

PRELIMINARY/FINAL SITE PLAN OF BUILDING PAD-CHASE BANK AT PLAINSBORO PLAZA CENTER FOR PLAINSBORO PLAZA, OWNER, LLC BLOCK 1602, LOT 5 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

OWNER/Applicant:

PLAINSBORO PLAZA OWNER, LLC
1 GATEWAY CENTER, SUITE 2400
NEWARK, NJ 07102

ATTORNEY:

PRIME & TUVEL ATTORNEYS AT LAW
1 UNIVERSITY PLAZA DRIVE, SUITE 500
HACKENSACK, NJ 07054

ARCHITECT:

CORE STATES GROUP
110 N. 11TH STREET, SUITE 101,
TAMPA, FL. 33602

CIVIL ENGINEER:

VAN NOTE-HARVEY ASSOCIATES, INC.
103 COLLEGE ROAD EAST
PRINCETON, NJ 08540

LANDSCAPE ARCHITECT/PLANNER:

STEARNS ASSOCIATES, LLC
15 WILLIAMSON LANE
LAMBERTVILLE, NJ 08530-3528

TRAFFIC ENGINEER:

BOWMAN
6 CAMPUS DR, 3RD FLOOR
PARSIPPANY, NJ 07054

SHEET INDEX

CIVIL ENGINEERING PLANS

VAN NOTE-HARVEY ASSOCIATES, INC.:

SH.T.#	TITLE
CVR	COVER SHEET
VIC	VICINITY PLAN AND KEY MAP
OVL	OVERALL SITE PLAN
CE-1	SITE DEMOLITION PLAN
CE-2	SITE LAYOUT PLAN
CE-3	SITE GRADING PLAN
CE-4	SITE DRAINAGE AND UTILITY PLAN
CE-5	SOIL EROSION & SEDIMENT CONTROL PLAN
CE-6	SOIL EROSION & SEDIMENT CONTROL NOTES
CE-7	SOIL EROSION & SEDIMENT CONTROL DETAILS
CE-8	CONSTRUCTION DETAILS 1
CE-9	CONSTRUCTION DETAILS 2
TURN-1	TURNING MOVEMENT PLAN
1	EXISTING CONDITIONS SURVEY

LANDSCAPE/LIGHTING PLANS

STEARNS ASSOCIATES:

SH.T.#	TITLE
L1.0	TREE REPLACEMENTS, 20 SCALE
L1.1	OVERALL SITE PLAN, 50 SCALE
L1.2	PLANTING PLAN ENLARGED, 10 SCALE
L2.0	PLANTING DETAILS
L3.0	SITE DETAILS
L4.0	EXISTING LIGHTING PLAN FOR REFERENCE 50 SCALE
L4.1	LIGHTING PLAN 20 SCALE
L4.2	LIGHTING DETAILS
L4.3	LIGHTING CUTSHEETS
L4.4	LIGHTING CUTSHEETS
L5.1	ARCHITECTURAL ELEVATIONS FOR BUILDING LIGHTING ELEVATIONS
L5.2	

ARCHITECTURAL PLANS

CORE STATES GROUP:

SH.T.#	TITLE
A1.0.0	FLOOR PLAN
A2.1.0	EXTERIOR ELEVATIONS
A2.2.0	EXTERIOR ELEVATION
A0.6	TRASH ENCLOSURE DETAILS

APPROVED BY THE PLAINSBORO TOWNSHIP PLANNING BOARD. PT#

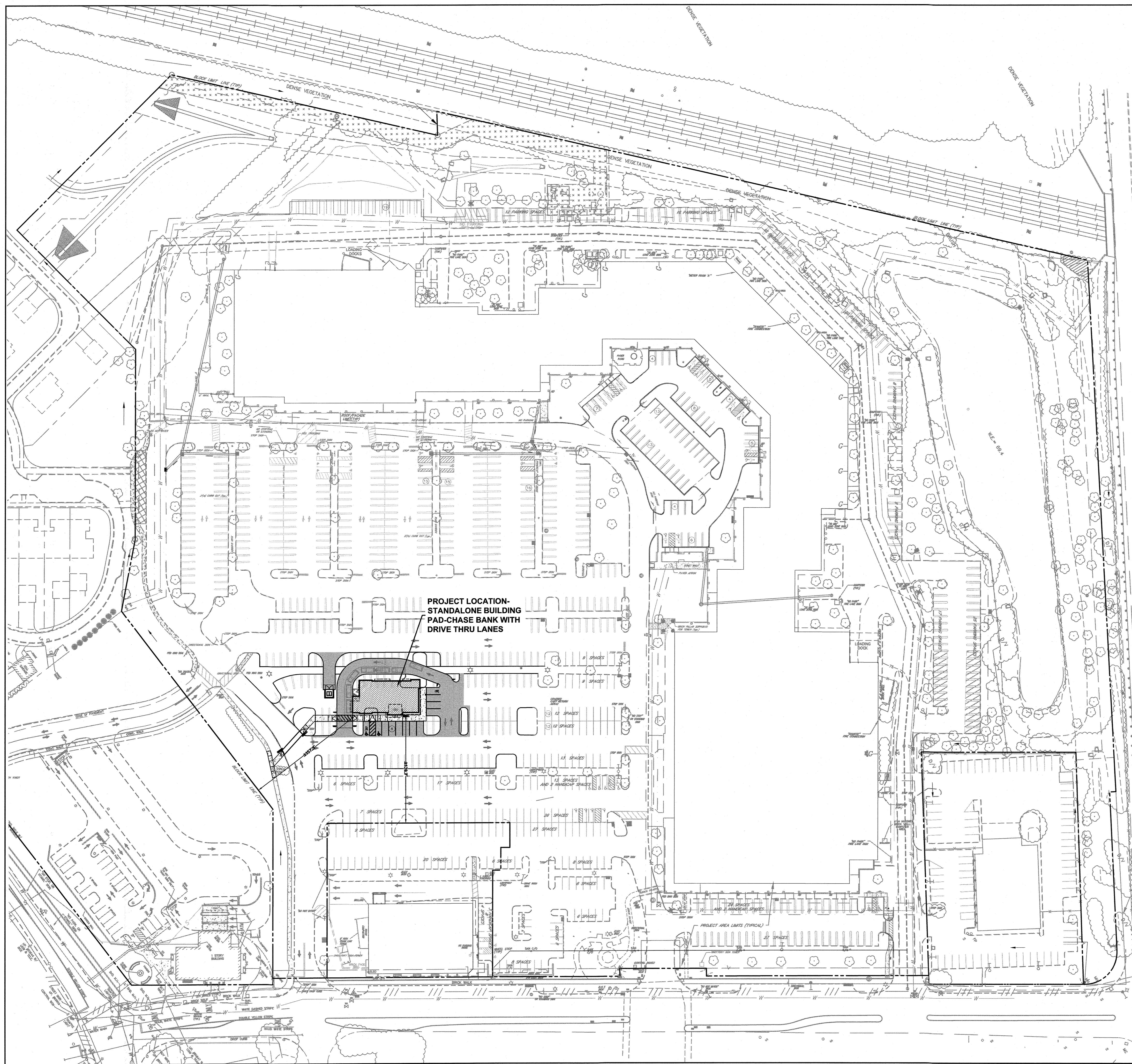
CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

VNHA Project No.
PLPOL23001

CVR



EXISTING LEGEND

- LIGHT STANDARD
- SIDEWALK MARKER
- HANDICAP PARKING SPACE
- FENCE
- SPUR
- OUT-FLOW STRUCTURE
- FENCE
- STORM MANHOLE
- FIRE INLET
- HEADWALL
- Curb
- Curb Compression
- INLET
- TRANSFORMER
- "A" INLET
- GAS VALVE
- VALVE
- CURB
- PARKING STRIPE
- CONTOUR
- TRAFFIC SIGN

- PAVEMENT MARKING
- CONCRETE PATH/ SIDEWALK
- PAVEMENT MILLING
- EDGE OF PAVEMENT
- CURB
- FLUSH CURB
- PARKING STRIPE (HARPN)
- HANDICAP SYMBOL
- PARKING COUNT
- TRAFFIC SIGN

