

Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD

Tree Condition Narrative

Introduction

The existing trees that are being removed as part of the Chase Bank Pad Site have been evaluated as to their condition per Plainsboro Township's request.

The intent of this evaluation was to rate the trees as to general landscape character so that the Township professionals and the Planning Board had a general sense of the character and condition of the trees being removed.

Regional Context

The site is located in the Inner Coastal Plain physiographic province, with shale, sandstone and argillite as the general underlying bedrock. The 1987 Middlesex County Soil Survey identifies the soil association as the Sassafras-Woodston. These are nearly level to strongly sloping, deep well drained and moderately well drained, poorly drained and well drained soils with a loamy subsoil and substratum located on uplands.

The pre-development soils on the site (the shopping center was developed circa 1987 to 1990) are Woodstown Loam (WIA) 0 to 2 percent slopes. This soil is nearly level and moderately well drained; the top 8 inches is typically a dark-grayish brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 1.5 to 2.5 feet below grade.

Sassafras Sandy Loam (SaB), 2 to 5 percent slopes. This soil is gently sloping and well drained; the top 8 inches is typically a dark-brown sandy loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Sassafras Loam (SIA), 0 to 2 percent slopes. This soil is nearly level and well drained; the top 8 inches is typically a dark-brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Vegetation Association

The vegetation association of the site area is the Mixed Oak Upland Forest, which is typical for central New Jersey. This vegetation association consists of red oak, white oak, black oak as well as hickory species, maple species, white & green ash, tulip tree, beech, black cherry, black birch, sour gum, and elm. Understory trees typically consist of dogwoods, sassafras, hop hornbeam and ironwood. Understory shrubs consists of viburnums, spicebush, witch hazel and multi-flora rose.

Since the site has been fully developed there are no remnants of established or native woodlands on the site. The landscape that exists is an ornamental landscape that has been planted within the last 30 plus years as part of the development of the Plainsboro Shopping Center and associated parking on the site.

Tree Survey / Evaluation Methodology

This evaluation was made by a field visit by Stearns Associates LLC Landscape Architects on August 1, 2023 and results included on sheets L1.0 Tree Removal- Replacement Plan. Only the trees in the parking lot being affected by the new Chase Bank building and parking were evaluated. These trees are numbered 618 to 1025 per the trees survey by Van Note-Harvey Associates PC dated July 7, 2023.

Each tree was numbered and species noted, diameter measured and height and crown were estimated. Each tree was evaluated and this information was summarized on a table on the Tree Removal Plans called the Trees Proposed to be Removed Condition Chart. A total of 29 trees were surveyed by Stearns Associates LLC.

Each tree was examined for general condition as a landscape tree, primarily examining the root fair, trunk and crown. Root fair was examined to see if fair existed (no root fair can mean there has been filing around the trunk) and if there was evidence of decay. The trunk and branches were examined for evidence of multiple trunks, cavities, decay, cracks, broken branches and dead wood. The canopy was evaluated as to size, form and condition.

After looking at the condition of each tree each was given a general rating of good, fair or poor. A Good rating is a tree with straight trunk and no scars, good structural form, full canopy and no evidence of decay. A Fair rating means that the tree had a straight trunk with minor scarring and/or the canopy was stunted had an asymmetrical condition or some dieback. A Poor rating means the tree had severe scarring of the trunk, and/or poor canopy condition.

Each tree had a recommended action and this is shown on the last column on the chart. Only 6 trees of the 29 surveyed are affected that have to be removed. There were three recommendation categories:

Relocate: Trees in good condition that were of a size that could be moved with a tree spade (up to 6" diameter). None are proposed to be relocated, trees too large to transplant.

Replace 2 to 1: Trees in good condition, but too big to move with a tree spade would be replaced at 2 to 1 per Township recommendations for trees less than 12 inches in diameter.

Replace 3 to 1: Trees in good condition, but too big to move with a tree spade would be replaced at 3 to 1 per Township recommendations for trees 12 inches or more in diameter.

Recommendation

Action	Quantity	Percent
Relocate	0	0%
Remove-Replace 2 to 1	4	67%
Remove-Replace 3 to 1	2	33%
Total	6	100%

General Condition of the Trees

The existing trees in the parking lot affected by the Chase Bank are two species: Honey Locust and Red Maples.

Species	Quantity	Percent
Honey Locust	14	48%
Red Maple	9	32%
Other species	6	20%
Total	29	100%

The existing trees in the parking lot are generally in good condition. In general the trees have good trunk and crown development. The following is a general list of the poor conditions we observed:

- Dead or missing central leader
- Dead branches, requires pruning
- Dieback on limbs, minor to severe
- Limbs missing
- Scarring on the trunk, minor to severe
- Some trunk decay

There are a total of 29 trees evaluated and the rating summarized as follows:

Rating	Quantity	Percent
Good	27	93%
Fair	2	7%
Poor	0	0%
Total	29	100%

Tree Replacement Calculations

Plainsboro Township has recently required that trees less than 12 inch diameter be replaced at 2 trees for each one removed (2:1); and trees greater than 12 inch diameter be replaced at 3 trees for each one removed (3:1). Trees that need to be removed would be replaced at the ratios noted above. There were no trees being removed greater than 12 inches.

See Tree Condition chart on this sheet.

Replacement trees will be shade trees 2.5" to 3" caliper and are shown on sheet L1.1: Planting Plan.

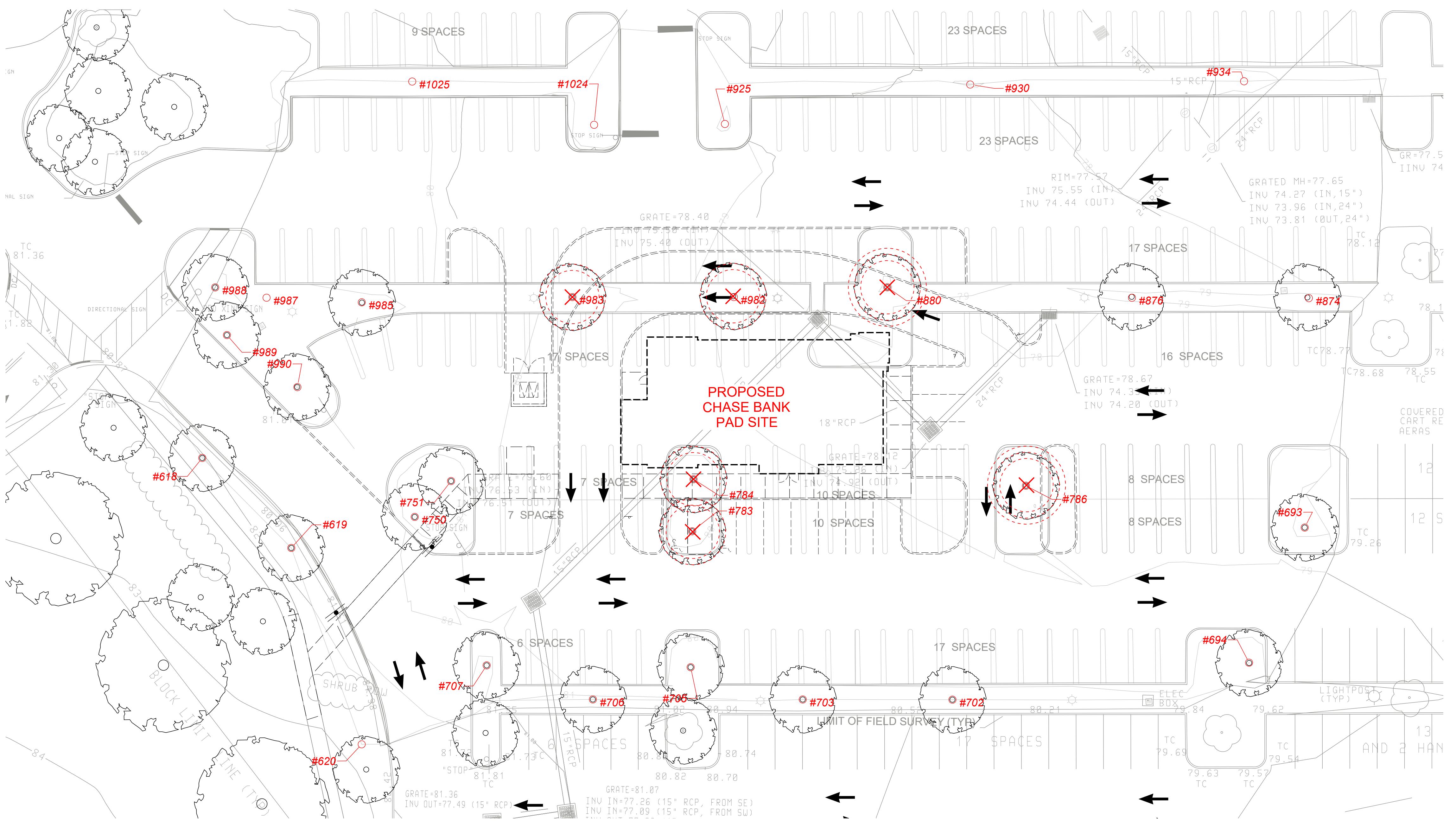
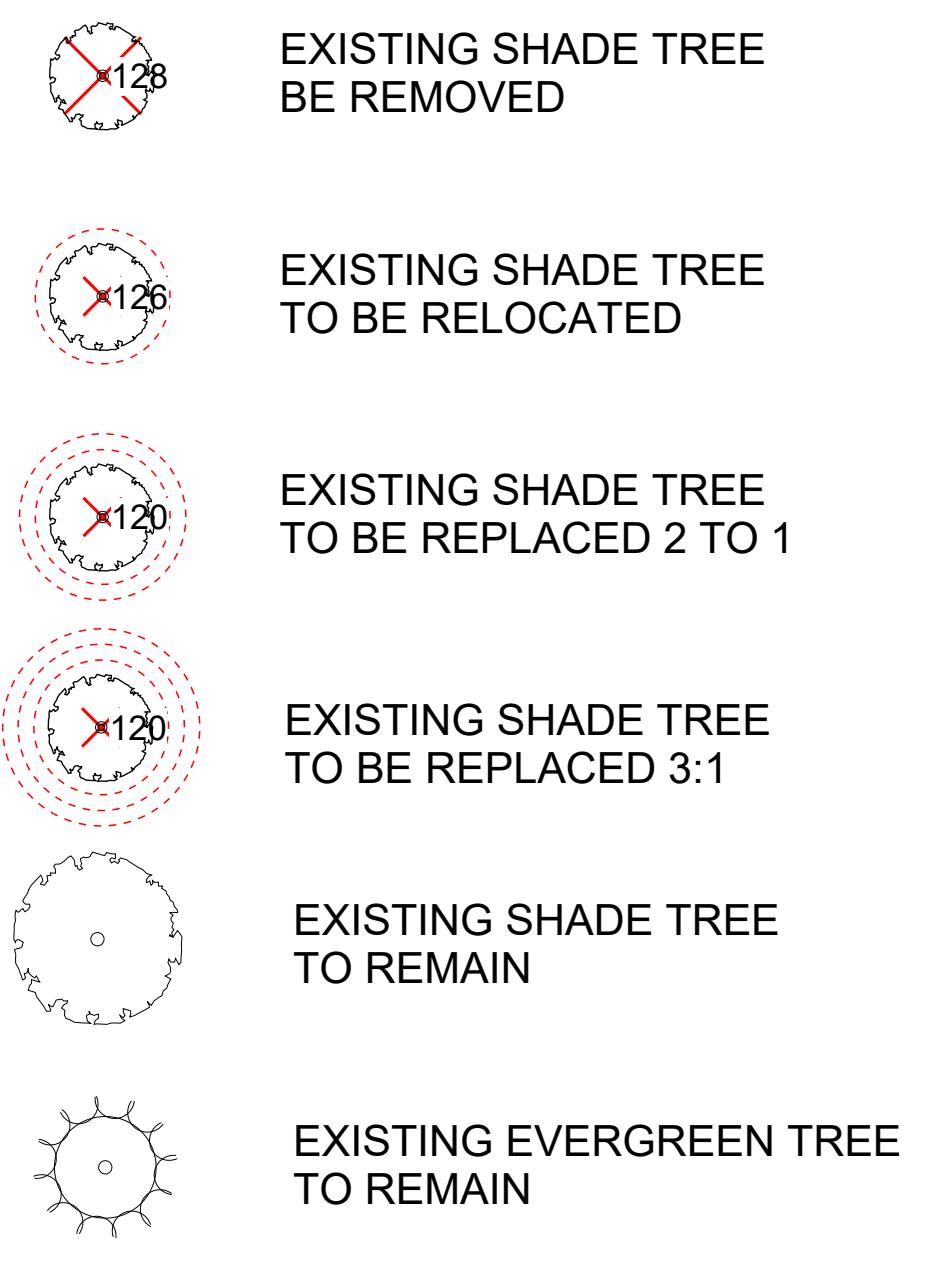
Conclusion

The trees proposed to be removed for the Chase Bank pad Site project are mostly good quality. The 6 trees are in the way of proposed improvements. Of the 29 trees surveyed 6 (20%) are being removed; 14 replacement trees are required, and 15 replacement trees 2.5"-3" caliper are provided.

