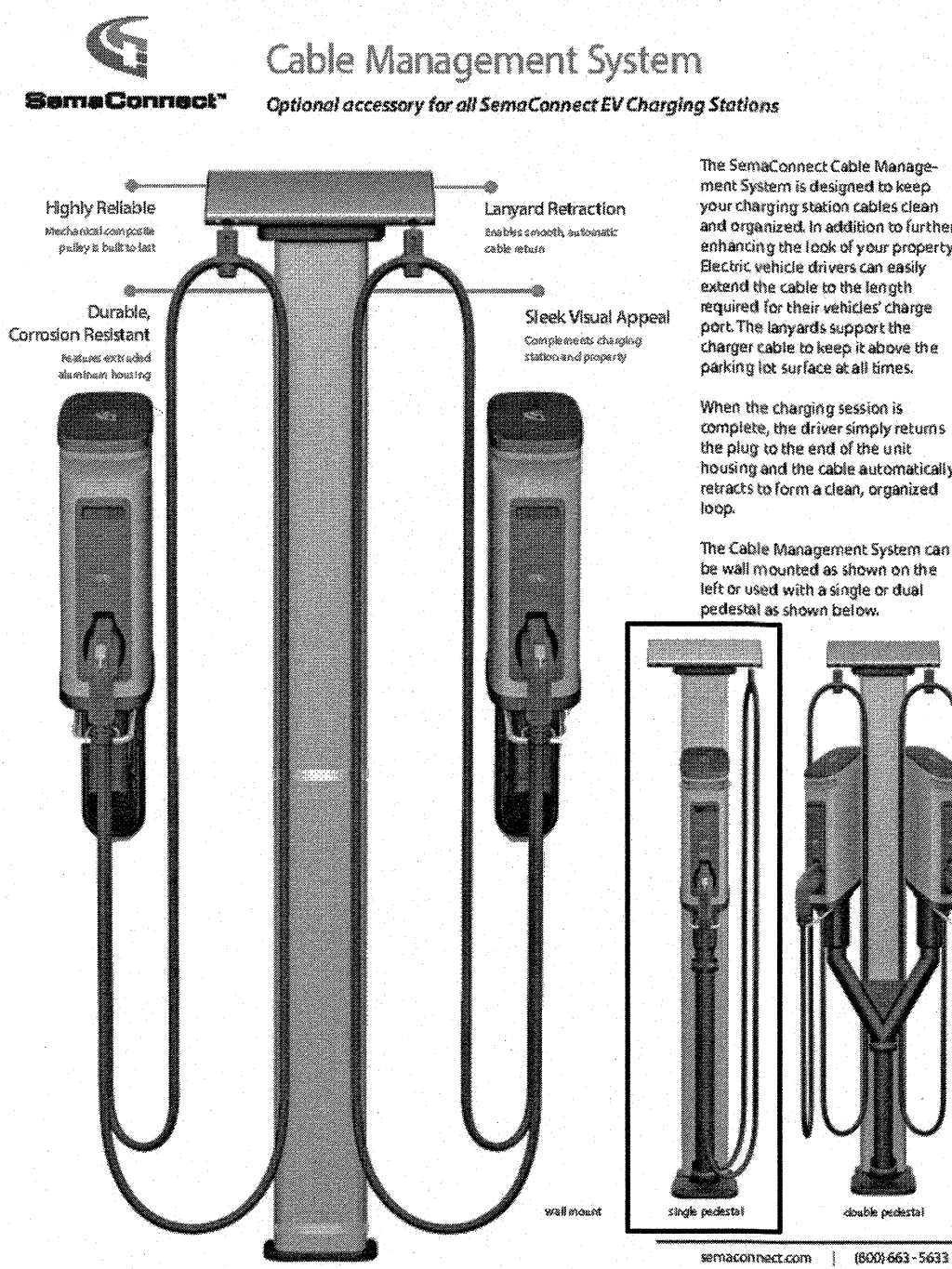
FIRE HYDRANT DETAIL



BUILDING SANITARY SEWER CONNECTION DETAIL

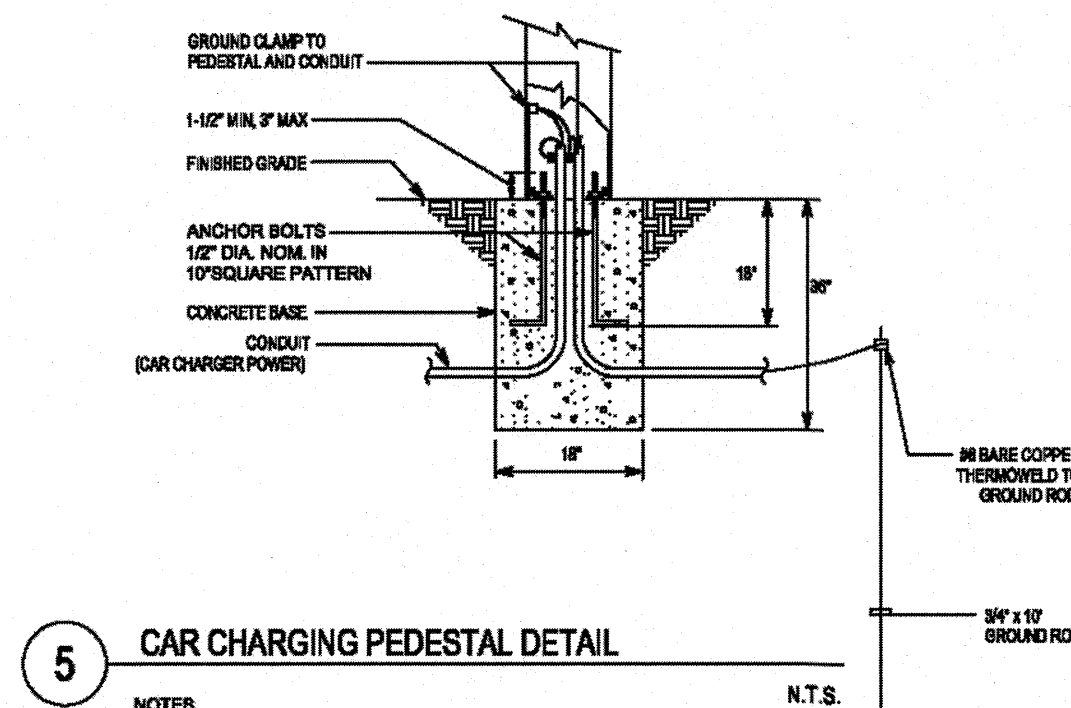


TRENCH DETAIL-STORM SEWER

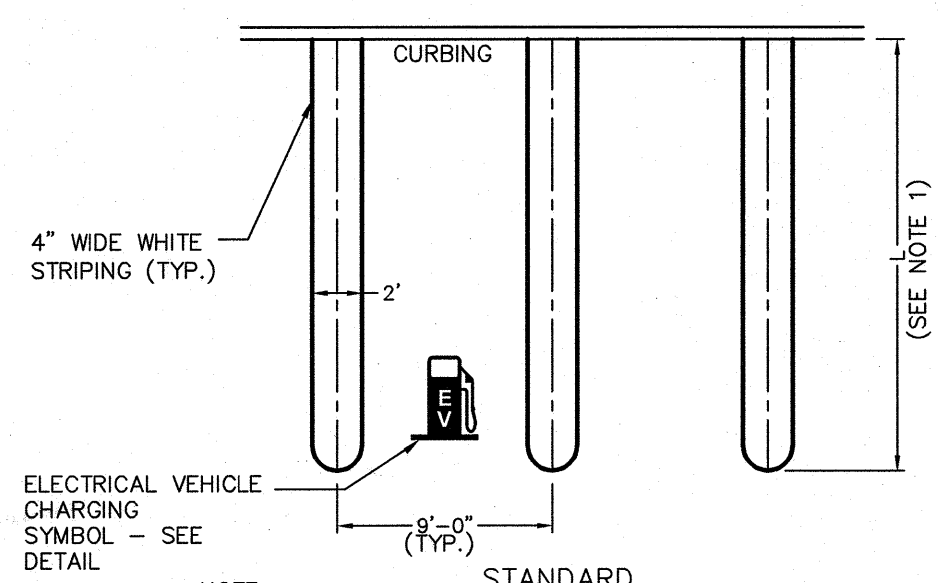


*CAR CHARGING STATION (SINGLE PEDESTAL)

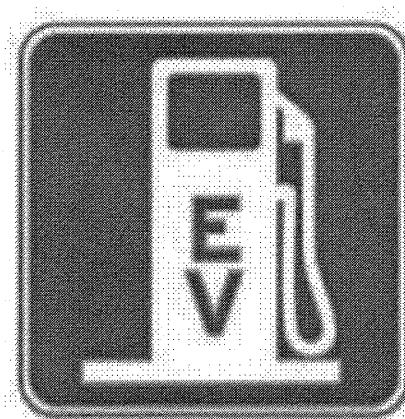
NOTES:
1. ONE ELECTRIC VEHICLE ("EV") MAKE-READY PARKING SPACE SHALL BE INSTALLED ON THE PROPERTY NEAR THE FRONT ENTRANCE OF BUILDING A.