DEMOLITION LEGEND

- WALK REMOVAL

- CONSTRUCTION ENTRANCE
- LIMITS OF DISTURBANCE

ZONING DATA:
 TAX SHEET 16, BLOCK 1602, LOTS 5 AND 7
 TAX SHEET 15, BLOCK 1508, LOT 7
 ZONE: GB GENERAL BUSINESS

DESCRIPTION	CODE REQUIREMENTS	EXISTING LOTS 5 AND 7	LOTS 5 AND 7 APPROVED JUNE 10, 2014	PROPOSED BUILDING PAD FOR CHASE BANK
MINIMUM				
LOT AREA	25 ACRES	28.223± AC.	NO CHANGE	NO CHANGE
LOT FRONTAGE	425 FEET	± 905 FT.	NO CHANGE	NO CHANGE
LOT DEPTH	450 FEET	± 937 FT.	NO CHANGE	NO CHANGE
FRONT BUILDING SETBACK	1	± 4.6 FT.	NO CHANGE	NO CHANGE
BACK BUILDING SETBACK	1	± 71 FT.	NO CHANGE	NO CHANGE
SIDE BUILDING SETBACK (ONE SIDE ONLY)	1	± 59 FT.	NO CHANGE	NO CHANGE
IMPROVEMENT SETBACK FROM PLAINSBORO RD.	100 FEET	N/A	N/A	N/A
MAXIMUM				
PAD SITE BUILDING FROM SCHALKS CROSSING RD.	5 FEET	4.6 FT.	NO CHANGE	NO CHANGE
LOT COVERAGE- BUILDINGS	20%	18.07%	NO CHANGE	18.39%
LOT COVERAGE- IMPROVEMENTS	65%	61.8%	61.3% ² (±758,400 SF)	61.0% ³ (±749,700 SF)
FLOOR AREA RATIO	0.20	0.181 (224,794 SF)	0.186 (228,294 SF)	0.189 (232,219 SF)
BUILDING HEIGHT	1 STORY (28 FT. OR 30 FT. FOR OFFICE)	± 276"	NO CHANGE	NO CHANGE

1 NO CODE REQUIREMENT

2 BASED ON IMPERVIOUS AREAS OF LOT. EXISTING IMPERVIOUS AREA TOTALS 16.606 AC., PROPOSED IMPERVIOUS AREA TOTALS 16.503 AC. YIELDING A NET DECREASE OF 0.103 AC. IN IMPERVIOUS AREAS.

3 6,400 S.F. OF NET IMPERVIOUS AREAS REMOVED

PARKING SCHEDULE:

PARKING DATA	REQUIREMENT	REQUIRED	EXISTING ¹	PROVIDED
SHOPPING CENTER (EX.)	5.5 SPACES per 1000 s.f. GFA ² (228.294 x 5.5)	1256*	984	1030*
PROPOSED BANK	1 SPACE FOR EVERY 250 S.F. -- 3478/250 ²	14	-	-75
LANDBANKED SPACES		-	-	46
TOTAL SPACES	(228.294 x 5.5) + (3,478/250)	1266	1030	947
HANDICAPPED PARKING	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	ONE FOR FIRST 15 SPACES + ONE FOR EVERY 30 SPACES AFTER ³	35	39	41
VAN-ACCESSIBLE	REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOTS 5 AND 7	1/6 x H/C PROVIDED ⁴	8	8	9

* CURRENT CONDITIONS

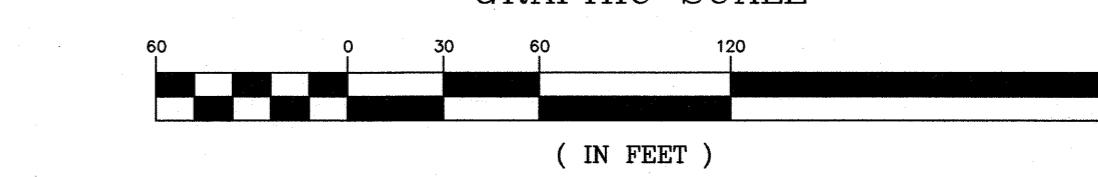
1 EXISTING PARKING COUNT VARIANCE FROM PREVIOUSLY-APPROVED SITE PLAN OF PLAINSBORO SHOPPING PLAZA; APPROVED PER RESOLUTION PB 13-11, PLAINSBORO TOWNSHIP PLANNING BOARD, FEBRUARY 18, 2014 AND RESOLUTION PB 00-02, APPROVED AUGUST 21, 2000.

2 PER PLAINSBORO TOWNSHIP CODE SECTION 85-44, MINIMUM NUMBER OF PARKING SPACES FOR SHOPPING CENTER IS 5.5 SPACES PER 1000 S.F. OF GFA.

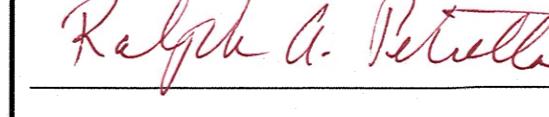
3 PER N.J. BARRIER FREE / ADA REQUIREMENTS, A MINIMUM OF 2% OF TOTAL SPACES MUST BE HANDICAP-ACCESSIBLE SPACES (21 SPACES). PER PLAINSBORO TOWNSHIP CODE SECTION 96.36, A MINIMUM OF ONE SPACE FOR THE FIRST 15 SPACES AND AN ADDITIONAL SPACE FOR EVERY 30 SPACES AFTER MUST BE HANDICAP-ACCESSIBLE.

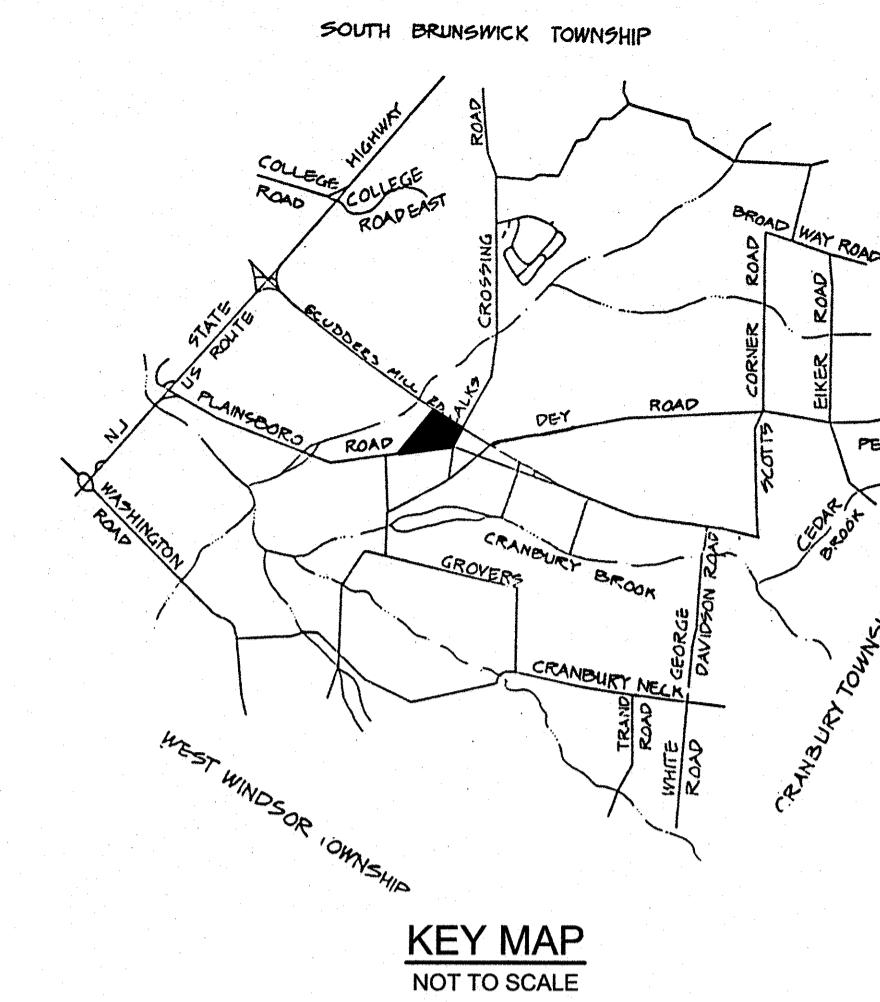
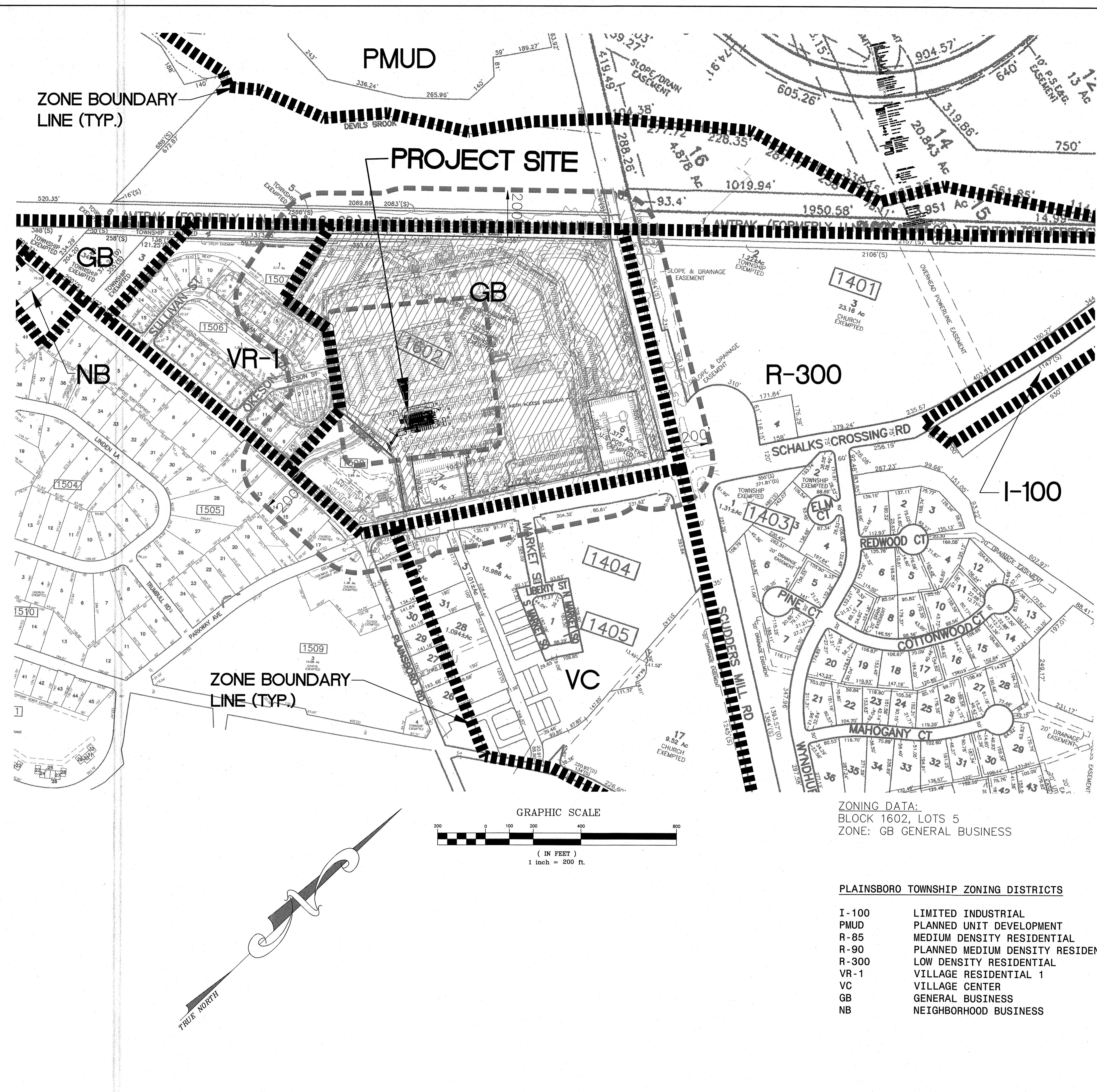
4 PER ADA REQUIREMENTS