Tree Pruning Notes

1. A professional arborist should make the tree pruning decisions—improper pruning can be harmful to plant health and actually inhibit healthy growth. No pruning cut should ever be made without a specific reason.
2. Pruning shall be performed by a NJ Certified Tree Expert.
3. Pruning shall be done in accordance with the new American National Standards Institute (ANSI) A-300 (Part 1)-2008-Pruning Standard. The A300 Pruning standards recognize four basic pruning methods for pruning:
 - a. Clean: Selective pruning to remove one or more of the following parts: dead, diseased, and/or broken branches.
 - b. Thin: Selective pruning to reduce density of live branches.
 - c. Raise: Selective pruning to provide vertical clearance.
 - d. Reduce: Selective pruning to decrease height and/or spread (consideration must be given to the ability of a species to tolerate reduction pruning).
4. Pruning objectives for the trees on the site are to manage health, reduce risk, clearance, view improvement, structural improvement and aesthetic improvement. Primarily the goal is view improvement to improve views to retail stores from surrounding streets and drives in the parking lot.
5. On mature trees, pruning is required to remove dead and dying branches to maintain plant health and safety. This pruning type is referred to as cleaning. Research has now documented that thinning, the removal of live branches to reduce density, significantly reduces wind resistance and subsequent storm damage.
6. Thinning should only be done on trees where the crown is "too dense". Thinning should be done on the interior of the canopy, as many branches on the interior and structures, and to compensate for structural weaknesses.
7. Provide crown thinning, crown cleaning, and crown raising as appropriate.
8. Lower branches may require pruning for similar reasons. This process, known as "raising," also can be used to increase the amount of light for turf grass and ground covers beneath the crown of a tree.
9. Raise branch levels to approximately 6 feet to 8 feet where practical while maintaining natural shape of trees to allow sight line clearance to stores.
10. Certain pruning practices are not acceptable and can injure trees and are prohibited:
 - a. Topping: The reduction of a tree's size using heading cuts that shorten limbs or branches back to a predetermined crown limit.
 - b. Lion's Tail: The removal of an excessive number of inner, lateral branches from parent branches.
11. Provide bio-fertilization using worm tea through soil injection to improve pest and stress resistance, aerate and amend soil, and promote healthy root development.

TREE DEMOLITION LEGEND:



TREES PROPOSED TO BE REMOVED CONDITION CHART

TREE NUMBER	DIAMETER (Inches)	TREE SPECIES	Est. Height (Feet)	Est. Crown Diameter (Feet)	TRUNK CROWN	OVERALL CONDITION RATING	RECOMMENDATION	Total Trees		
								Trees Removed	Replacement Tree Number	Comments
618	15	Honey Locust	40	20	Good	Good	REMAINS	1		
619	15	Honey Locust	40	20	Good	Good	REMAINS	1		prune dead limbs in crown
620	12	Crab Apple	20	16	Good	Good	REMAINS	1		prune dead limbs in crown
693	12	Red Maple	30	30	Good	Good	REMAINS	1		
694	15	Red Maple	35	30	Good	Good	REMAINS	1		
702	8	Honey Locust	30	30	Good	Good	REMAINS	1		
703	10	Honey Locust	30	30	Good	Good	REMAINS	1		
705	8	Honey Locust	30	30	Good	Good	REMAINS	1		
707	8	Honey Locust	25	30	Good	Good	REMAINS	1		
750	10	Honey Locust	25	30	Good	Good	REMAINS	1		
751	12	Red Maple	30	35	Fair	Fair	REMAINS	1		prune dead limbs in crown
783	9	Honey Locust	25	20	Good	Fair	REMOVE-REPLACE 2:1	1	1	2
784	11	Honey Locust	30	20	Good	Good	REMOVE-REPLACE 2:1	1	1	2
786	12	Honey Locust	35	35	Good	Fair	REMOVE-REPLACE 3:1	1	1	3
874	12	Honey Locust	30	30	Good	Good	REMAINS	1		
876	12	Honey Locust	30	30	Good	Good	REMAINS	1		
880	12	Red Maple	35	30	Good	Good	REMOVE-REPLACE 3:1			

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GENERAL LANDSCAPE NOTES

1. All landscaping shall be guaranteed for a minimum of 2 years from planting.
2. There are no proposed ground mounted HVAC or mechanical equipment. All HVAC equipment is roof mounted.
3. No topsoil shall be removed from the areas intended for lawn or open space unless it is required to provide minimum grading. Topsoil moved during the course of construction shall be redistributed within the site to provide at least 6 inches of cover to all areas of the site and shall be stabilized by seeding or planting. (85-25)
4. All disturbed areas shall be seeded per notes on Sheet L3.0 Planting Details.
5. All structures including walls, light footings and structural sign foundations are subject to review by the construction code official.
6. Landscape materials, location, distribution and quantities are subject to review and approval by Township staff.
7. Landscape maintenance for the shopping center is provided by the Applicant. Applicant currently has contracted with Brickman for landscape maintenance. Landscape Maintenance shall be per Brickman's current maintenance schedule in their contract with Applicant for the overall property. If more detail is needed then Applicant will provide this to Township Staff.
8. Care shall be taken not to negatively impact existing tree root systems. If existing trees die because of construction activity then within 2 years after the construction has been completed, they shall be replaced in another acceptable on-site location as directed by the Township staff.
9. Signage information is shown on the architect's plans, not on the landscape plans.
10. There is no existing irrigation system and no irrigation system is proposed.
11. Turf islands will be mowed.
12. Existing landscape (shrub beds) indicated to remain that are disturbed by construction shall be replaced.



Stearns

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15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization
21MH0000900


D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512
Applicant:

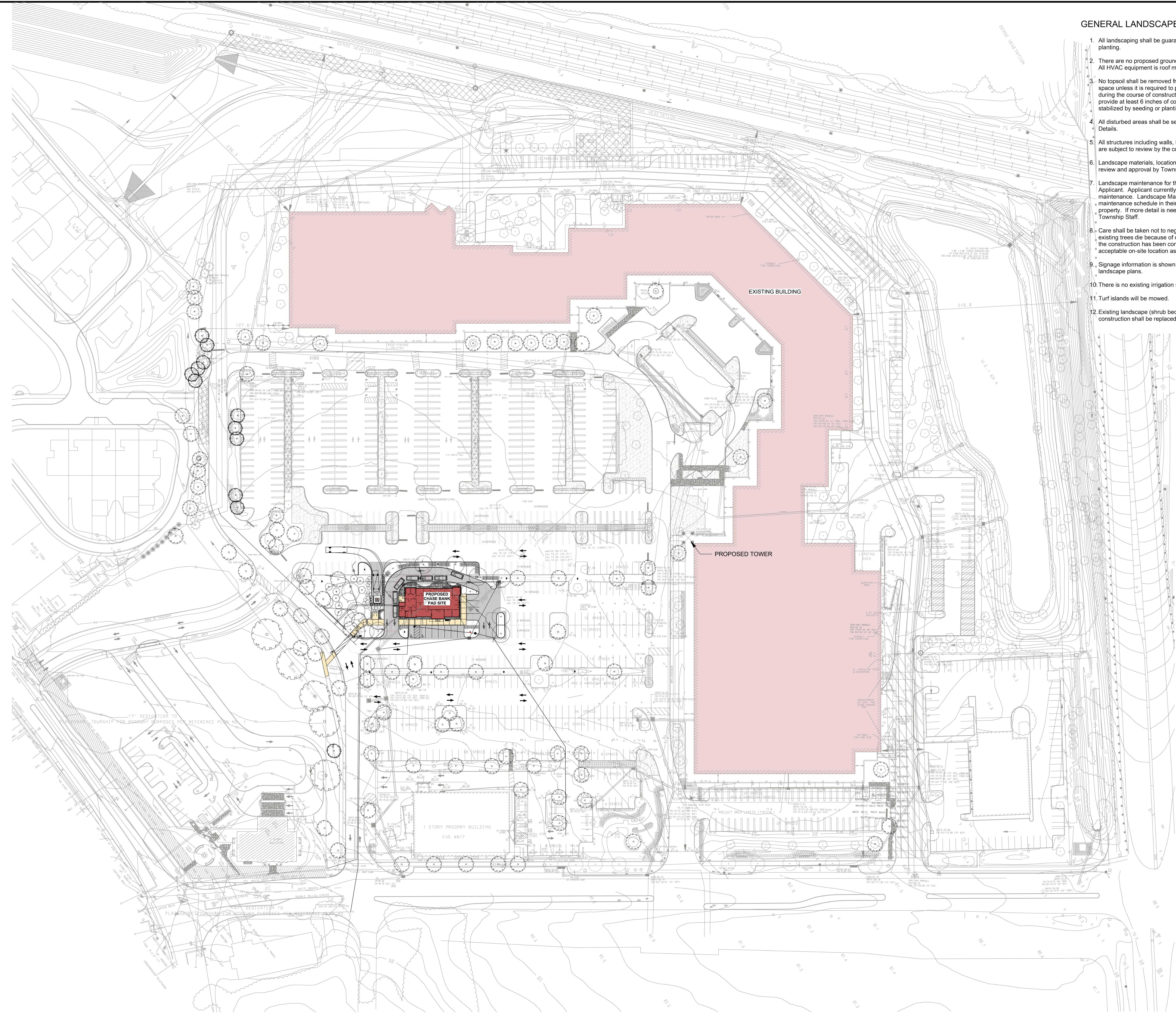
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800
Application Number: P23-04

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
OVERALL SITE PLAN

Scale
AS SHOWN Drawn
KRIK Project No
Sheet No.

L1.1
0 25' 50' 100'



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Plant List - Plainsboro Plaza Chase Bank