CAR CHARGING PEDESTAL DETAIL



EV CHARGING STATION STRIPING DETAIL

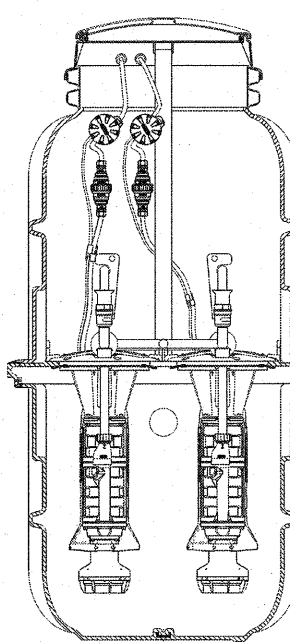


EV CHARGING STATION SIGN DETAIL

NOTE:
1. ALL SIGNAGE TO BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY SAFETY ADMINISTRATION) 2009 EDITION, REV. 1 MAY 2012, & REV. 2 MAY 2012.

E/ONE
EXTREME

DH152/DR152



General Features

The model DH152 or DR152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, polyethylene tank, controls, and alarm panel. A single DH152 or DR152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

• Rated for flows of 3000 gpd (11.356 lpd)
• 150 gallons (568 liters) of capacity
• Indoor or outdoor installation
• Standard outdoor heights range from 93 inches to 160 inches

The DH152 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR152 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

Operational Information

Motor: 1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections: 4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections: Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

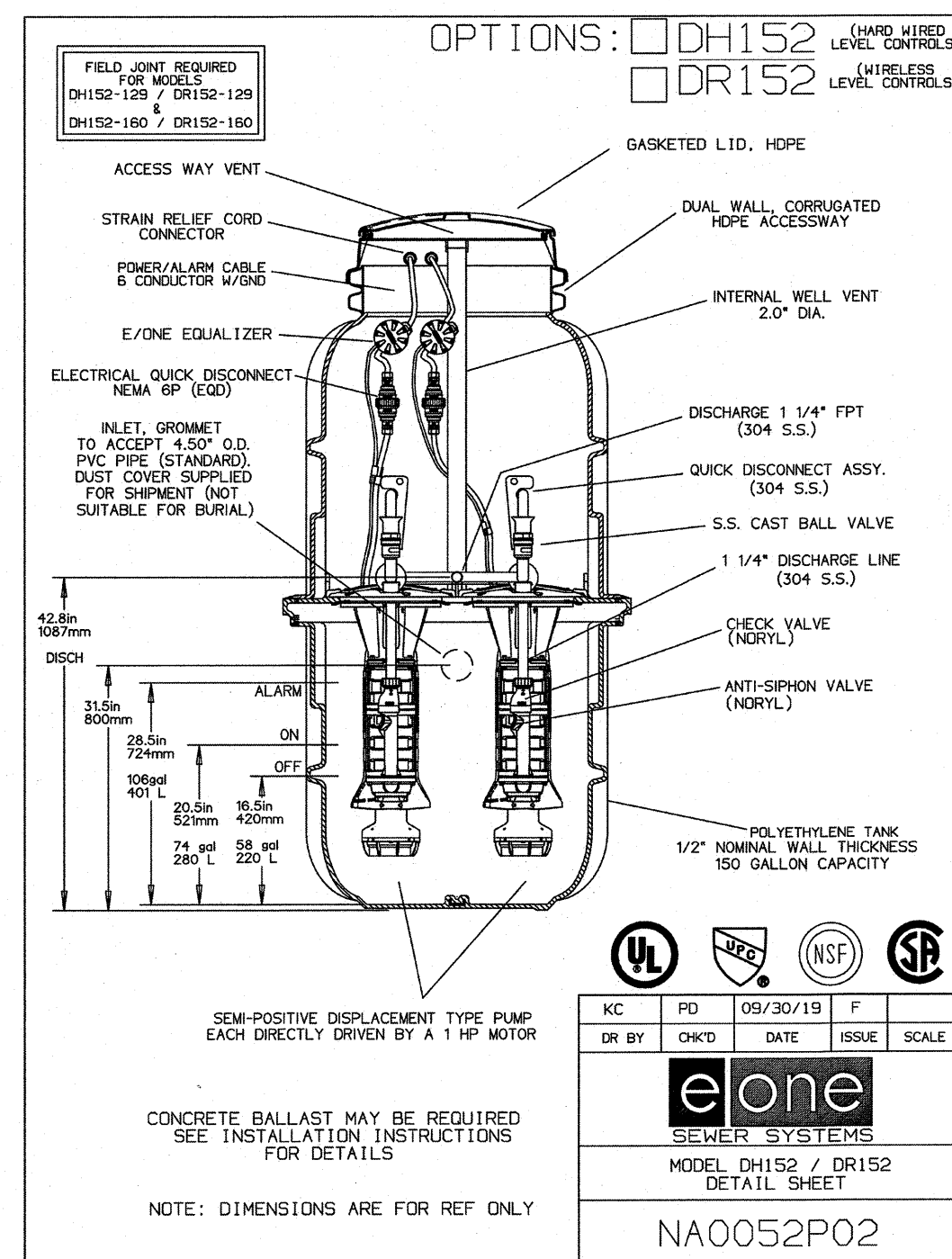
Discharge: 15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 80 psig (0.49 lps at 56 m)