GRAPHIC SCALE



Know what's below.
Call before you dig.

REV.	DESCRIPTION	DATE	DFT.BY	CKD.BY
 Ralph A. Petrella <i>PLAINSBORO TOWNSHIP, N.J.</i> RALPH A. PETRELLA <i>N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160</i>				
07/20/2023				
DATE OF SIGN.				
OVERALL SITE PLAN OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN MIDDLESEX CO. N.J. JULY 20, 2023				
DRAWN BY	WDV	FIELD BK	ORDER No.	FILE No.
DATE			43986-	43986- 207-C-3
CHECKED BY	RAP	PAGE	43986-	43986- OVL
DATE			400-21	

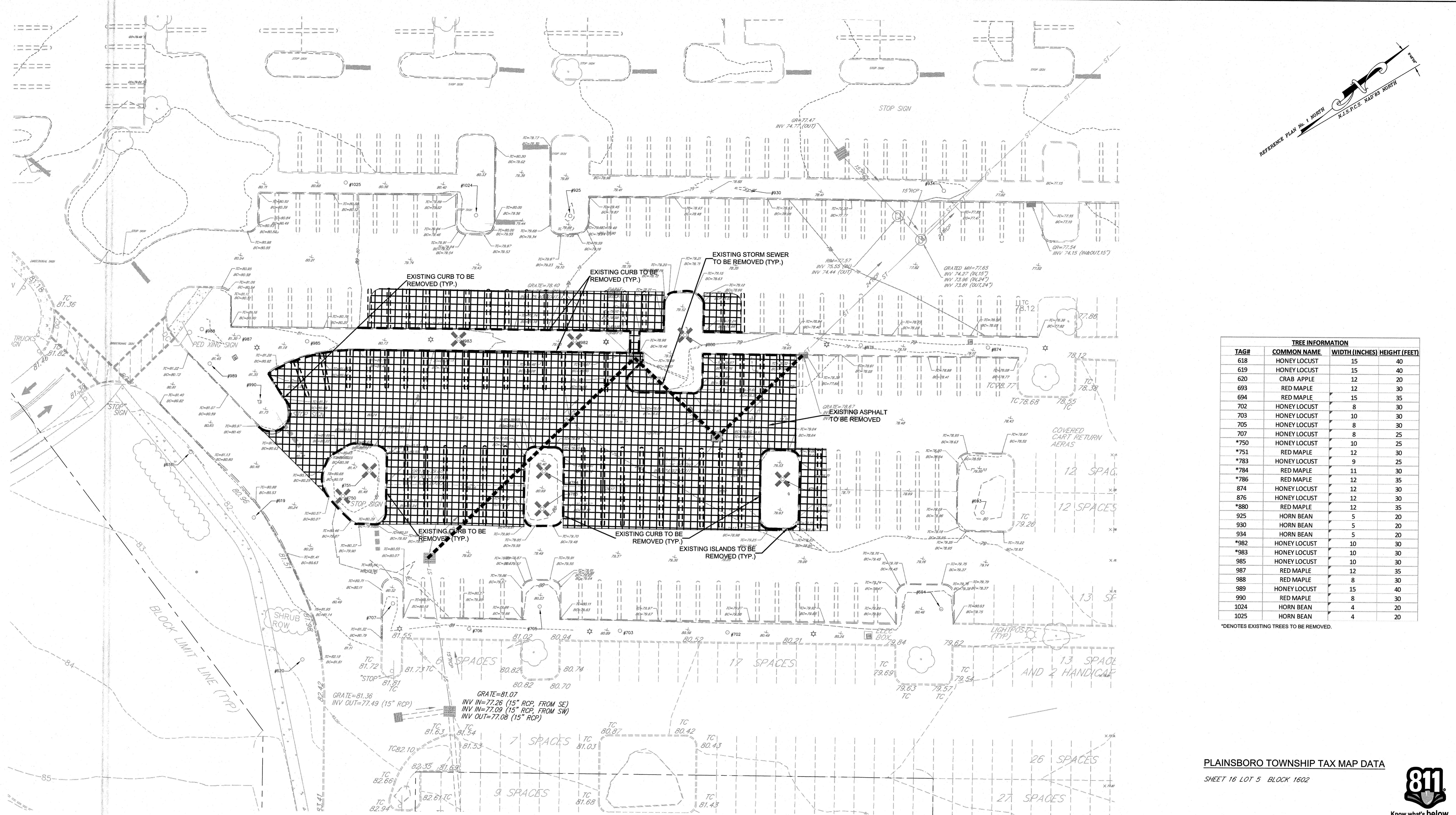


PROPERTY OWNERS LIST WITHIN 200 FT. OF SUBJECT SITE: (NOW OR FORMERLY)
CERTIFIED LIST PROVIDED BY PLAINSBORO TOWNSHIP OCTOBER 14, 2013