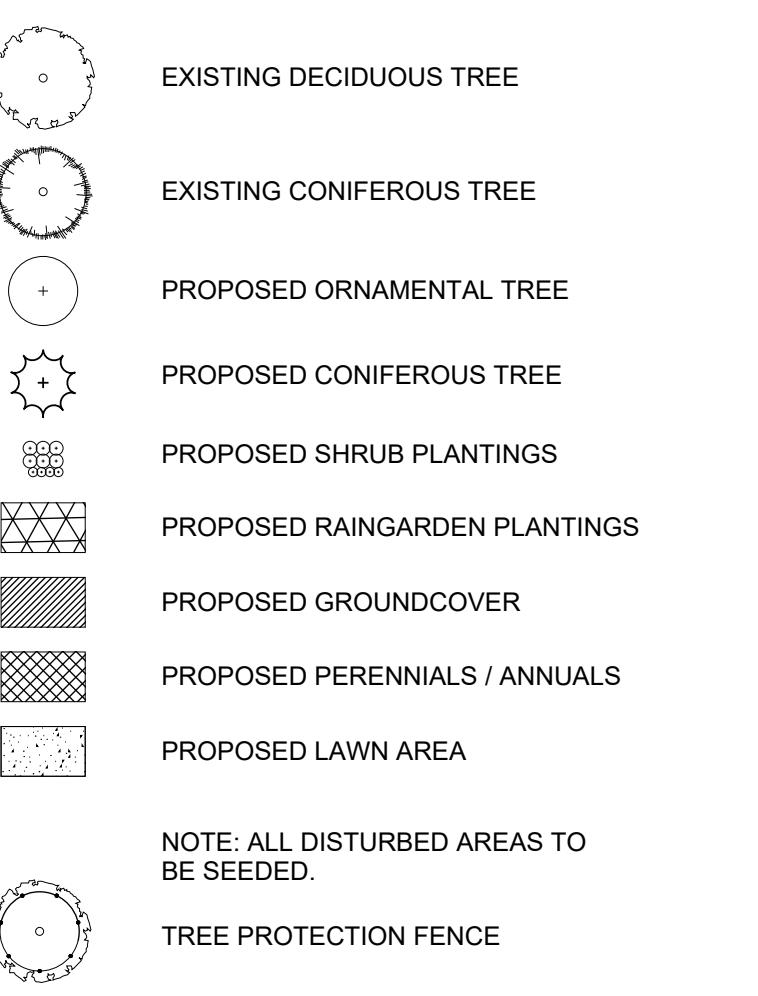
updated 11/16/2023

Symbol	Quantity	Latin Name	Common Name	Height	Caliper	Container	Spread	Native	Salt Tolerant	Deer Resistant	Spacing	Notes	
Shade Trees													
LS	4	Liquidambar styraciflua	American Sweetgum	12'-14'	2.5"-3"	B&B	Yes	NR	as shown	60'-80' h x 40'-60' w; native, orange red fall color			
LT	2	Lindernon tulipifera	Tulip Poplar	14'-16'	2.5"-3"	B&B	Yes	B	as shown	60'-90' h x 30'-40' w; native with tulip like flower early summer, golden yellow fall color			
QAC	3	Quercus acutissima	Sawtooth Oak	12'-14'	2.5"-3"	B&B	Yes	NR	as shown	50'-70' h x 30'-50' w; pyramidal shape; full sun; slender serrated leaves, yellow fall color (considered invasive in some states)			
QF	1	Quercus faginea	Willow Oak	13'-15'	2.5"-3"	B&B	Yes	NR	as shown	40'-60' h x 30'-40' w; pyramidal shape; drought tolerant			
TAR	3	Tilia americana "Redmond"	Redmond American Linden	14'-16'	2.5"-3"	B&B	Yes	C	as shown	40'-50' h x 20'-30' w; yellow fall color; heart shaped leaves; white flowers; full sun to pt. shade; dense pyramidal shape; drought tolerant			
TAR	15												
Ornamental Trees													
BN	1	Betula nigra Clumps	River Birch Clumps (multi-stem)	8'-10'	NA	B&B	Yes	A	as shown	40'-70' h x 40'-60' w; salmon i white bark			
CC	3	Cercis canadensis	Eastern Redbud	NA	2.5"-3"	B&B	Yes	C	as shown	20'-30' h x 20'-25' w; flowers 3 weeks after buds; reddish red berries, orange fall color			
CK	5	Cornus kousa	Chinese Flowering Dogwood	NA	2"-2.5"	B&B	No	B	as shown	20'-25' h x 20'-25' w; flowers 3 weeks after buds; reddish red berries, orange fall color			
LIN	4	Lagerstroemia indica "Natchez" (white)	Natchez Crepe Myrtle	8'-10'	NA	B&B	No	B	as shown	15 h x 15-20' w; white flower in summer; full sun			
Shrubs													
AA	28	Annona arborea	Red Chokeberry	24"-30"	NA	Cont.	Yes	Yes	B	as shown	6'-9' h x 3'-6' w; deciduous; white flowers in may, excellent red fall color; full sun, part shade; part sun		
CAH	26	Clethra alnifolia "Sommergold"	Hummingbird Summerweet	18"-24"	NA	Cont.	Yes	Yes	B	plant 2.5" oc	3'-6' h x 3'-5' w; deciduous; white flowers, yellow fall color; full sun / part sun		
CSB	1	Clethra alnifolia "Ballerina"	Ballerina Redding Dogwood	18"-24"	NA	Cont.	Yes	Yes	B	as shown	3'-6' h x 3'-5' w; deciduous; white flowers, yellow fall color; full sun / part sun		
HES	69	Hydrangea quercifolia "Alice"	Endless Summer Hydrangea	24"-30"	NA	Cont.	No	Yes	C	plant 2.5" oc	3'-4' h x 3'-4' w; deciduous; pink / blue lacecap flowers from summer to fall		
HQA	5	Hydrangea quercifolia "Alice"	Endless Summer Hydrangea	24"-30"	NA	5 gallon	Yes	Yes	C	as shown	3'-6' h x 3'-6' w; deciduous; white flowers in summer; burgundy fall color; part shade / part sun		
ICH	8	Ilex crenata "Hoogendoorn"	Hoogendoorn Japanese Holly	18"-24"	NA	Cont.	No	Yes	C	plant 2.5" oc	2'-3' h x 2'-3' w; compact evergreen; used as a groundcover; full sun		
IVH	2	Ilex crenata "Hoogendoorn"	Hoogendoorn Japanese Holly	2"-3"	NA	5 gallon	No	Yes	C	plant 2.5" oc	2'-3' h x 2'-3' w; compact evergreen; used as a groundcover; full sun		
ILH	12	Ilex Little Henry	Little Henry Sweetspire	24"-30"	NA	Cont.	Yes	Yes	B	plant 2.5" oc	2'-3' h x 2'-3' w; deciduous; white flower spring - summer; red in fall; pt. sun; full sun; pt. shade/full shade		
LFZ	7	Leucothoe fontanesiana "Zelina"	Scarlet Fetterbush	18"-24"	NA	Cont.	Yes	Yes	B	plant 2.5" oc	2'-3' h x 2'-3' w; evergreen; white bell shape flowers in spring; scarlet in spring; reddish in fall; part / filtered shade		
RCW	12	Rhododendron "Cunningham's White"	Cunningham's White Rhododendron	24"-30"	NA	Cont.	Yes	Yes	C	plant 2.5" oc	4'-6' h x 4'-6' w; evergreen; white flower in spring; part sun / part shade		
VW	1	Vaccinium nudum "Winterthur"	Winterthur Smooth Viburnum	3"-4"	NA	NA	Yes	Yes	A	as shown	3'-4' h x 3'-4' w; deciduous; fast-grower; compact, white flowers; horizontal branching		
VTS	10	Vaccinium pacificum "Shasta"	Sheila Doubleleaf Viburnum	3"-4"	NA	Cont.	No	Yes	B	as shown	6'-10' h x 12' w; deciduous; fast-grower; compact, white flowers; horizontal branching		
Perennials													
AM	29	Allium "Millenium"	Millennium Ornamental Allium	18"-20"	2 gallon		No	A	plant 18" oc	15'-20' h x 10'-15' w; perennial; purple summer bloom; long bloomer; part sun to sun			
ASW	37	Asclepias "Deutschland"	White Asclepias	18"-24"	NA	Cont.	Yes	Yes	B	24" h x 24" w; blooms May-June; shade			
HPP	41	Heuchera x "Plum Pudding"	Plum Pudding Heuchera	18"-24"	NA	2 gallon	Yes	Yes	A	plant 15" oc	25" h x 12"-16" w; perennial; silver purple foliage; filtered sun; full sun; part sun		
HYP	10	Hypericum x "modernum" "Kochi"	Floraberry Chandonny St. John's Wort	18"-24"	NA	2 gallon	Yes	Yes	A	plant 12" oc	3'-6' h x 3' w; perennial; sunny yellow flowers in summer followed by berries in fall; full sun to part shade		
LM	16	Liatris spicata "Big and Little Blue"	Big and Little Blue Liatris	18"-24"	NA	2 gallon	No	Yes	B	12"-15" h x 12"-15" w; perennial; dark green foliage; blue flower stalks late summer through fall			
PAL	35	Petroselinum crispifolium "Little Spice"	Little Spice Russian Sage	18"-24"	NA	2 gallon	No	Yes	A	plant 18" oc	20"-25" h x 20"-25" w; perennial; blue flowers July-September; dry soils; salt and pollution tolerant; full sun		
Ornamental Grasses													
BSG	10	Bouteloua gracilis "Blonde Ambition"	Blonde Ambition Blue Grama Grass	18"-24"	NA	Cont.	Yes	A	plant 15" oc	3'-6' h x 3' w; semi-evergreen; blue green foliage; frag in summer flowers; full to part sun			
CKF	29	Calamagrostis acutiflora "Karl Foerster"	Feather Reed Grass	18"-24"	NA	3 gallon	No	Yes	A	plant 18" oc	4'-6' h x 24"-36" w; beautiful upright grass		
PAH	48	Pennisetum alopecuroides	Dwarf Fountain Grass	18"-24"	NA	3 gallon	No	A	plant 18" oc	18"-24" h x 18"-24" w; ornamental grass; blooms July-August			
Bulbs													
APS	300	Allium "Purple Sensation"	Purple Sensation Allium	top size						plant 6" oc	20'-30' h; blooms in May - June; purple globe shaped flower on upright stalk		
NFG	150	Narcissus "February Gold"	February Gold Daffodil	top size						plant 6" oc	12"-15" h; blooms early spring; bright yellow		

Plant Deer-Resistance Key*

Rating	Deer Resistance
A	Rarely Damaged
B	Seldom Severely Damaged
C	Occasionally Severely Damaged

LEGEND



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15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization
21MH00000900

D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NAS00512
Applicant:

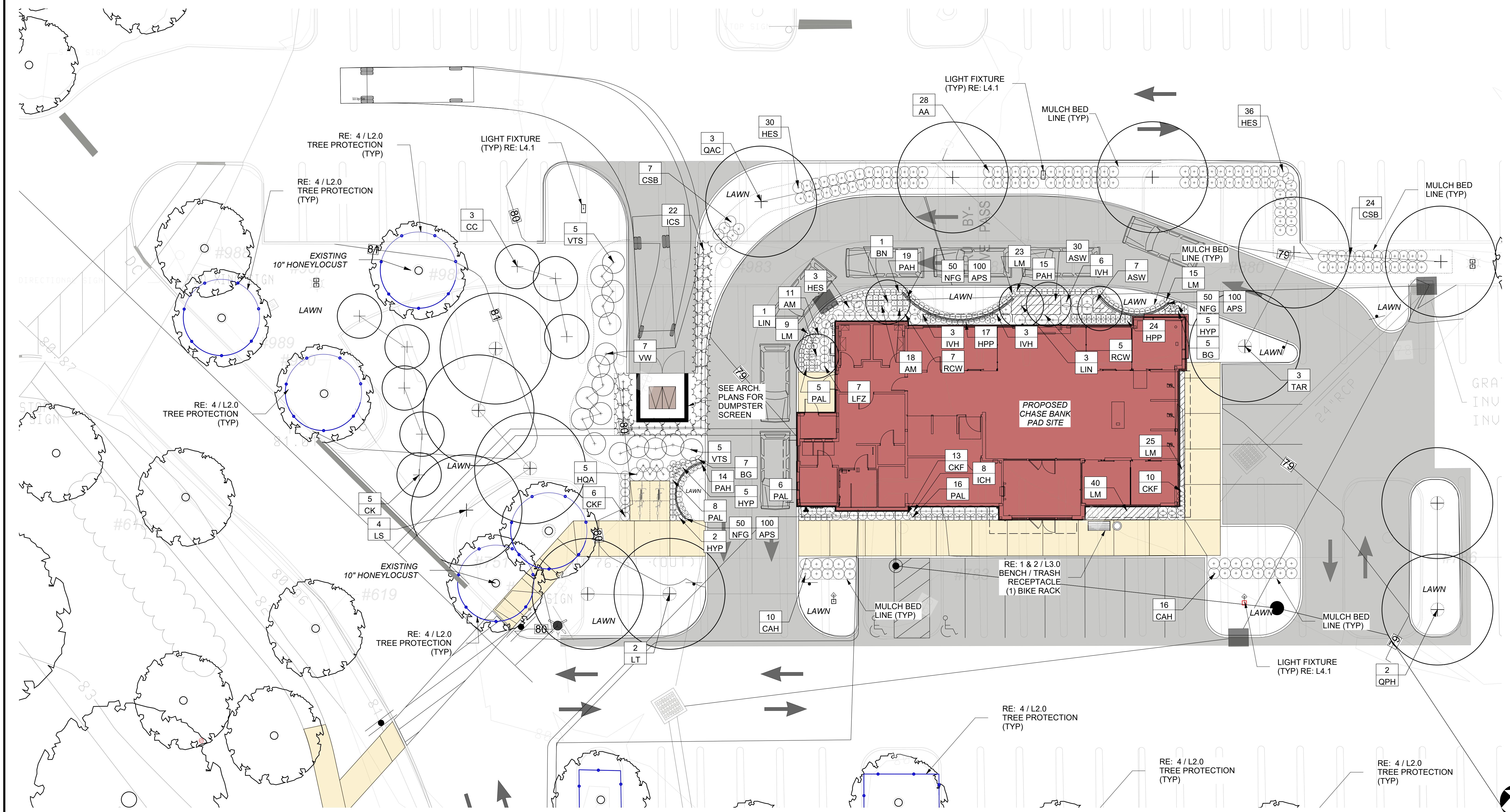
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800
Application Number: P23-04

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
PLANTING PLAN
ENLARGED

Scale Drawn Project No.
Sheet No.