Accessories

EOne requires that the Uni-Lateral, EOne's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

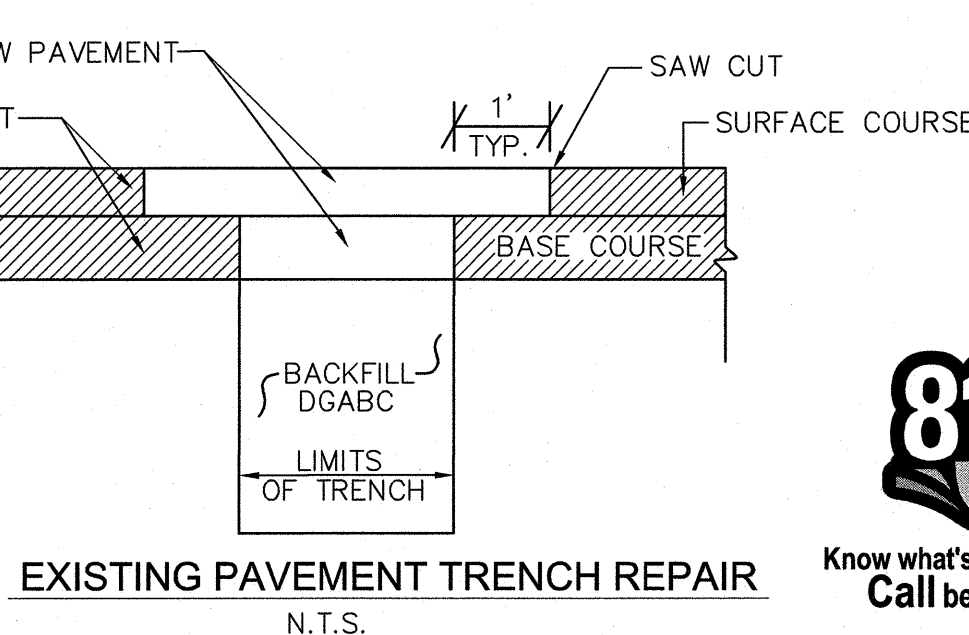
Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



EV CHARGING SYMBOL DETAIL

NOTE:
1. SIZE AND COLOR OF PAINTED EV SYMBOL TO BE COORDINATED WITH TOWNSHIP REQUIREMENTS AT TIME OF INSTALLATION.
2. STRIPING TO BE PROVIDED ONCE THE CHARGING STATION IS INSTALLED.



EXISTING PAVEMENT TRENCH REPAIR

van note-harvey division of pennoni
103 College Road East • Princeton, NJ 08540 • 609-987-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2800
www.vannoteharvey.com Certificate of Authorization
www.pennoni.com No. 24GA28033300