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
1401	3	The Princeton Alliance Church PO Box 9000 Plainsboro, NJ 08536	1508	7	PNC Bank/Tax Administration 620 Liberty Ave 19th Fl Pittsburgh, PA 15222
1404	2	Habibian, Marjan 12 Petty Road Cranbury, NJ 08512	1508	8	Woford, Warren & Cynthia 441 Plainsboro Road Plainsboro, NJ 08536
1403	3	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1508	9	Arora, Anil & Reena 439 Plainsboro Road Plainsboro, NJ 08536
1404	401	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	3	Princeton Three Hospitality Group 1950 Street Road, Ste 204 Bensalem, PA 19020
1404	43	Sharbell Cranbury, Inc. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1601	5	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536
1506	1	Township of Plainsboro 641 Plainsboro Road Plainsboro, NJ 08536	1601	6	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	1	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691	1602	4	United NJ RR & Canal Co. c/o Amtrak 115 Spring Valley Road Montvale, NJ 07645
1507	2	Shroff, A. & Mazogonwalla, R. 25 Sullivan Street Plainsboro, NJ 08536	1602	6	United States Post Office 12 Schalks Crossing Road Plainsboro, NJ 08536
1507	3	Sharbell Development Corp. 1 Washington Blvd, Ste. 9 Robbinsville, NJ 08691			Director of Planning for Middlesex County 40 Livingston Avenue New Brunswick, NJ 08901
1507	4	Rupani, Zahid & Shehla 23 Sullivan Street Plainsboro, NJ 08536			NJ American Water 1341 North Avenue Plainfield, NJ 07061-0001
1507	5	Jiang, Jincai & Liu , Zengying 21 Sullivan Street Plainsboro, NJ 08536			NJ Dept. of Transportation 1035 Parkway Ave, CN 600 Trenton, NJ 08625
1507	6	Yoon, Brian & Young 19 Sullivan Street Plainsboro, NJ 08536			PSEG Manager - Corporate Properties 80 Park Plaza, 16B Newark, NJ 07102
1507	7	Suri, Naveen & Nirmala 17 Sullivan Street Plainsboro, NJ 08536			Comcast Cable Vision 90 Lake Avenue East Windsor, NJ 08520
1507	8	Gammer, Brett & Jamie 15 Sullivan Street Plainsboro, NJ 08536			Verizon 1490 Prospect Street Trenton, NJ 08638
1507	9	Chen-Hayes, L & S & Hayes, LF 13 Sullivan Street Plainsboro, NJ 08536			United Water Princeton Meadows / a subsidiary of United Water Mid-Atlantic 111 Howard Boulevard, Suite 203 Mount Arlington, NJ 07856-1315
1508	1	Ananthakrishnan, V. & Venkatesan, U 4 Okeson Street Plainsboro, NJ 08536			Stony Brook Regional Sewerage Authority 290 River Road Princeton, NJ 08540
1508	2	Singh, Gurpreet & Jeevanjot 6 Okeson Street Plainsboro, NJ 08536			Right-of-Way Dept. Sun Pipe Line Co. Ten Penn Center 26th Floor 1801 Market Street Philadelphia, PA 19103-1699
1508	3	Chandrika PillutlaGopal, Maddipati 8 Okeson Street Plainsboro, NJ 08536			Director of Planning for Mercer County PO Box 8068 Trenton, NJ 08650
1508	4	Tsai, Chijiang & Zhang, Fang 10 Okeson Street Plainsboro, NJ 08536			Comcast Cable Communications, Inc. Andy Cortes Area Construction Supervisor - Monmouth Cluster 751 Brick Blvd Brick, NJ 08723
1508	5	Eapen, Sujit & Fernandes, Cheryl 12 Okeson Street Plainsboro, NJ 08536			van note-harvey division of pennoni 103 College Road East • Princeton, NJ 08540 • 609-987-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com Certificate of Authorization www.pennoni.com No. 24GA28033300
1508	6	Sharbell Development Corporation 1 Washington Blvd Suite 9 Robbinsville, NJ 08691			VICINITY PLAN AND KEY MAP OVER PART OF BLOCK 1602, P.O. LOT 5 PLAINSBORO PLAZA CENTER CHASE BANK PAD SITE PREPARED FOR PLAINSBORO PLAZA OWNER, LLC SITUATED IN MIDDLESEX CO. N.J. JULY 20, 2023

REV.	DESCRIPTION	DATE	DFT.BY	CKD.BY
<i>Ralph A. Petrella</i> 07/20/2023				
Ralph A. Petrella N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160				
DRAWN BY	WDV	FIELD BK	ORDER No.	FILE No.
CHECKED BY	RAP	PAGE	43986-400-21	207-C-3
DATE	VIC			

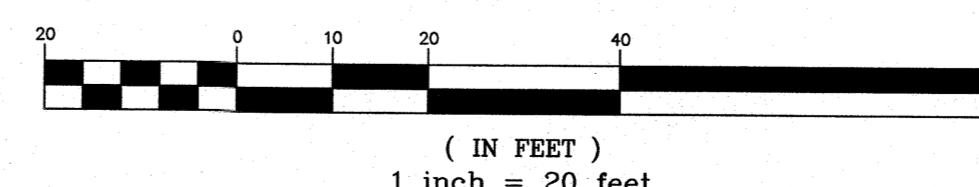




VINHA SYMBOLS LEGEND:

X _{204.5}	SPOT ELEVATION	■	STORM GRATE	MAJOR TOPOGRAPHIC CONTOUR
X _{204.5}	TOP OF CURB	○	STORM DRAINAGE MANHOLE	MINOR TOPOGRAPHIC CONTOUR
X _{204.5}	BOTTOM OF CURB	●	BOLLARD	—	
X _{204.5}	DEPRESSED CURB	◎	SANITARY SEWER MANHOLE	—	
○	CLEAN OUT	×	ELECTRIC MANHOLE	×	STORM SEWER
★	LIGHT POST	□	UTILITY MANHOLE	□	GAS VALVE
○	#26 TREE I.D.	●	FIRE HYDRANT	○	WATER VALVE
				—	SIGN
				—	UTILITY BOX

GRAPHIC SCALE



Ralph A. Petrella
07/20/2023
DATE OF SIGN.

RALPH A. PETRELLA
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160

1. MUNICIPAL SUBMISSION	11/20/23	KMW	RAP
REV. DESCRIPTION	DATE	DFT.BY	CKD.BY

SITE DEMOLITION PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
SITUATED IN MIDDLESEX CO., N.J.
JULY 20, 2023

DRAWN BY WDV
DATE
CHECKED BY RAP
PAGE
DATE
FILE No.
43986-400-21
207-C-3
SHEET No.
CE-1



van note-harvey division of pennini
103 College Road East • Princeton, NJ 08540 • 609-987-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600
www.vannoteharvey.com Certificate of Authorization
www.pennini.com No. 24GA28033300