L1.2
0 5' 10' 20'



**Plainboro
GENERAL PLANTING SPECIFICATIONS**

- This plan shall be used for landscape planting purposes only. The contractor is responsible for examining all engineering drawings and field conditions for specific locations of utilities, and structures, and shall notify Landscape Architect of any discrepancies or location conflicts prior to planting installation.
- The Contractor is responsible to locate and verify location of all utilities on the site prior to construction. The contractor shall verify the location of all above ground and underground utilities before digging plant pits. The Contractor shall be responsible for any damage to utilities.
- The Contractor is responsible for all utility mark-outs and compliance with all Federal, State or Local codes and ordinances governing this work. Call before you dig - NJ One Call 1-800-272-1000. New Jersey law requires you to notify your local utility company anytime you dig into the ground.
- All plant material shall conform to the standards of the ANSI Z60.1-2004 Edition, American Standard for Nursery Stock by the American Association of Nurserymen, Inc., or the plant material will be deemed unacceptable. All plant material shall be true to species, variety, size and certified disease and insect free. The Owner and/or the Landscape Architect reserve the right to approve all plant material on site prior to installation.
- All plants shall be typical full specimens with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement. Shade trees shall be single-stem trees with straight trunk, well-balanced crown, and intact leader, of height and caliper indicated, complying with ANSI Z60.1 2004 edition for type of trees required. Provide a normal-quality, well-balanced, coniferous evergreens, full foliage to the ground, of type, height, spread, and shape required, complying with ANSI Z60.1.
- All deciduous and evergreen trees shall be balled and burlap (B&B). Shrubs may be either B&B or container grown, but if container grown shall meet the ANSI standards for size. The use of bare root material shall be prohibited. The use of nylon twine on the root balls of proposed plant material is prohibited. Burlap for root balls shall be biodegradable burlap. All burlap shall be pulled back 1/3 from the root ball at time of planting.
- All plants shall be typical of their species and variety; have normal growth habits, well developed branches, densely foliated, vigorous root systems and free from defects and injuries.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with acceptable local practices. Trees and shrubs shall be installed during the fall and spring seasons except for trees that are subject to fall planting hazard. These trees would be installed in spring only.
- Fall planting time for evergreen trees is generally August 15 to December 15. Fall planting time for deciduous trees is generally October 15 to December 15. Spring planting for both evergreen and deciduous plants is generally March 1 to May 15.
- The following tree varieties have been identified as having a high degree of transplantation failure if planted during the fall season. The fall planting hazard trees include the following genus and some cases particular species: Acer buergerianum, Betula, Carpinus, Cetis, Cercidiphyllum, Crataegus, Fagus, Halesia, Koelreuteria paniculata, Ilex opaca, Liquidambar, Liriodendron tulipifera, Malus in leaf, Nyssa sylvatica, Ostrya, Prunus, Pyrus, Quercus, except Quercus palustris, Salix, sorbus, Tilia tomentosa, Ulmus parvifolia and zelkova.
- Prior to installation of all plant material, the results of physical and chemical tests of the subsoil and topsoil shall be submitted to the Landscape Architect to assess soil composition and if the pH is acceptable for the proposed planting.
- All trees shall be staked, wrapped, and have saucers with mulch.

- All proposed evergreen trees to be a minimum distance of ten (10) feet from proposed curbing, sidewalks, and building, to prevent branch conflicts.
- Contractor shall remove all wire baskets or burlap used for evergreen or deciduous trees at time of planting.
- All disturbed lawn areas shall be stabilized with seed as indicated on the landscape plans or these notes. Seed shall consist of the mixture listed in the general seedings specifications. All disturbed lawn areas shall be topsoiled, limed, fertilized and fine graded prior to lawn installation.
- The current developed site does not have an automatic irrigation system. Formulated areas with a drought tolerant low maintenance mix formula like Foundation Soil Company mix #25217 or approved equal consisting of 40% Coating Red Fescue, 15% Bargena Red Fescue, 30% Accent Perennial Rye Grass, and 15% Kentblue Kentucky Bluegrass. Seed at a rate of 6 pounds per 1,000 square feet. Hydro seed with hydro mulch.
- Ideal seeding times are generally from April 15 through June 15 and August 15 through October 15 depending on the weather.
- Contractor shall notify the Owner or Landscape Architect of any conditions that would prevent the healthy growth of plant materials. This would include shallow bedrock, boulders or rock outcrops, rubble fill, compacted soils, adverse drainage conditions, wet or poor soils, contaminated soil, disruption from construction operations, overhead or underground utilities and other obstructions, etc.
- No plant substitutions shall be permitted regarding size, species or variety without written permission of the Township's Planning Consultant. Written proof of plant materials unavailability or unreasonable cost shall also be documented.
- The location of all plant material indicated on the landscape plan is approximate. The final location of all plant material and planting bed lines shall be determined in the field under the direction of the landscape architect.
- The final landscape plans are subject to an on-site inspection by the Township of Plainboro's Landscape Architect before installation of the plants and subject to an inspection by the Township of Plainboro's Landscape Architect after the installation.
- Should any plant quantity discrepancies occur between the quantities listed in the planting schedule and the plan, the planting plan shall take precedence over the plant schedule.
- Branches of deciduous trees shall be pruned back by no more than one quarter (1/4) to balance the top growth with the roots and to preserve their character and shape. The central leader of the tree shall not be pruned.
- Provide planting pits as indicated on the planting details. If wet soil conditions exist, then planting pits shall be excavated an additional 12" depth and 12" deep of clean 3/8" gravel with filter fabric and soil mix over the gravel.
- Trees and shrubs shall only be planted when the soil is frost free and friable.
- The contractor shall provide a minimum layer of 6 inches of topsoil in all lawn areas. Topsoil in lawn areas shall have 2 inches of compost tilled into the topsoil to a depth of 5 inches. Compost shall have a pH value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice, 1111 Springfield Road, 2nd Floor, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after construction and rough grading and prior to planting to determine the extent of the soil amendments required.
- The contractor shall provide a minimum of 12" of topsoil in all shrub planting areas. Soil planting mix for planting pits for trees, shrubs and groundcover shall include 1/3 compost and 2/3s rds topsoil. Compost shall have a pH value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice 1111 Springfield Road, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after
- All debris from planting operations shall be removed from the site after planting complete. The contractor is responsible for daily clean-up. Walks, drives and parking areas shall be swept broom clean. The site and property are to be left in a neat orderly condition.
- The existing site does not have a fully automatic irrigation system. A fully automatic irrigation system is proposed between the building and curb around the bank building. The existing parking lot islands will not be irrigated.
- All landscaping shall be guaranteed for a minimum of 2 years from planting. Any relocated trees that do not survive, shall be replaced in kind by a similar tree measuring a minimum of 2.5 to 3 inches in caliper at planting.

Topsoil Notes:

Contractor shall provide borrow topsoil if on site stockpiles are insufficient, and topsoil shall consist of sand, silt and clay material passing the 2.00 mm (no 10) sieve, as defined by AASHTO T-88 and within the following ranges:

	Minimum Percent	Maximum Percent
Sand	25	70
Silt	15	50
Clay	5	25

Furnished topsoil shall also meet the following criteria:

Characteristic	Criteria
pH	From 6.5 to 7.5
Cation exchange capacity	From 5 to 25 cmol+kg (reciprocal)
Nutrient Content	Normal contents of nitrogen, phosphorous, Potassium, calcium, magnesium, sulfur, & proper micronutrient levels.
Soluble salt Contaminants	Less than 200 ppm should contain no toxic substances.

Furnished topsoil shall be fertile, friable, natural loam free from subsoil, clay lumps, brush, litter, rocks, stones 2" and larger, and other foreign materials. Furnished topsoil shall be obtained from a local well-drained site with a topsoil depth of at least 4 inches, with a proven ability to support native vegetative growth. Furnished topsoil shall be free of Bermuda grass, Quackgrass, Johnson grass, mugwort, nutsead, poison ivy, Canadian Thistle, Teatnthumb, Phragmites, Mustard Seed and other noxious weeds.

Wetland Topsoil

In addition to topsoil as defined above, this project requires topsoil for wetland areas or wetland soil which shall contain at least 12% organic matter determined by loss on ignition moisture free samples dried in accordance with the current method of the Association of Agricultural Chemists. If manmade topsoil is used it shall consist of equal volumes of organic and mineral materials. The addy range shall be pH 5.0 to pH 7.0 inclusive.

The mechanical analysis of the wetland topsoil shall be:

Passing	Percentage
1" screen	100%
1" screen to 1/4" screen	3%
1/4" screen to #100 USS sieve (Coarse, medium & fine sand)	40 to 60 %
#100 USS sieve (Very fine sand, silt & clay)	40 to 60%

Construction

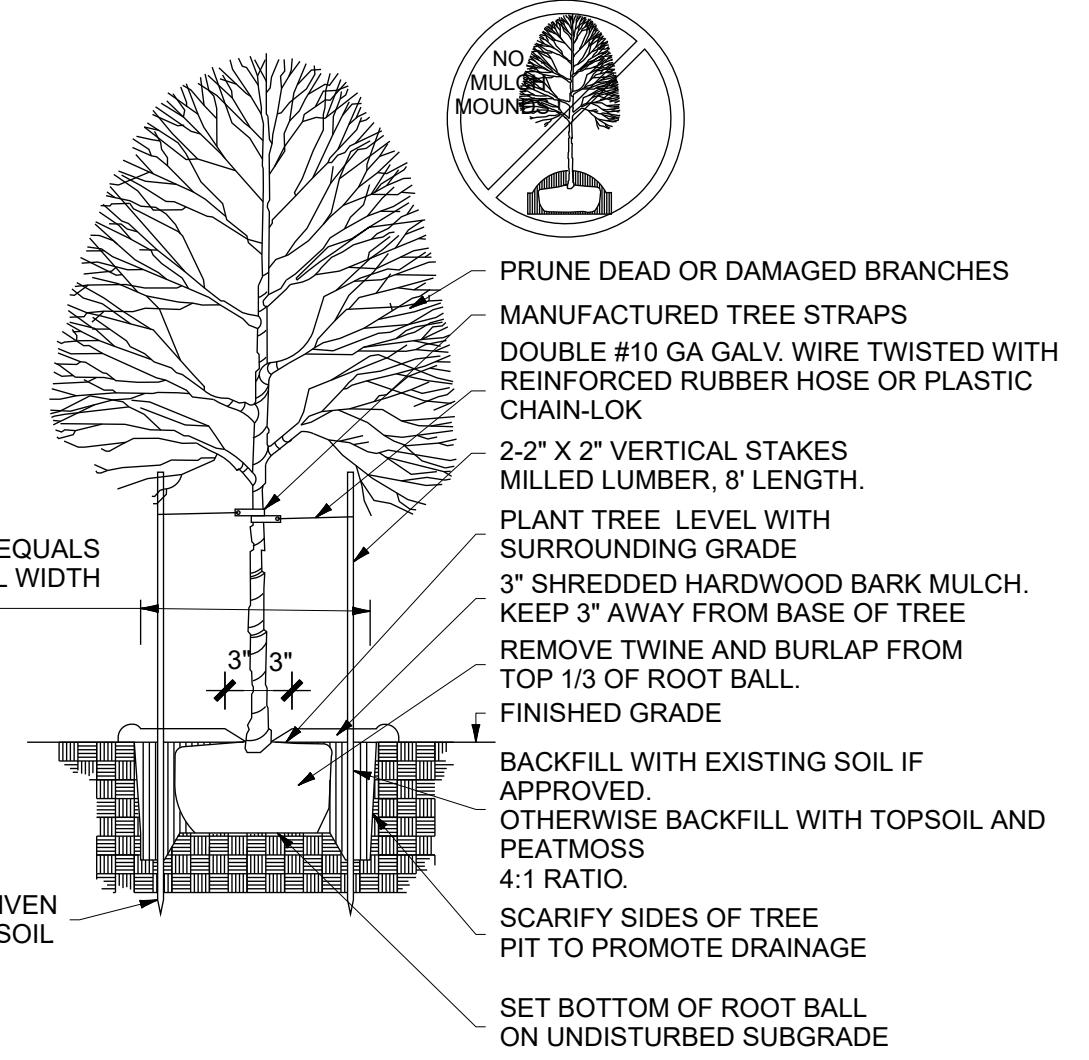
Furnished topsoil shall be obtained from a properly permitted, commercially available site.

Scarf all existing soil surfaces to a depth of 4 inches before topsoil is added.

Place and spread a uniform 6-inch depth of topsoil in all planting areas and all disturb areas unless otherwise indicated.

Compact with a roller having a mass weight not over 120 pounds per foot width of roller or by other acceptable methods, as directed. Remove over depth topsoil. Do not place topsoil in a wet or frozen condition.

Wetlands Areas, compaction shall be avoided in the wetland areas. Wetland soil mix shall be installed and spread but not rolled. If spread topsoil becomes compacted in wetland areas then it should be disked or rotor-tilled prior to planting.