CONSTRUCTION DETAILS 2

OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE

PREPARED FOR

PLAINSBORO PLAZA OWNER, LLC
SITUATED IN

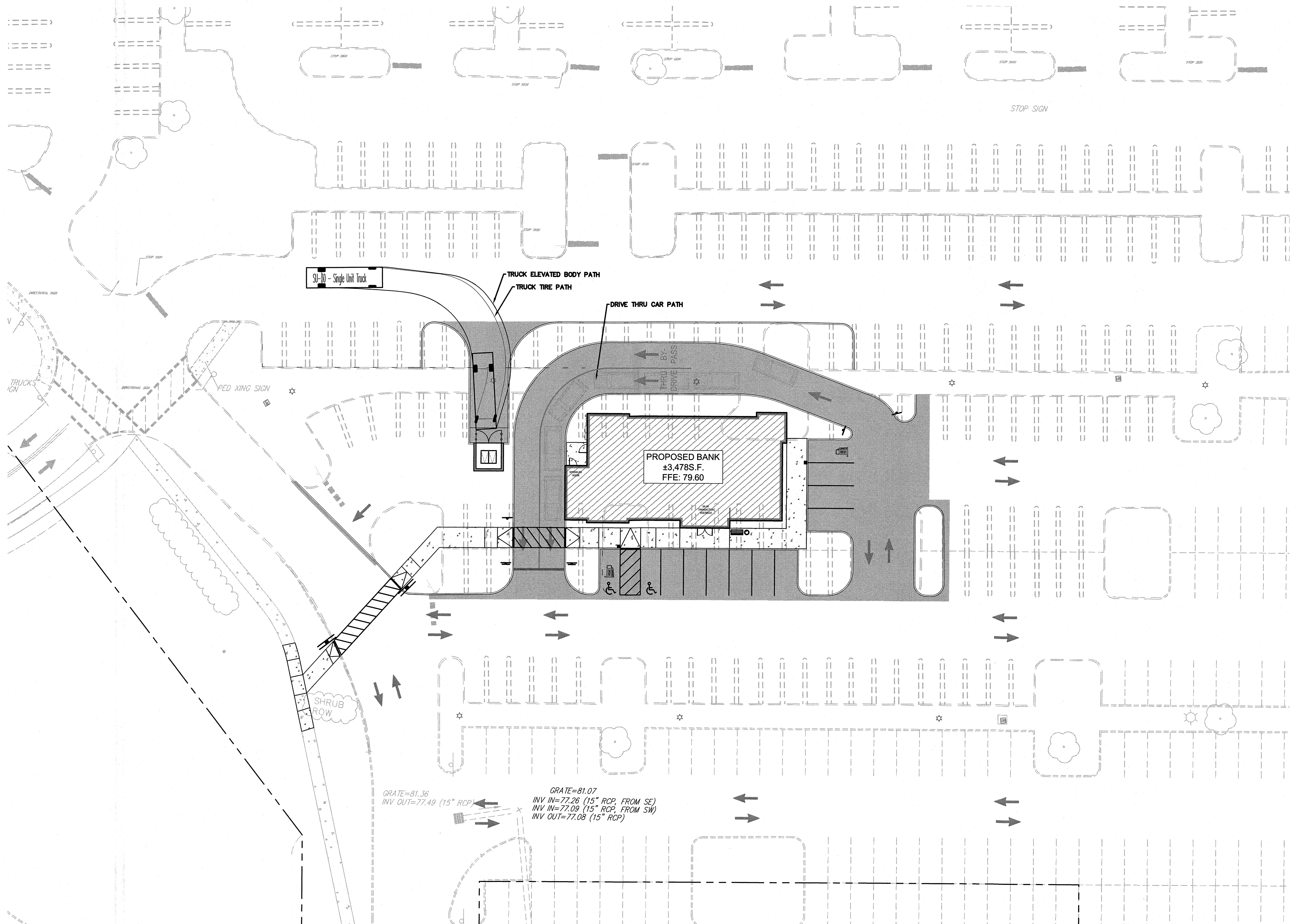
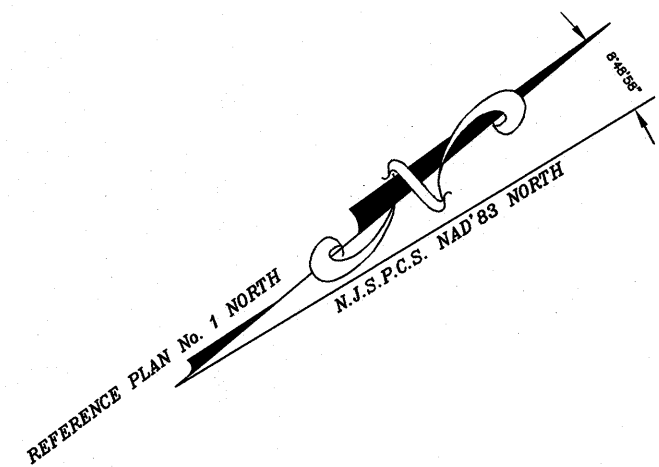
PLAINSBORO TOWNSHIP MIDDLESEX CO. N.J.