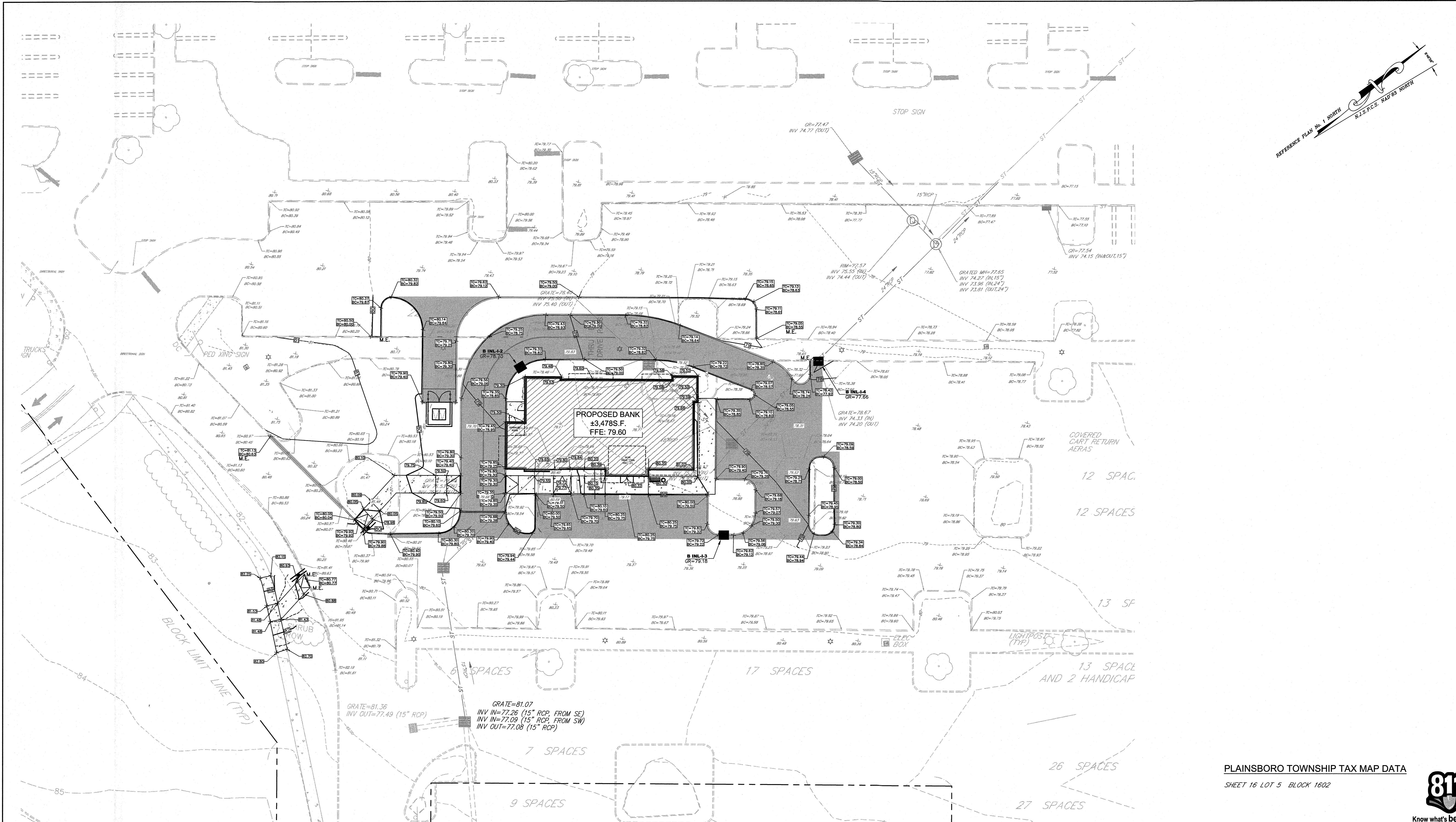
vinnoteharvey division of pennini

2023

07/20/2023

DATE

07/20/2023



PLAINSBORO TOWNSHIP TAX MAP DATA



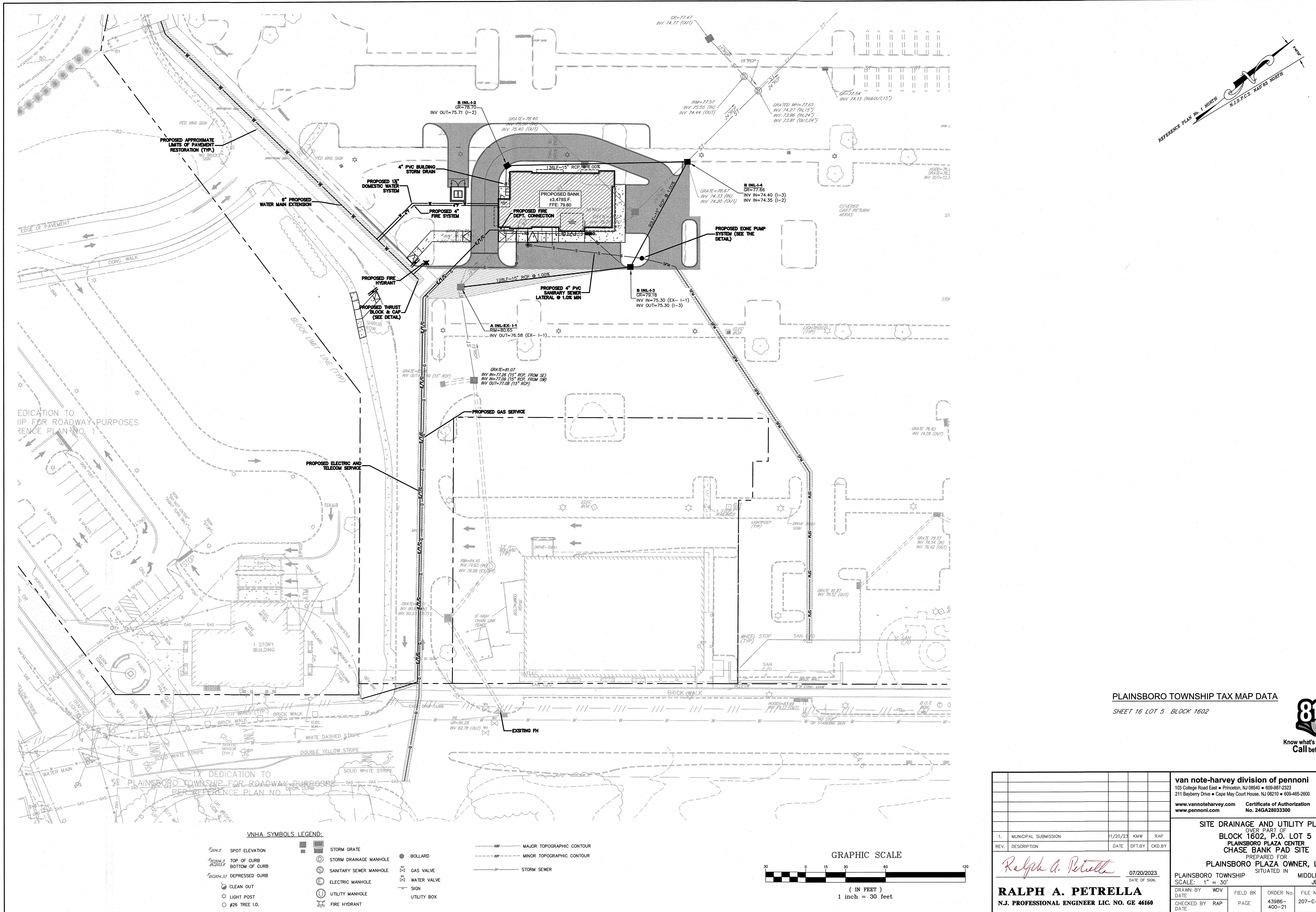
**Know what's below.
Call before you dig.**

VNHA SYMBOLS LEGEND

X204.5	SPOT ELEVATION				100	MAJOR TOPOGRAPHIC C	
X204.3 BC203.8	TOP OF CURB BOTTOM OF CURB	(D)	STORM GRADE STORM DRAINAGE MANHOLE	●	BOLLARD	101	MINOR TOPOGRAPHIC C
XDC204.33	DEPRESSED CURB	(S)	SANITARY SEWER MANHOLE	☒	GAS VALVE	ST	STORM SEWER
M.E.	MATCH EXISTING	(E)	ELECTRIC MANHOLE	☒	WATER VALVE		
		(U)	UTILITY MANHOLE	○	SIGN		
		(H)	FIRE HYDRANT		UTILITY BOX		
		(C)	CLEAN OUT				
		(L)	LIGHT POST				
		(T)	#26 TREE I.D.				

GRAPHIC SCALE

(IN FEET)