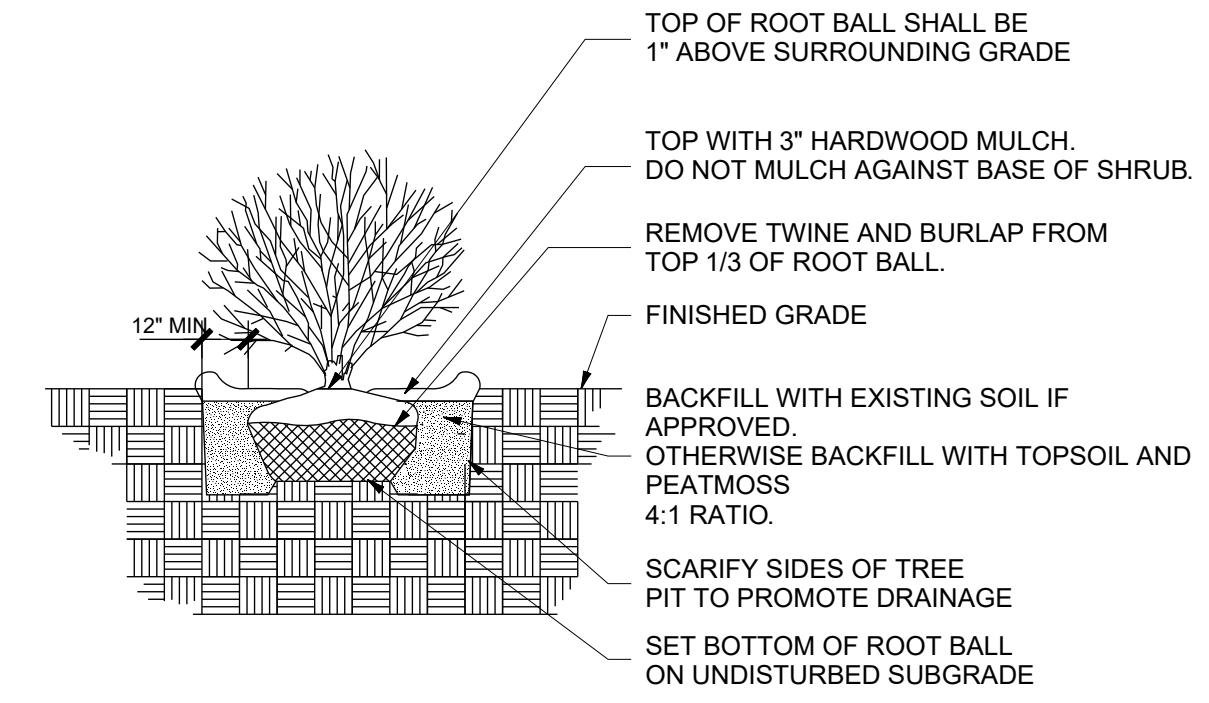


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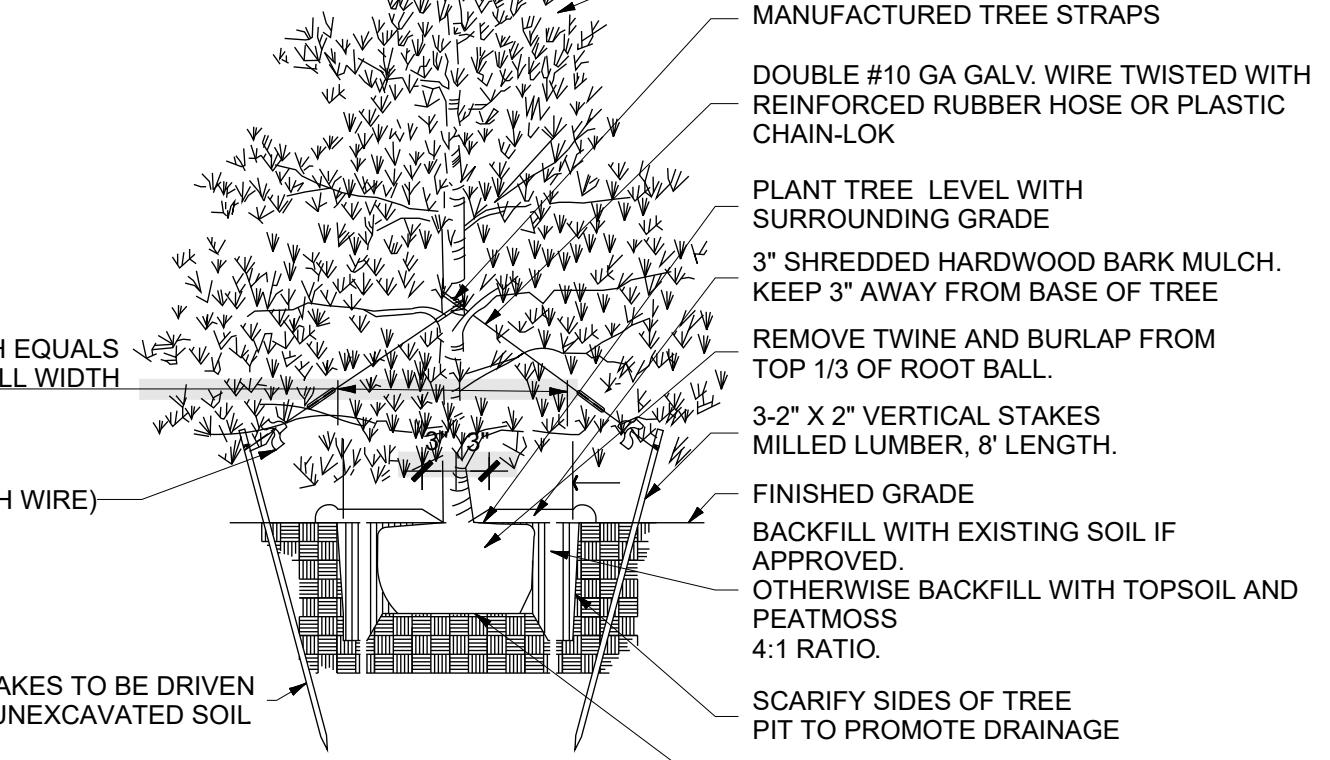
- CUT TWINE AWAY FROM TRUNK OF TREE FOLD DOWN OR REMOVE TOP THIRD OF BURLAP. IF TREATED BURLAP THEN REMOVE TOP THIRD. IF WIRE BASKET IS PRESENT, REMOVE TOP TWO RUGS OF BASKET (MINIMUM).
- TREES SHALL BE POSITIONED 1" ABOVE THE GRADE AT WHICH THEY GREW IN THE NURSERY.
- NO SOIL SHALL BE PLACED AGAINST THE TRUNK ROOT FLARE.
- 3) STAKING & GUYING REQUIRED AT THE DISCRETION OF THE OWNER

4 DECIDUOUS TREE PLANTING DETAIL

N.T.S.


3 STANDARD SHRUB DETAIL

N.T.S.

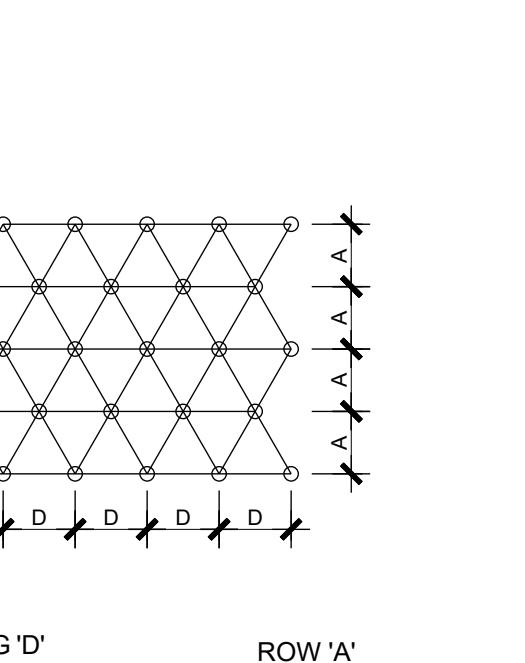


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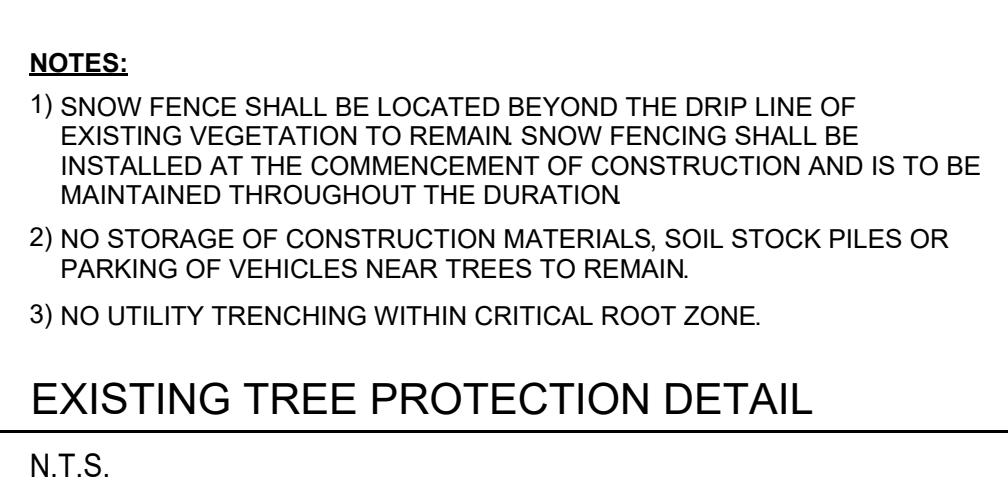
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- TREES SHALL BE POSITIONED 1" ABOVE THE GRADE AT WHICH THEY GREW IN THE NURSERY.
- NO SOIL SHALL BE PLACED AGAINST THE TRUNK ROOT FLARE.
- 3) STAKING & GUYING REQUIRED AT THE DISCRETION OF THE OWNER

2 STANDARD EVERGREEN TREE DETAIL

N.T.S.


5 GROUNDCOVER PLANTING

N.T.S.

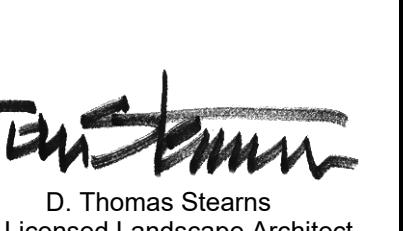

1 EXISTING TREE PROTECTION DETAIL

N.T.S.

Versions
No. Date Description
1 8/16/2023 OWNER REVIEW
2 10/10/2023 FILE SITE PLAN
3 11/20/2023 REV FOR PLANNING BOARD


Stearns

 STEARNS ASSOCIATES LLC
15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880


 D. Thomas Stearns
NJ Licensed Landscape Architect
Professional License Number NJAS00512
Applicant:

 AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: P23-04

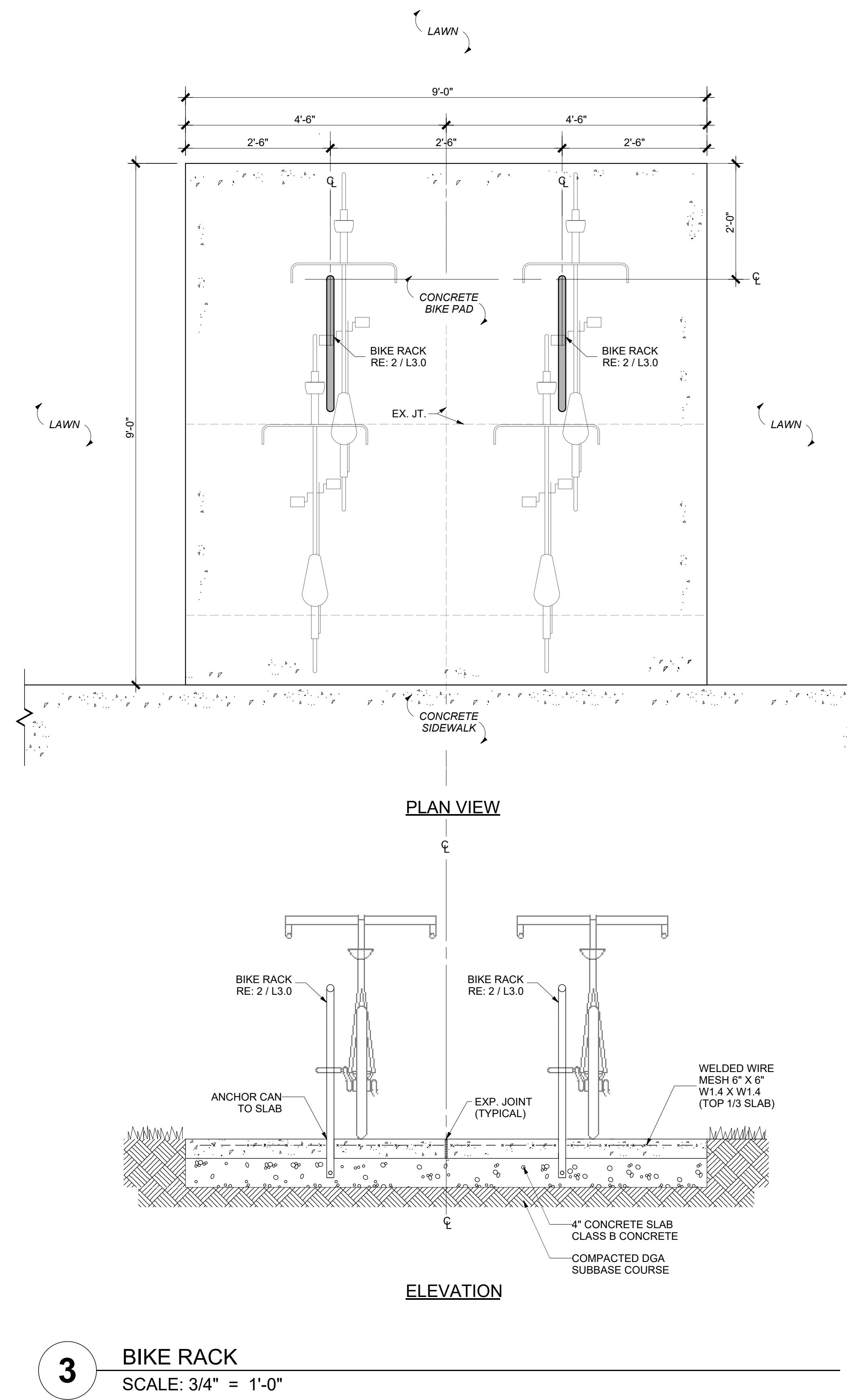
 Project:
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