SCALE: AS SHOWN JULY 20, 2023

DRAWN BY: WDV FIELD BK: ORDER No. FILE No. SHEET No.

CHECKED BY: RAP PAGE 43986-400-21 207-C-3 CE-9

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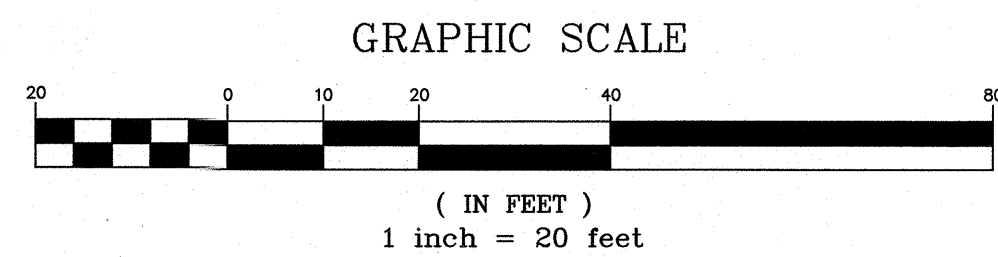


PLAINSBORO TOWNSHIP TAX MAP DATA
SHEET 16 LOT 5 BLOCK 1602



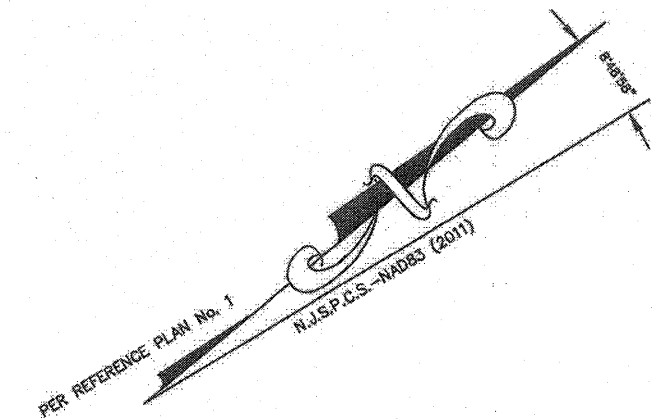
VNHA SYMBOLS LEGEND:

- | | | | |
|---|--|--|---|
| <ul style="list-style-type: none"> SPOT ELEVATION TOP OF CURB BOTTOM OF CURB DEPRESSED CURB CLEAN OUT LIGHT POST #26 TREE I.D. | <ul style="list-style-type: none"> STORM GRATE STORM DRAINAGE MANHOLE SANITARY SEWER MANHOLE ELECTRIC MANHOLE UTILITY MANHOLE FIRE HYDRANT | <ul style="list-style-type: none"> BOLLARD GAS VALVE WATER VALVE SIGN UTILITY BOX | <ul style="list-style-type: none"> MAJOR TOPOGRAPHIC CONTOUR MINOR TOPOGRAPHIC CONTOUR STORM SEWER |
|---|--|--|---|



van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com www.pennoni.com			
Certificate of Authorization No. 24GA28033300			
TURNING MOMENT ANALYSIS PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN			
PLAINSBORO TOWNSHIP SCALE: 1" = 20'		MIDDLESEX CO. N.J. JULY 20, 2023	
DRAWN BY: WDV DATE: 07/20/2023 CHECKED BY: RAP DATE:	FIELD BK: 43986-400-21 PAGE: 207-C-3	ORDER No.: 43986-400-21 FILE No.: 207-C-3	SHEET No.: TURN-1

Ralph A. Petrella
RALPH A. PETRELLA
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160



GENERAL NOTES:

1. THE PROJECT HORIZONTAL DATUM SHOWN HEREIN IS IN THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD83) NORTH AMERICAN DATUM (NAD) 1983, NATIONAL ADJUSTMENT (NA) 2011N U.S. SURVEY FEET.
2. THE PROJECT VERTICAL DATUM SHOWN HEREIN IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) (GEOID 128) AS DERIVED FROM NATIONAL GEODETIC SURVEY CONTROL STATIONS USING GNSS TYP. OBSERVATIONS.
3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN HEREIN ARE AT-GRADE DISTANCES BASED ON THE MODIFIED GROUND NAD83S AS PER NOTE NUMBER 1 ABOVE.
4. SITE FEATURES AND TOPOGRAPHIC INFORMATION SHOWN HEREIN WITHIN THE SURVEY PROJECT LIMIT LINE IS COMPILED FROM REFERENCE PLANS NO. 1 & 2, SUPPLEMENTED BY ADDITIONAL FIELD SURVEY PERFORMED BY VAN NOTE-HARVEY, A DIVISION OF PENNONI ON JULY 7, 2023.
5. SITE FEATURES OUTSIDE OF THE SURVEY PROJECT LIMIT LINES, SHOWN AS GREYSCALE, HAVE BEEN COMPILED FROM RECORD INFORMATION AND HAVE NOT BEEN FIELD VERIFIED FOR EXISTENCE AND/OR ACCURACY. THIS INFORMATION IS PORTRAYED FOR PICTORIAL PURPOSES ONLY AND CANNOT BE RELIED UPON AS COMPLETE OR ACCURATE.
6. THE INFORMATION WITHIN THE PROJECT LIMITS SHOWN HEREIN CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.
7. ALL UTILITIES SHOWN IN GRAYSCALE HAVE BEEN COMPILED FROM RECORD INFORMATION PROVIDED BY PRINCETON UNIVERSITY AND HAVE NOT BEEN FIELD VERIFIED FOR ACCURACY. THIS INFORMATION IS PORTRAYED FOR PICTORIAL PURPOSES ONLY AND CANNOT BE RELIED UPON FOR DESIGN PURPOSES.
8. THE DEPICTION OF UNDERGROUND FEATURES HEREIN IS APPROXIMATE UNLESS OTHERWISE NOTED. CONFORMATION OF THE POSITION AND DEPTH OF ANY UNDERGROUND FEATURE IS REQUIRED PRIOR TO ANY EARTH DISTURBANCE.
9. THE DEPICTION OF UNDERGROUND FEATURES HEREIN IS BASED ON SURFACE AND/OR RECORD EVIDENCE. THIS DOES NOT PRECLUDE THE EXISTENCE OR ABSENCE OF UNDERGROUND FEATURES ON, ACROSS, OR ADJACENT TO THE PROJECT SITE.
10. UNDERGROUND UTILITY LOCATIONS SHOWN HEREIN ARE FOR REFERENCE PURPOSES ONLY AND ARE BASED ON PRINCETON UNIVERSITY UTILITY MAPPING AND SHOULD BE REVIEWED BY UTILITY FACILITIES PERSONNEL PRIOR TO ANY EXCAVATION.
11. UNLESS SPECIFICALLY NOTED HEREIN, STORM DRAIN INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AT FIELD LOCATED STRUCTURES (MANHOLES, INLETS, OUTFALL STRUCTURES, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
12. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR LOCATION OF UTILITIES OR EASEMENTS, IF ANY, LOCATED BELOW THE SURFACE OF THE LANDS OR NOT VISIBLE ON THE SURFACE OF THE LANDS SHOWN HEREIN.
13. FRESHWATER WETLANDS, IF ANY, HAVE NOT BEEN DELINEATED OR SHOWN HEREIN.
14. FLOODWAY BOUNDARIES, IF ANY, HAVE NOT BEEN DELINEATED OR SHOWN HEREIN.
15. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
16. PRIOR TO ANY EARTH DISTURBANCE, CONTACT "NEW JERSEY ONE CALL" AT 811 OR 1 (800) 272-1000.
17. THIS PLAN WAS PREPARED IN A MANNER CONSISTENT WITH THE CARE ORDINARILY EXERCISED BY OTHER PROFESSIONALS PERFORMING SIMILAR SERVICES IN THE SAME LOCALITY, UNDER THE SAME OR SIMILAR CIRCUMSTANCES AND CONDITIONS. THE CONSULTANT MAKES NO OTHER REPRESENTATIONS OR WARRANTIES, WHETHER EXPRESSED OR IMPLIED, WITH RESPECT TO THE SERVICES RENDERED.