<p>A. TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION</p> <p>1. SITE PREPARATION</p> <p>A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1 IN "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" (SSESNCN).</p> <p>B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE SSESNCN ENGINEERING STANDARDS.</p> <p>C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED TO A 6" MINIMUM DEPTH. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).</p> <p>2. SEEDED PREPARATION</p> <p>A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET, WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT 2 TONS/ACRE UNLESS SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASUREMENTS OF OTHER MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.</p> <p>B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.</p> <p>C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.</p> <p>D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID SOILS. SSESNCN PG. 1-1.</p> <p>3. SEEDING</p> <p>A. APPLY SEED AS FOLLOWS:</p> <p>COOL SEASON PERENNIAL RYEGRASS AT 100 POUNDS/ACRE OR 1 POUND/1000 SQ.FT.; OPTIMUM SEEDING DATES: 3/1-5/15 & 8/15-10/1; OPTIMUM SEED DEPTH: 0.5 INCHES</p> <p>WARM SEASON PEARL MILLET AT 20 POUNDS/ACRE OR 0.5 POUNDS/1000 SQ.FT. OPTIMUM SEEDING DATE: 5/15-8/15; OPTIMUM SEED DEPTH: 1.0 INCHES</p> <p>THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF THE SPECIFIED SEED AND PLANTING DATES WITH THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.</p> <p>B. SEEDING RATE FOR WARM SEASON GRASS SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.</p> <p>C. GRASSES MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDED AREA CAN BE IRRIGATED.</p> <p>E. PLANTING DEPTHS SHOULD BE DOUBLED FOR SANDY SOILS.</p> <p>F. CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DRILL, SEEDER, DRILL OR CULTIPACKER SEEDER, EXCEPT FOR SEEDED BY DRILL, CYCLONE (CENTRIFUGAL) SEEDER, SEED SHALL BE APPLIED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.</p> <p>G. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE HYDROSEEDING. SHORT FIBERED MULCH IS NOT A HYDROSEEDING MULCH. SEE SECTION 4. MULCHING. HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING IS NOT RECOMMENDED FOR SLOPES STEEPER THAN 10% TO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTBUTE 70 TO 90 POUNDS WITH EACH SECTION.</p> <p>H. AFTER SEEDING, FIRING THE SOIL WITH A CORROUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON-SITE WILL BE MAXIMIZED.</p> <p>4. MULCHING</p> <p>MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.</p> <p>A. STRAW OR HAY, UNROLLED SMALL GRASS STRAW, HAY FRESH OR DRY, MAY BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET, EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT A PREFERRED SEEDING MULCH. SEE SECTION 4. MULCHING. MULCHING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING IS NOT RECOMMENDED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.</p> <p>B. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.</p> <p>1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO THE SOIL SURFACE WITH TWINE IN A CROSS-CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.</p> <p>2. MULCH NETTINGS: STAPLE, PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.</p>		<p>B. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION</p> <p>1. SITE PREPARATION</p> <p>A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.</p> <p>B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION THE SURFACE SHALL BE EVALUATED FOR CONTOURS IN ACCORDANCE WITH THE STANDARDS FOR LAND GRADING.</p> <p>C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.</p> <p>D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.</p> <p>2. SEEDED PREPARATION</p> <p>A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASUREMENTS OF OTHER MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.</p> <p>B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.</p> <p>C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.</p> <p>3. SOIL PREPARATION</p> <p>A. UNIFORMLY APPLY GROUND LIMESTONE, AND FERTILIZER, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. AND INCORPORATED INTO THE SOIL AT 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.</p> <p>B. FOR DROUGHT SITES, A SOIL OF TYPE-TYPE, 11 QUARTS OF LIFF-TYPE TALL FESCUE MIXED WITH 100% KENYA BLUEGRASS SOD, ALTHOUGH NOT IDEALLY AVAILABLE, A SOIL OF FINE FESCUE IS ALSO ACCEPTABLE FOR DROUGHTY SITES.</p> <p>C. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS OR LESS DURING SUMMER MONTHS.</p> <p>4. SITE PREPARATION</p> <p>A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZER, AND INCORPORATION OF ORGANIC MATTER, AND OTHER SOIL PREPARATION PROCEDURES. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.</p> <p>B. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. SEE STANDARD FOR TOPSOILING.</p> <p>C. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.</p> <p>5. SOIL STABILIZATION</p> <p>A. HIGH QUALITY CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD.</p> <p>B. SOD SHOULD BE FREE OF BROADLEAF WEEDS AND UNDESIRABLE COARSE AND FINE WEED GRASSES.</p> <p>C. SOD SHOULD BE OF UNIFORM THICKNESS, TYPICALLY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING (EXCLUDING TOP GROWTH).</p> <p>D. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS AND ROLLS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.</p> <p>E. FOR DROUGHT SITES, A SOIL OF TYPE-TYPE, 11 QUARTS OF LIFF-TYPE TALL FESCUE MIXED WITH 100% KENYA BLUEGRASS SOD, ALTHOUGH NOT IDEALLY AVAILABLE, A SOIL OF FINE FESCUE IS ALSO ACCEPTABLE FOR DROUGHTY SITES.</p> <p>F. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS OR LESS DURING SUMMER MONTHS.</p> <p>6. STABILIZATION WITH MULCH ONLY</p> <p>1. SITE PREPARATION</p> <p>A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1 IN SSESNCN.</p> <p>B. INSTALL NEEDED EROSION CONTROL PRACTICES FACILITIES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE SSESNCN ENGINEERING STANDARDS 11 THROUGH 42.</p> <p>2. PROTECTIVE MATERIALS</p> <p>A. UNROLLED SMALL-GRAN STRAW AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMATY AT 90 TO 110 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH IS SPREAD AND TIED DOWN COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOD CANNOT BE SEEN BELOW THE MULCH.</p> <p>B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.</p> <p>C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.</p> <p>D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.</p> <p>E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WHICH ARE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.</p> <p>F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.</p> <p>3. MULCH ANCHORING</p> <p>SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.</p> <p>A. PEG AND TWINE – SEE PARAGRAPH 4.1.1 UNDER TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION.</p> <p>B. MULCH NETTINGS – STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOVED. NETTING IS USUALLY APPLIED IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.</p> <p>C. CRIMPER – MULCH ANCHORING COVER TOOL – A TRACTOR-DRIVEN IMPLEMENT ESPECIALLY DESIGNED TO SPREAD AND MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES ON SLOPING LAND. THE OPERATION SHOULD BE ON THE CONTOUR.</p> <p>D. LIQUID MULCH-BINDERS:</p> <p>1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRISTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.</p> <p>2. USE THE FOLLOWING:</p> <p>o ORGANIC AND VEGETABLE BASED BINDERS – NATURALLY OCCURRING, POWDER BASED HYDROLYZED MATERIALS THAT MIXED WITH WATER AND APPLIED TO MULCH UNROLLED, UNPREDICATED CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GELS SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT CAUSE A PHOTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS. VEGETABLE BASED GELS SHOULD BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.</p> <p>o SYNTHETIC BINDERS – HIGH POLYMER SYNTHETIC EMULSION, MISCELLANEOUS WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE AND DISPERSE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.</p> <p>NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.</p> <p>F. CONSTRUCTION SEQUENCE:</p> <p>DURATION*</p> <p>1. NOTIFY THE MIDDLESEX COUNTY SOIL CONSERVATION DISTRICT & PLAINSBORO TOWNSHIP ENGINEERING DEPARTMENT OF CONSTRUCTION START/SOIL DISTURBANCE 2 DAYS</p> <p>2. CLEAR, STRIP AND GRADE FIRST ±100 FT. OF CONSTRUCTION ENTRANCE TO SITE. STABILIZE IMMEDIATELY WITH STONE CONSTRUCTION ENTRANCE AS DETAILED (THIS SHEET). 2 DAYS</p> <p>3. INSTALL SOIL EROSION & SEDIMENT CONTROL MEASURES PER THE APPROVED SOIL EROSION & SEDIMENT CONTROL PLAN. INSTALL SILT BARRIER FENCE & TREE PROTECTION FENCE. 1 WEEK</p> <p>4. REMOVE EXISTING SITE FEATURES AND IMPROVEMENTS, STOCKPILE TOPSOIL AND STABILIZE DISTURBED AREAS. ALL UNUSABLE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. 3 WEEKS</p> <p>5. INSTALL STORM DRAINAGE COLLECTION SYSTEM. COVER THE SYSTEM WITH APPROPRIATE PROTECTION MEASURES. DISTURBED AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEED. 4 WEEKS</p> <p>6. ROUGH GRADE CONSTRUCTION AREAS. ALL UNUSABLE MATERIAL SHALL BE REMOVED FROM SITE. 2 WEEKS</p> <p>7. CONSTRUCT PROPOSED BUILDING. 8 MONTHS</p> <p>8. CONSTRUCT PAVED AREAS, CURBS, AND SIDEWALKS. 1 MONTH</p> <p>9. FINISH GRADE LAWNS. FINISH GRADE AREAS NOT SUBJECT TO FURTHER CONSTRUCTION ACTIVITIES CONSTRUCT SITE Hardscaping. 2 WEEKS</p> <p>10. SCARIFY/TILL THE SUBSOIL SURFACE TO A MINIMUM OF 6 INCH MINIMUM DEPTH TO MITIGATE SUBSOIL COMPACTION PRIOR TO THE PLACEMENT OF TOPSOIL. 1 WEEK</p> <p>11. FINISH GRADE SITE, INSTALL LANDSCAPING, LIGHTING, SIGNAGE, PERMANENT SEED & STABILIZE 2 WEEKS</p> <p>12. STABILIZE ALL UNPAVED AREAS WITH PERMANENT SEED. 1 WEEK</p> <p>13. REMOVE REMAINING SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON APPROVAL OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT. 3 DAYS</p> <p>14. SUBMIT A COMPLETED SOIL COMPACTION MITIGATION VERIFICATION FORM TO THE SOIL CONSERVATION DISTRICT PRIOR TO THE DISTRICT PERFORMING A REPORT OF COMPLIANCE INSPECTION. 1 WEEK</p> <p>NOTES:</p> <p>1. SITE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND UNTIL PERMANENT SITE STABILIZED HAS BEEN ACHIEVED AND APPROVED BY THE SOIL CONSERVATION DISTRICT.</p> <p>2. REGARDING CONSTRUCTION SEQUENCE, CERTAIN TASKS MAY BE PERFORMED CONCURRENTLY WITH OTHER TASKS.</p> <p>3. SEQUENCE OF LANDSCAPING INSTALLATION SHALL BE AS MOST SUITABLE FOR THE TIME OF INSTALLATION.</p> <p>4. DURATIONS ARE APPROXIMATE AND ARE DEPENDENT ON WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.</p> <p>5. STARTING DATES WILL BE DETERMINED AND COORDINATED WITH THE MUNICIPAL ENGINEER AT THE TIME OF PRECONSTRUCTION MEETING.</p> <p>5. IRIGATION (WHERE FEASIBLE)</p> <p>IF SOIL MOISTURE IS DEFICIENT, AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.</p> <p>6. TOPDRESSING</p> <p>SINCE SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) IS PRESCRIBED IN SECTION F-2 ABOVE, A FOLLOW-UP TOPDRESSING IS NOT MANDATORY, EXCEPT WHERE GROSS NITROGEN DEFICIENCY EXISTS TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. TOPDRESSING SHALL THEN BE APPLIED, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET.</p> <p>D. STANDARD FOR TOPSOILING</p> <p>1. MATERIALS</p> <p>A. TOPSOIL SHOULD BE FRIABLE (1*), LOAMY (2*), FREE OF DEBRIS, OBLIGATION WEEDS, AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT EXCEED A CONDUCTIVITY TEST (ASTM D-113) OF 0.75 MILS PER 100 MILLIGRAMS. IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.</p> <p>B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER, OR LIME, AND HAS THE SAME PHYSICAL AND CHEMICAL PROPERTIES AS THE SOIL IT IS SUBSTITUTED FOR. TOPSOIL SUBSTITUTES MAY SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND pH LEVEL.</p> <p>2. STRIPPING AND STOCKPILES</p> <p>A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTICES STRIPPING.</p> <p>B. STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.</p> <p>C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL pH TO APPROXIMATELY 6.5.</p> <p>D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.</p> <p>E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OTHER ENVIRONMENTAL DAMAGE.</p> <p>F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN. SEE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.</p> <p>3. SITE PREPARATION</p> <p>A. GRADE AT THE ONSET OF THE SOIL THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEEDED TO ESTABLISH VEGETATIVE-COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS THE ESSENCE.</p> <p>B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE SSESNCN, STANDARD FOR LAND GRADING, PG. 19-1.</p> <p>C. AS GUIDANCE FOR IDEAL PLANTING CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO THE SUBSOIL TO A pH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.</p> <p>D. PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PG. 19-1.</p> <p>E. EMPLOY NEEDED EROSION AND CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS. SEE SSESNCN STANDARDS 11 THROUGH 42.</p> <p>4. APPLYING TOPSOIL</p> <p>A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE, I.E. LESS THAN FIELD CAPACITY (SEE SSESNCN GLOSSARY).</p> <p>B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5 INCHES MINIMUM OR 4 INCHES, FIRMED IN PLACE REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPING, AND OTHER SPECIAL PURPOSES. THE DEPTH OF THE TOPSOIL SHOULD BE APPROXIMATELY 12 INCHES, OR A MAXIMUM DEPTH OF 12 INCHES OF SOIL HAVING A pH OF 5.0 OR MORE, IN ACCORDANCE WITH SSESNCN PG. 1-1.</p> <p>C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF SSESNCN, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL PLANTING, RE-SEEDING, OR RE-PLANTING. SOME SITES MAY REQUIRE THE FOLLOWING SUPPLEMENTAL SEEDING: RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.</p> <p>(1*) FRIBLABLE MEANS EASILY CRUMBLE IN FINGERS, AS DEFINED IN MOST SOILS TESTS.</p> <p>(2*) LOAMY MEANS</p>
---	--	---