 Sheet Title:
PLANTING DETAILS

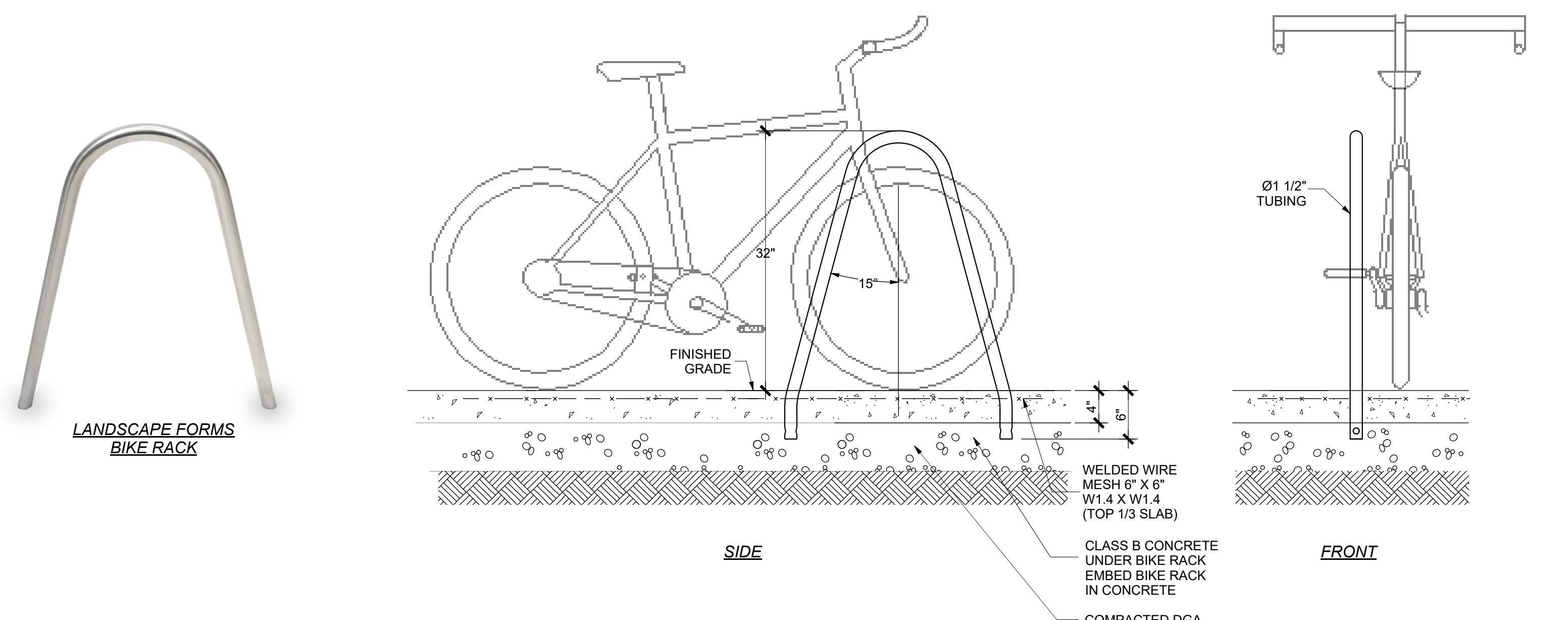
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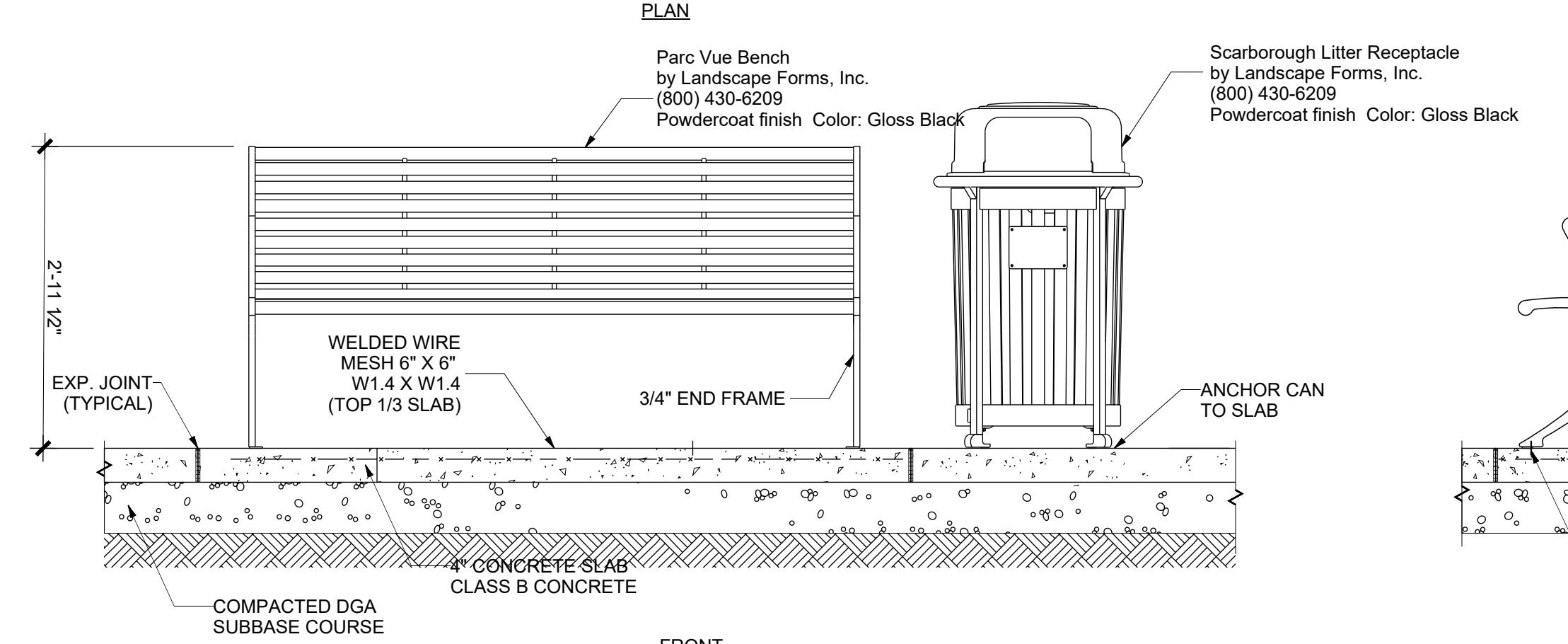
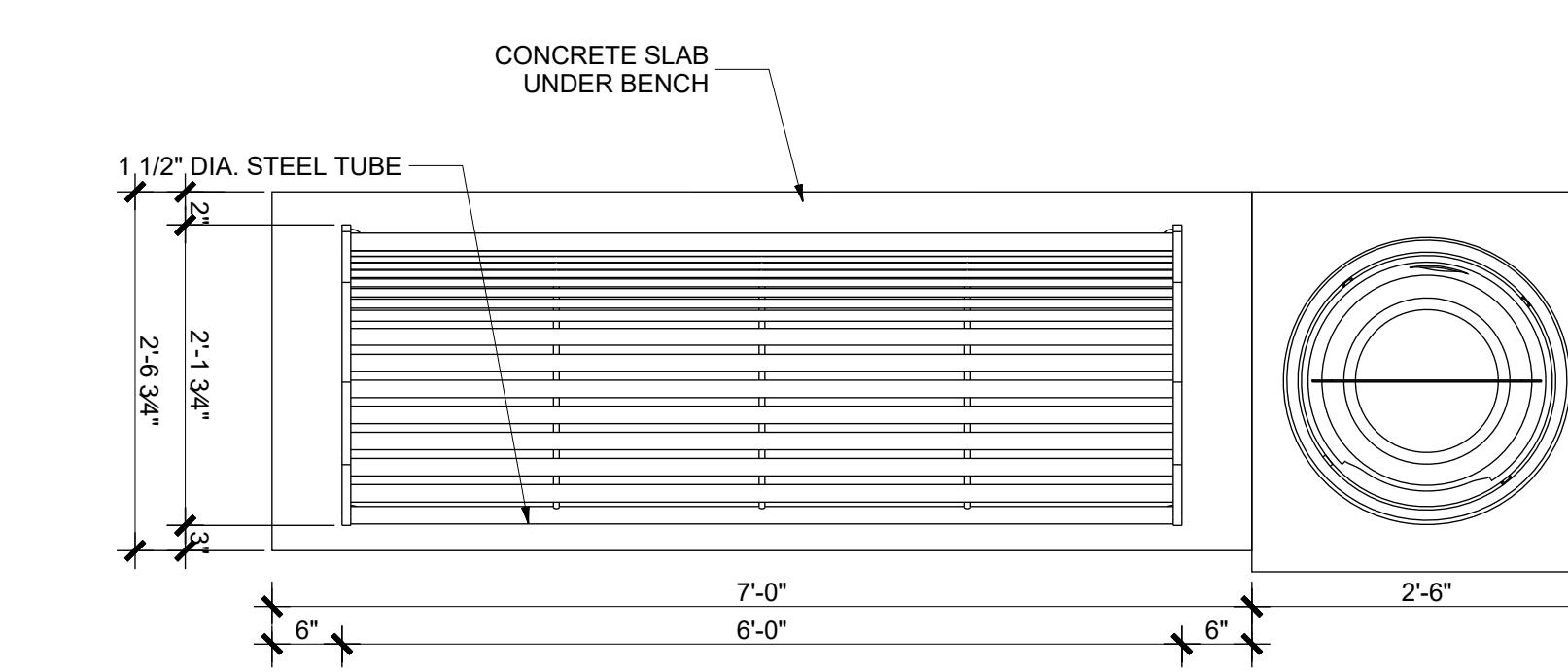
Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD



BOLA BIKE RACK
by Landscape Forms, Inc.
(800) 430-6209
Powdercoated Steel
Provide 2 Bola Bike Racks
COLOR: GLOSS BLACK



2 BIKE RACK
SCALE: 1'-1'-0"



1 BENCH & TRASH RECEPTACLE
SCALE: 3/4"-1'-0"



Stearns

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Certificate of Authorization
21MH00000900


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MIDDLESEX COUNTY, NJ


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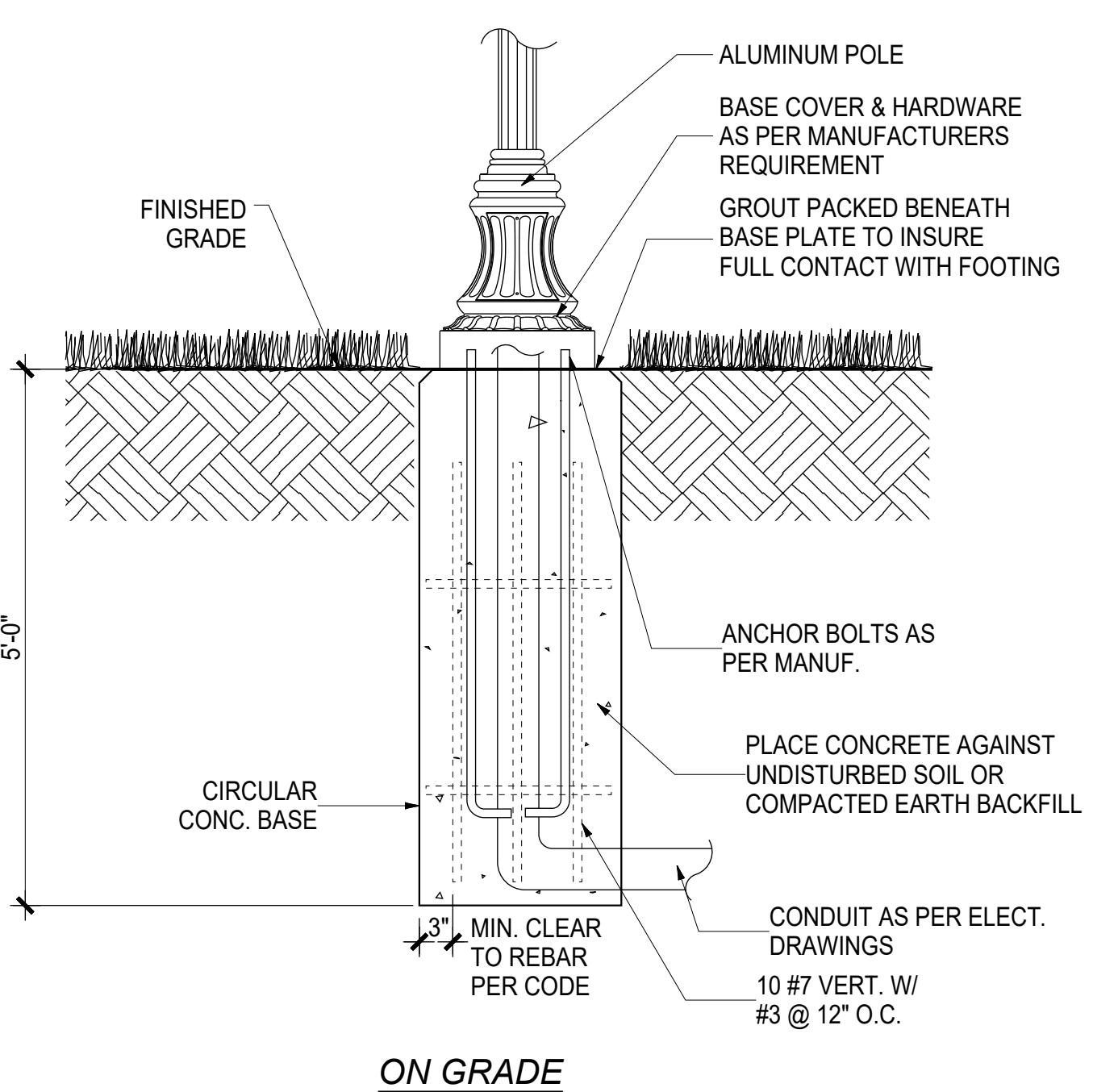
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Date	Description
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7/10/2023	FILE SITE PLAN
7/20/2023	REV FOR PLANNING E