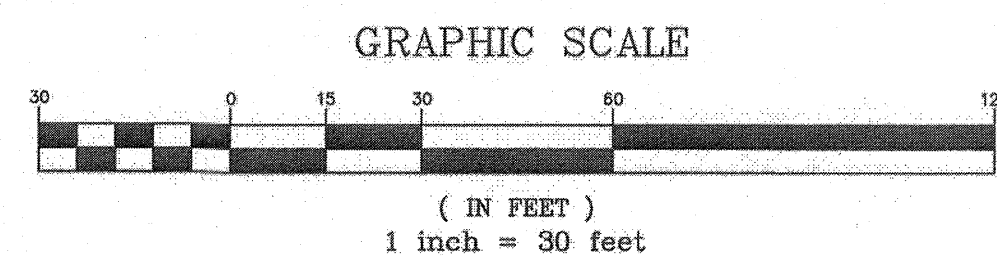
REFERENCE PLANS:

1. "MINOR SUBDIVISION PLAN LOT 22.01 AND LOT 64, BLOCK 3.01 PROPERTY OF EASTERN RETAIL HOLDINGS, LIMITED PARTNERSHIP" PLAINSBORO TOWNSHIP, SCALE 1"=50' DATED MARCH 30, 2000 LAST REVISED DECEMBER 19, 2000. PREPARED BY VAN NOTE HARVEY ASSOCIATES ORDER NUMBER 33689.
2. "AS BUILT PLAN OF PARKING LOT IMPROVEMENTS AT PLAINSBORO PLAZA SHOPPING CENTER PREPARED FOR EASTERN RETAIL HOLDINGS, LP" PLAINSBORO TOWNSHIP SCALE 1"=20' DATED APRIL 17, 2002 LAST REVISED NOVEMBER 14, 2002. PREPARED BY VAN NOTE HARVEY ASSOCIATES. ORDER NUMBER 33689.

PLAINSBORO TOWNSHIP TAX MAP DATA

SHEET 16 LOT 5 BLOCK 1602

TREE INFORMATION			
TAG#	COMMON NAME	WIDTH (INCHES)	HEIGHT (FEET)
618	HONEY LOCUST	15	40
619	HONEY LOCUST	15	40
620	CRAB APPLE	12	20
693	RED MAPLE	12	30
694	RED MAPLE	15	35
702	HONEY LOCUST	8	30
703	HONEY LOCUST	10	30
705	HONEY LOCUST	8	30
707	HONEY LOCUST	8	25
750	HONEY LOCUST	10	25
751	RED MAPLE	12	30
783	HONEY LOCUST	9	25
784	RED MAPLE	11	30
786	RED MAPLE	12	35
874	HONEY LOCUST	12	30
876	HONEY LOCUST	12	30
880	RED MAPLE	12	35
925	HORNBEAM	5	20
930	HORNBEAM	5	20
934	HORNBEAM	5	20
982	HONEY LOCUST	10	30
983	HONEY LOCUST	10	30
985	HONEY LOCUST	10	30
987	RED MAPLE	12	35
988	RED MAPLE	8	30
989	HONEY LOCUST	15	40
990	RED MAPLE	8	30
1024	HORNBEAM	4	20
1025	HORNBEAM	4	20



VNHA SYMBOLS LEGEND:

SPOT ELEVATION	STORM GRATE	BOLLARD
TOP OF CURB	STORM DRAINAGE MANHOLE	GAS VALVE
BOTTOM OF CURB	SANITARY SEWER MANHOLE	WATER VALVE
DEPRESSED CURB	ELECTRIC MANHOLE	SIGN
CLEAN OUT	UTILITY MANHOLE	UTILITY BOX
LIGHT POST	FIRE HYDRANT	
#26 TREE I.D.		

MAJOR TOPOGRAPHIC CONTOUR
MINOR TOPOGRAPHIC CONTOUR
STORM SEWER

GRAPHIC SCALE

(IN FEET)
1 inch = 30 feet

van note-harvey division of pennoni		103 College Road East • Princeton, NJ 08540 • 609-987-2323		211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-485-2600	
www.vannoteharvey.com		www.pennoni.com		Certificate of Authorization No. 24GA2803300	
EXISTING CONDITIONS PLAN					
OVER PART OF					
BLOCK 1602, LOT 5					
PLAINSBORO PLAZA					
CHASE BANK PAD SITE					
PREPARED FOR					
PLAINSBORO PLAZA OWNER, LLC					
SITUATED IN					
PLAINSBORO TOWNSHIP		MIDDLESEX CO., N.J.		JULY 7, 2023	
SCALE: 1" = 30'		DATE: 07/17/23		DRAWN BY: DMH	
CHECKED BY: KTS		FIELD BK: PLT 213		ORDER NO.: PLP02	
DATE: 07/22/23		PAGE: 60-61		FILE NO.: PLAINSBORO	
				SHEET NO. 1	

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