A. BURY THE TOP END OF THE JUTE STRIPS IN A TRENCH 4 INCHES OR MORE IN DEPTH.

B. TAMP THE TRENCH FULL OF SOIL SECURE WITH ROW OF STAPLES, 10" SPACING, 4" DOWN FROM THE TRENCH.

C. OVERLAP—BURY UPPER END OF LOWER STRIP AS IN "A" AND "B". OVERLAP END OF TOP STRIP 4" AND STAPLE.

D. EROSION STOP—FOLD OF JUTE BURIED IN SILT TRENCH AND TAMPED DOUBLE ROW OF STAPLES.

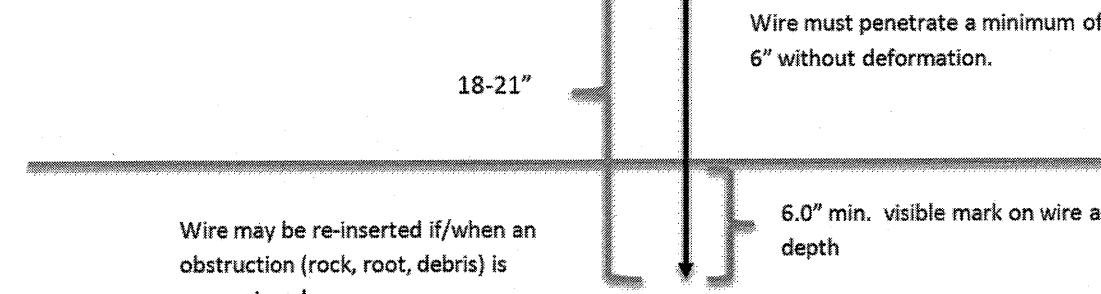
PLACE STAPLES 4" TO 10 FEET APART.

2" OVERLAP OF JUTE STRIPS WHERE TWO OR MORE STRIP WIDTHS ARE 3" OR MORE. STAPLES ON 3" TO 4" CENTERS.

18-21" Hold Wire here: Wire must penetrate a minimum of 6" without deformation.

Probing Wire Test- 15.5 ga steel wire (survey flag)

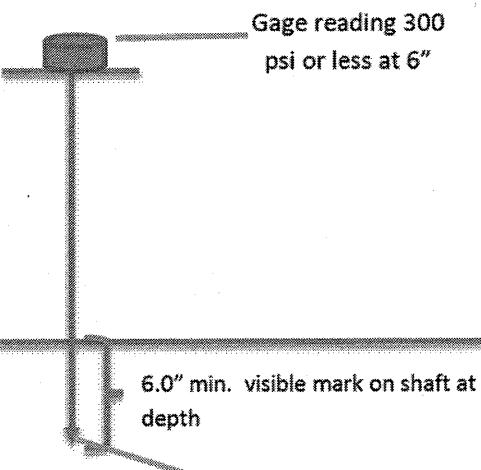
Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



PROBING WIRE TEST DETAIL (IF/AS REQUIRED) NTS

Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gauge.



HANDBHELD SOIL PENETROMETER TEST DETAIL (IF/AS REQUIRED) NTS

SOIL DECOMPACTION AND TESTING REQUIREMENTS (IF/AS REQUIRED)

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.

3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.

4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/ENGINEER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE AREA TESTED, DENOTED ON THE PLAN, EXCLUDING THE 10' AREA OF THE CONSTRUCTION ADJACENT TO MOST DETAILED TESTS TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

CROSS SECTION SUMP PIT DETAIL (IF/AS REQUIRED) NTS

1. PIT DIMENSIONS ARE VARIABLE, WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER.

2. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12" TO 24" DIAMETER CORRUGATED OR PVC PIPE, THEN WRAPPING IT WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE PERFORATIONS SHALL BE 1/2" X 6" SLOTS OR 1" DIAMETER HOLES.

3. A BASE OF FILTER MATERIAL CONSISTING OF CLEAN GRAVEL OR ASTM C-33 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12", AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACK FILLED WITH THE SAME FILTER MATERIAL.

4. THE STANDPIPE SHOULD EXTEND 12" TO 18" ABOVE THE LIP OF THE PIT OR THE RISER CREST ELEVATION (BASIN Dewatering ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 3" MINIMUM ABOVE THE ANTICIPATED STANDING WATER ELEVATION.

DEWATERING DETAIL (IF/AS REQUIRED) NTS

SEED, FERTILIZER AND STRAW MULCH WITH TACKIFER/BINDER IN ACCORDANCE WITH STANDARDS & SPECIFICATIONS ON THIS SHEET.

MISCELLANEOUS SITE IMPROVEMENT

SEE SITE PLANS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

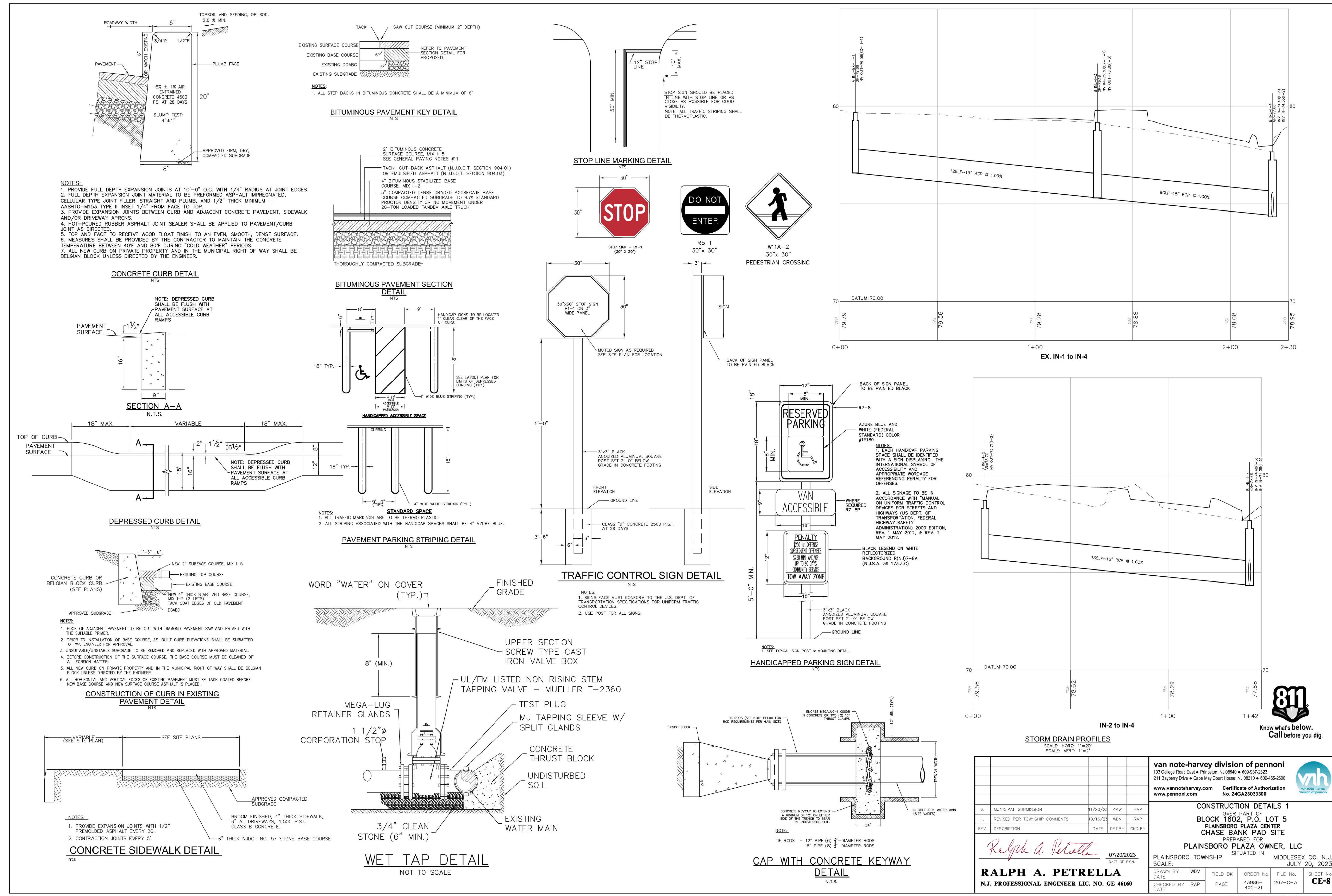
1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