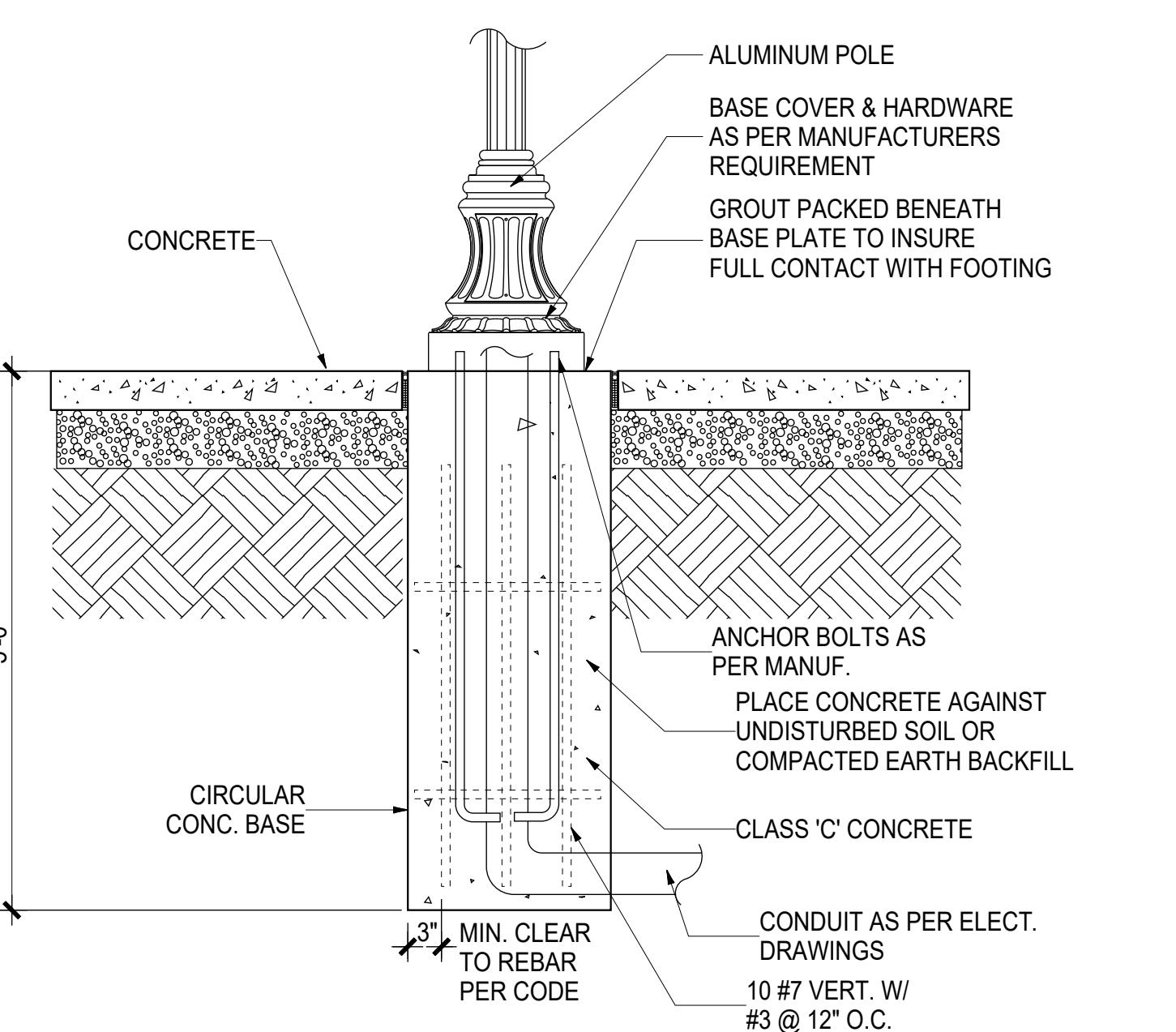


Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
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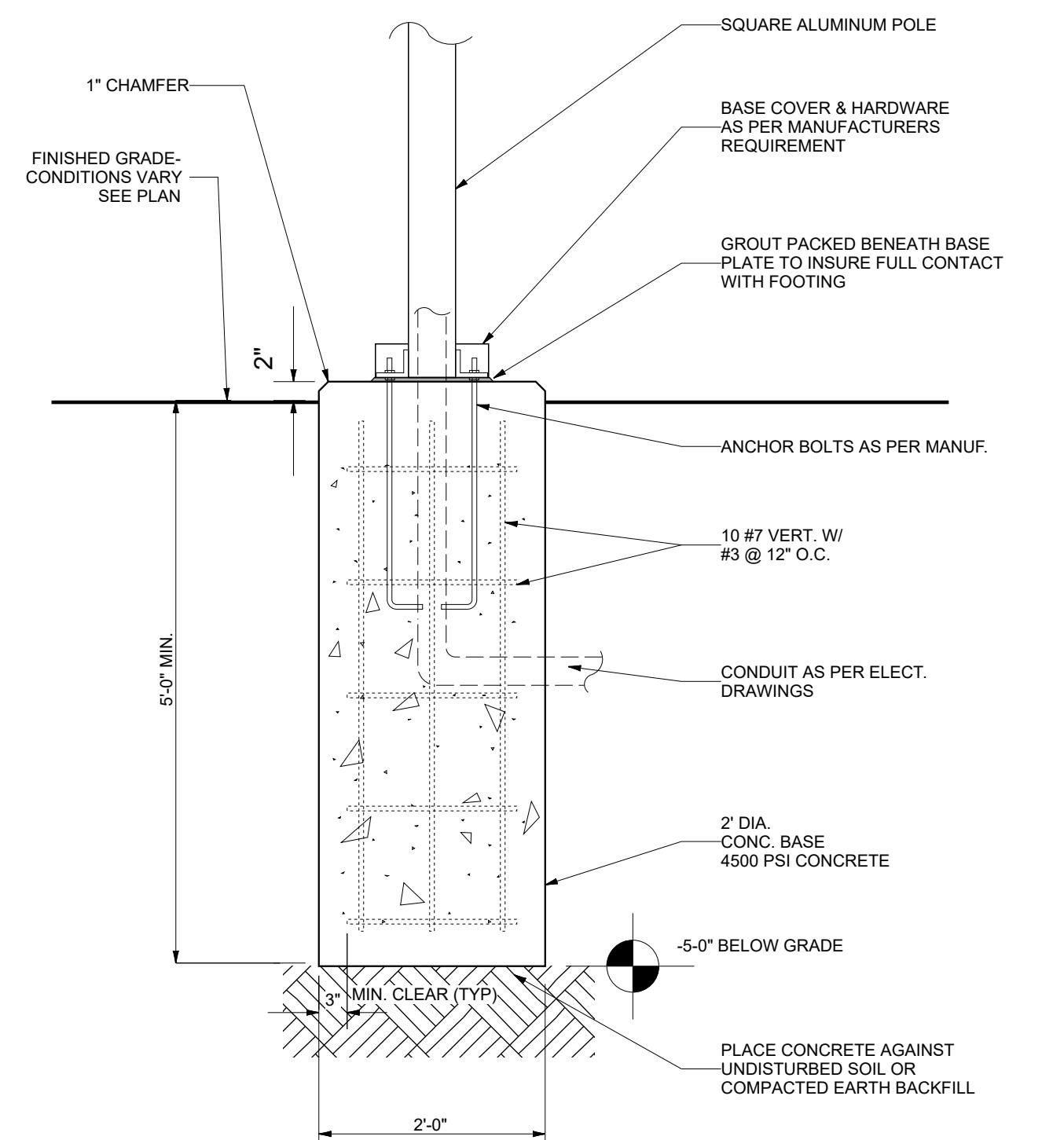
6 Concrete Footing on Grade