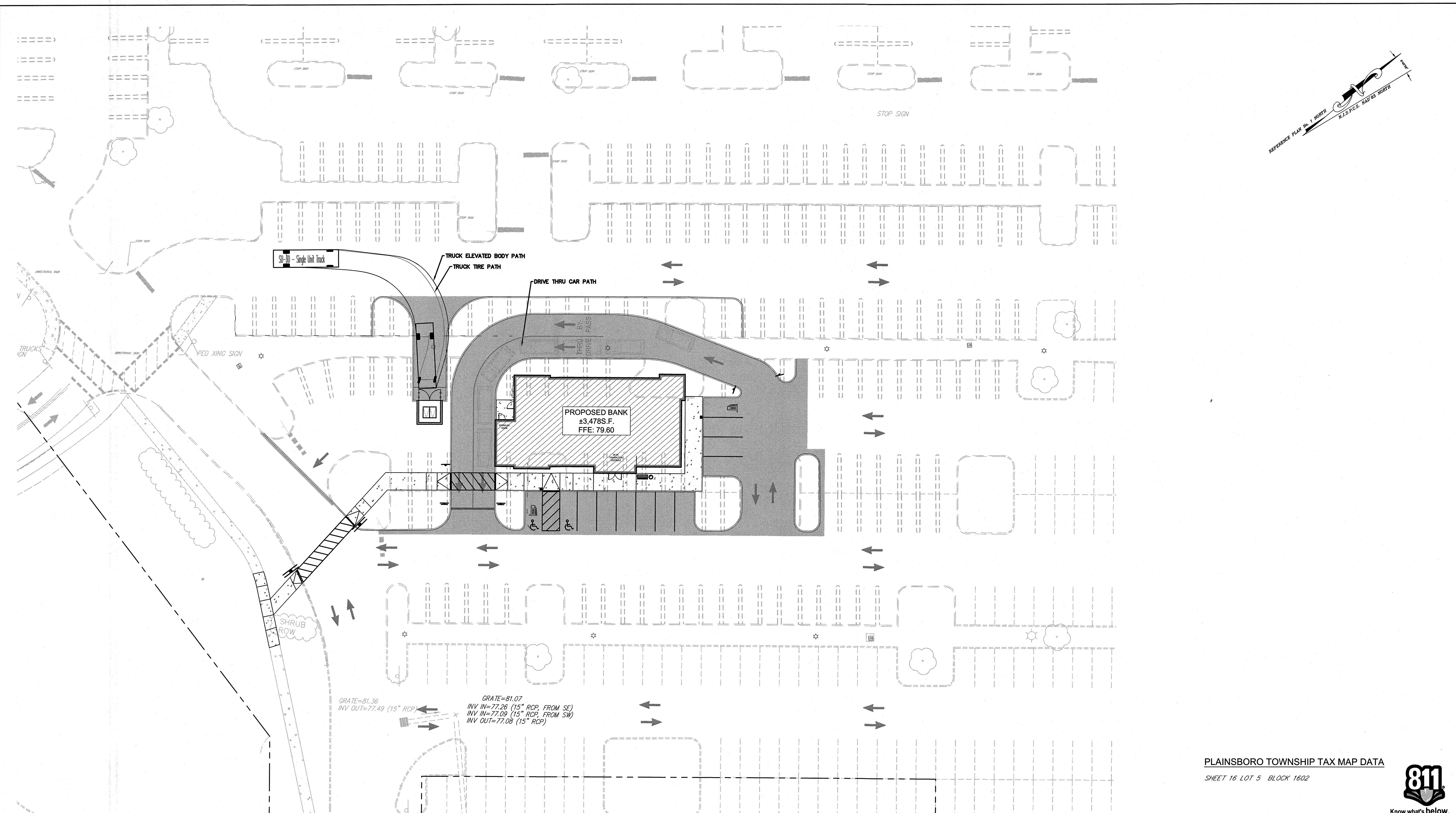
2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMANENT STABILIZATION REQUIREMENTS.

TYPICAL TOPSOIL RESTORATION DETAIL (IF/AS REQUIRED) NTS

1. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED FOLLOWING CONSTRUCTION. RESTORATION INCLUDES THE APPLICATION OF 5" OF TOPSOIL, AND PERMANENT STABILIZATION.

2. REFER TO NOTES SHEET CE-12, FOR SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND PERMAN





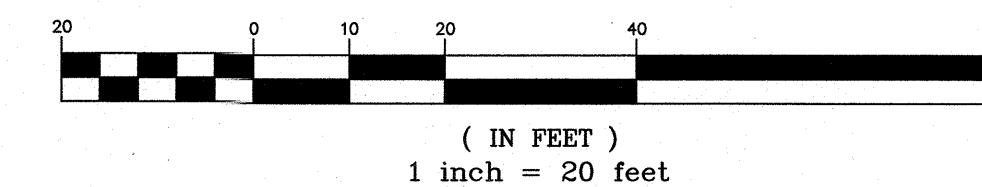
Know what's below.
Call before you dig.

VNHA SYMBOLS LEGEND:

1204.5	SPOT ELEVATION	STORM GRATE
1204.5 B204.5	TOP OF CURB BOTTOM OF CURB	STORM DRAINAGE MANHOLE
1204.5 B204.5	DEPRESSED CURB	SANITARY SEWER MANHOLE
●	CLEAN OUT	ELECTRIC MANHOLE
★	LIGHT POST	UTILITY MANHOLE
○	#26 TREE I.D.	FIRE HYDRANT

100	MAJOR TOPOGRAPHIC CONTOUR
101	MINOR TOPOGRAPHIC CONTOUR
57	STORM SEWER
●	BOLLARD
○	GAS VALVE
△	WATER VALVE
—	SIGN
—	UTILITY BOX

GRAPHIC SCALE



REV.	DESCRIPTION	DATE	DFT.BY	CKD.BY
<p><i>Ralph A. Petrella</i> 07/20/2023</p> <p>RALPH A. PETRELLA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 46160</p>				

van note-harvey division of pennoni
103 College Road East • Princeton, NJ 08540 • 609-987-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600
www.vannoteharvey.com Certificate of Authorization
No. 24GA28033300

TURNING MOMENT ANALYSIS PLAN
OVER PART OF
BLOCK 1602, P.O. LOT 5
PLAINSBORO PLAZA CENTER
CHASE BANK PAD SITE
PREPARED FOR
PLAINSBORO PLAZA OWNER, LLC
SITUATED IN MIDDLESEX CO. N.J.
PLAINSBORO TOWNSHIP
DRAWN BY WDV FIELD BK ORDER No. FILE No. SHEET No.
DATE PAGE 43986-200-21 207-C-3 TURN-1
CHECKED BY RAP DATE



Know what's below.
Call before you dig.

VNHA SYMBOLS LEGEND

X204.5	SPOT ELEVATION	■	STORM GRATE	100	MAJOR TOPOGRAPHIC C
X10204.3 BC203.8	TOP OF CURB BOTTOM OF CURB	○	STORM DRAINAGE MANHOLE	101	MINOR TOPOGRAPHIC C
XDC204.33	DEPRESSED CURB	○	SANITARY SEWER MANHOLE	57	STORM SEWER
○	CLEAN OUT	○	GAS VALVE		
○	LIGHT POST	○	WATER VALVE		
○	#26 TREE I.D.	○	SIGN		
		○	UTILITY BOX		
		○	FIRE HYDRANT		

GRAPHIC SCALE

0 15 30 60

(IN FEET)

1 inch = 30 feet

PLAINSBORO TOWNSHIP TAX MAP DATA

CHIEFT 10-107-5 Page 1000

16 LOT 5 BLOCK 1602

Digitized by srujanika@gmail.com

van note-harvey division of pennoni

103 College Road East • Princeton, NJ 08540 • 609-987-2323
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600

www.vannoteharvey.com Certificate of Authorization

www.pennoni.com No. 24GA28033300

EXISTING CONDITIONS PLA

OVER PART OF
BLOCK 1600, LOT 5

BLOCK 1602, LOT 5
PLAINSBORO PLAZA

CHASE BANK PAD SITE

PREPARED FOR
PLAINSBORO PLAZA OWNER

**PLAINSBURG PLAZA OWNER,
SITUATED IN**

PLAINSBORO TOWNSHIP
SCALE 1" = 30'

DRAWN BY DMH FIELD BK ORDER NO. FILE

DATE 07/17/23	FILED OK PLTZ 213	ORDER NO. 111
CHECKED BY KTS	PAGE 1	PLPOL PLAINS

CHECKED BY KTS	PAGE 60-61	ITEM NO 23001
DATE 07/22/23		