NTS



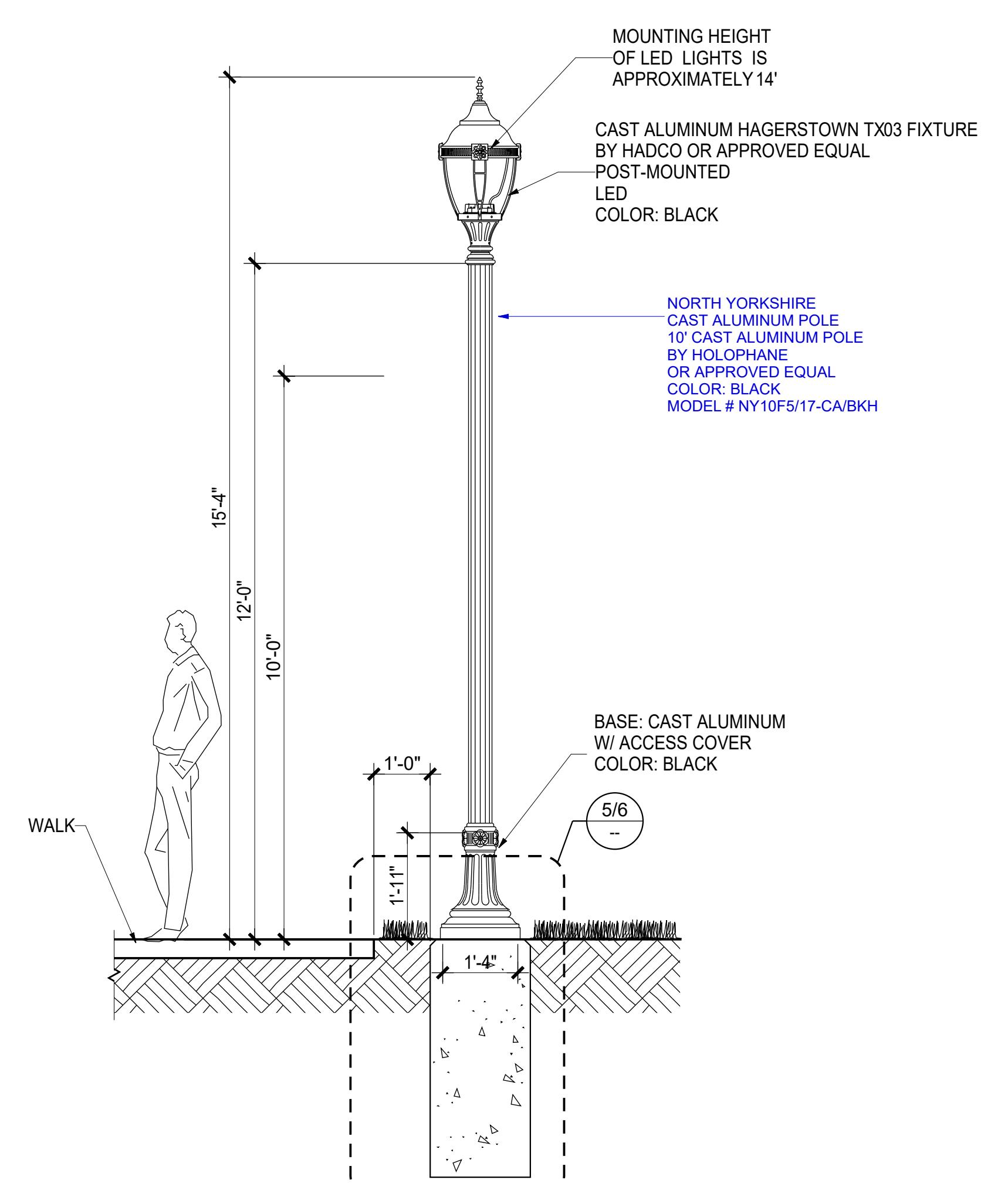
5 Concrete Footing in Paved Area

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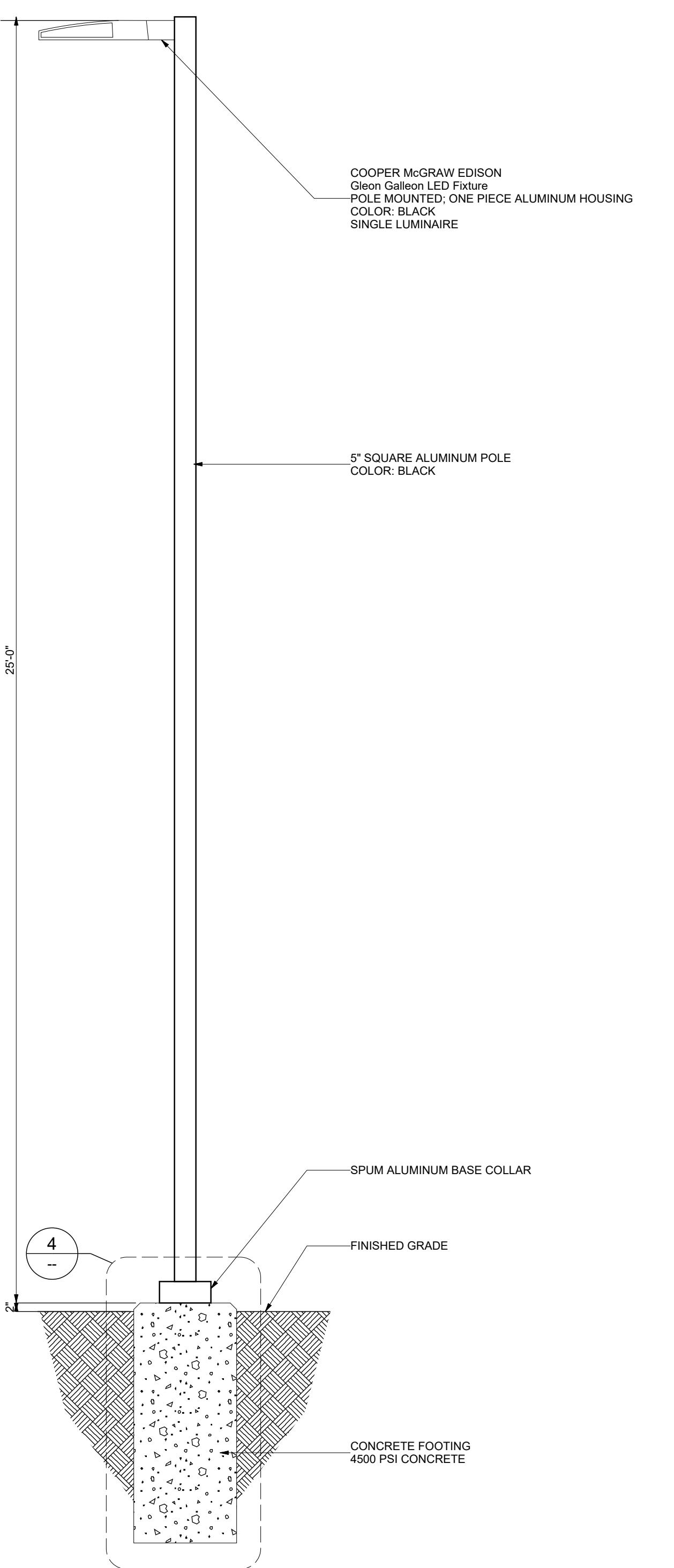
4 Concrete Footing

SCALE: 3/4"-1'-0"



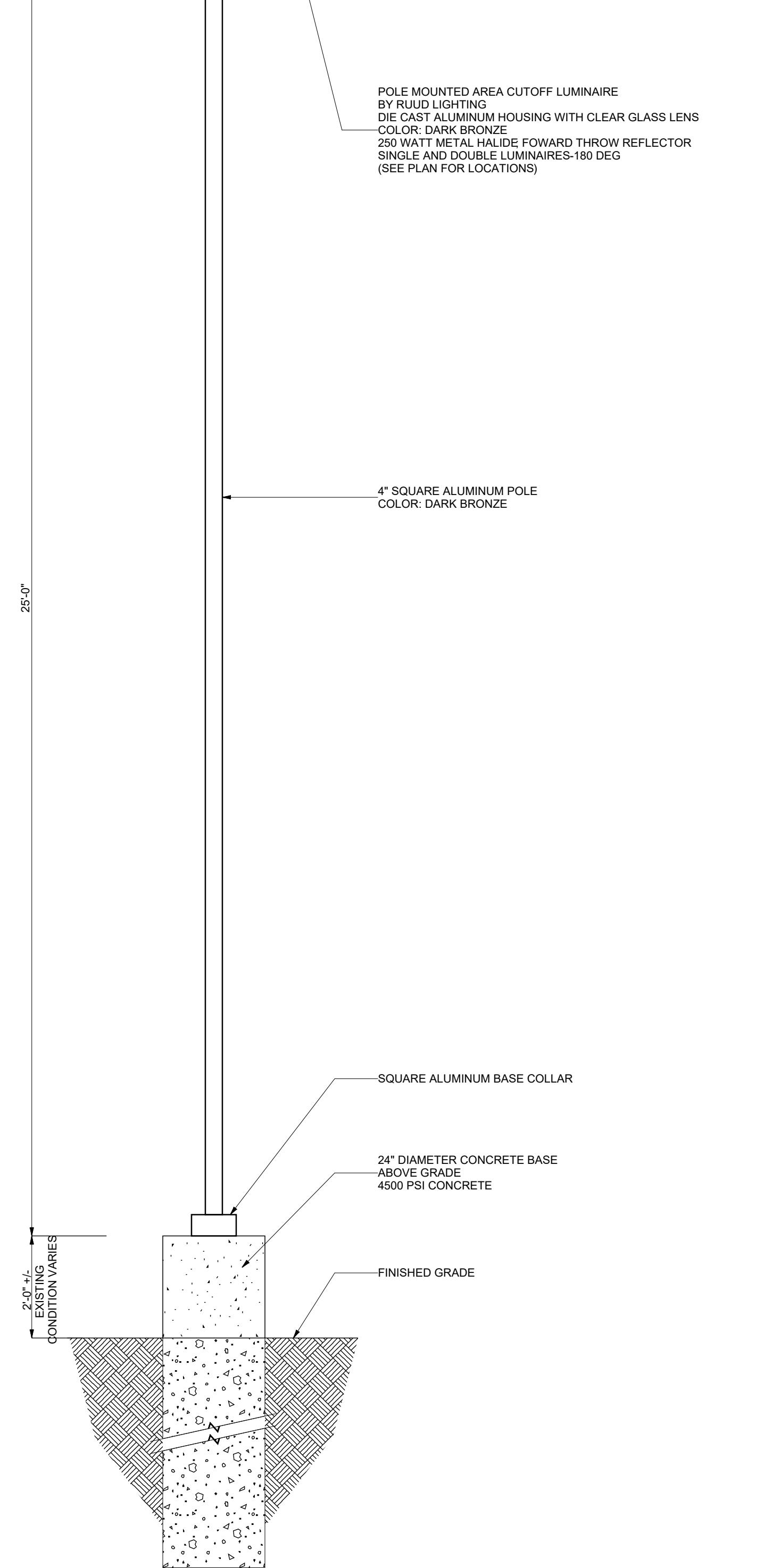
3 Proposed Light - Hadco - 'HAD'

SCALE: 1/2"-1'-0"



2 Proposed Light - McGraw Edison - 'ME'

SCALE: 1/2"-1'-0"



1 Existing Light - RUUD - 'B'

SCALE: 1/2"-1'-0"

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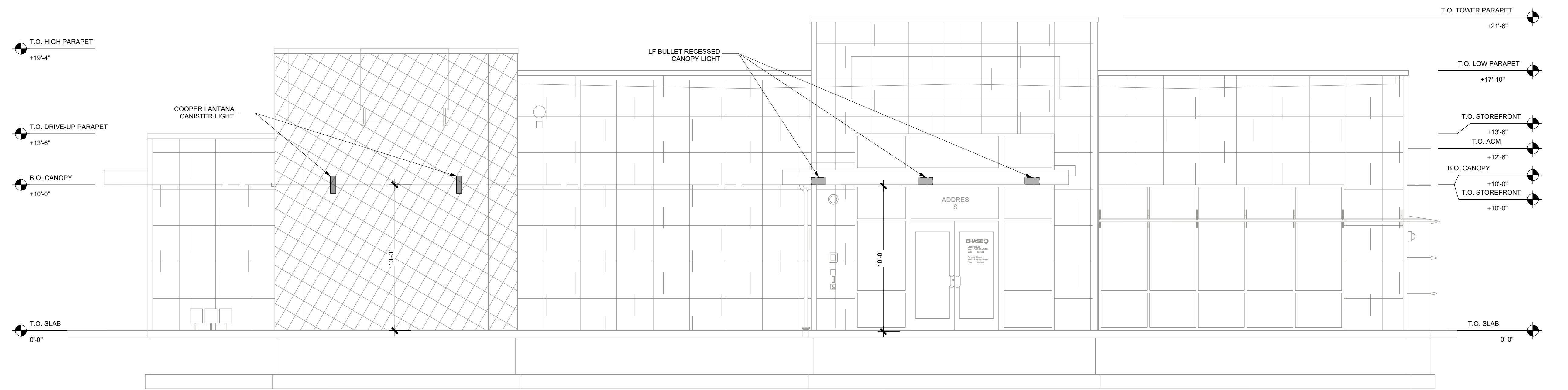
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 20 North, Suite 301
Woodbridge, NJ 07095
732-362-8800
Application Number: P23-04

Project
CHASE BANK PAD SITE
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MIDDLESEX COUNTY, NJ

Sheet Title
LIGHTING DETAILS

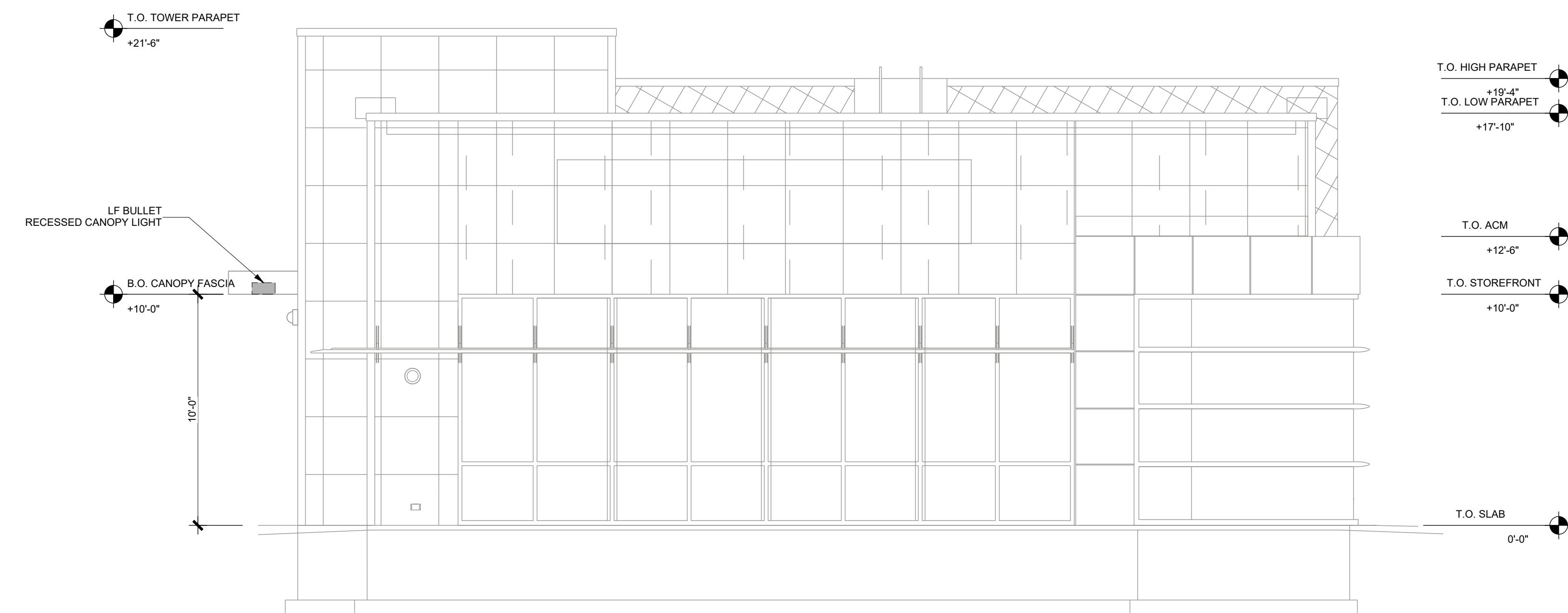
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Sheet No.

Versions		
No.	Date	Description
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1 Main Entry Elevation - Canister Lights and Canopy

SCALE: 1/4"-1'-0"



2 End Elevation

SCALE: 1/4"-1'-0"

NOTE:

Architectural elevations are provided to show building light fixtures only.



Stearns

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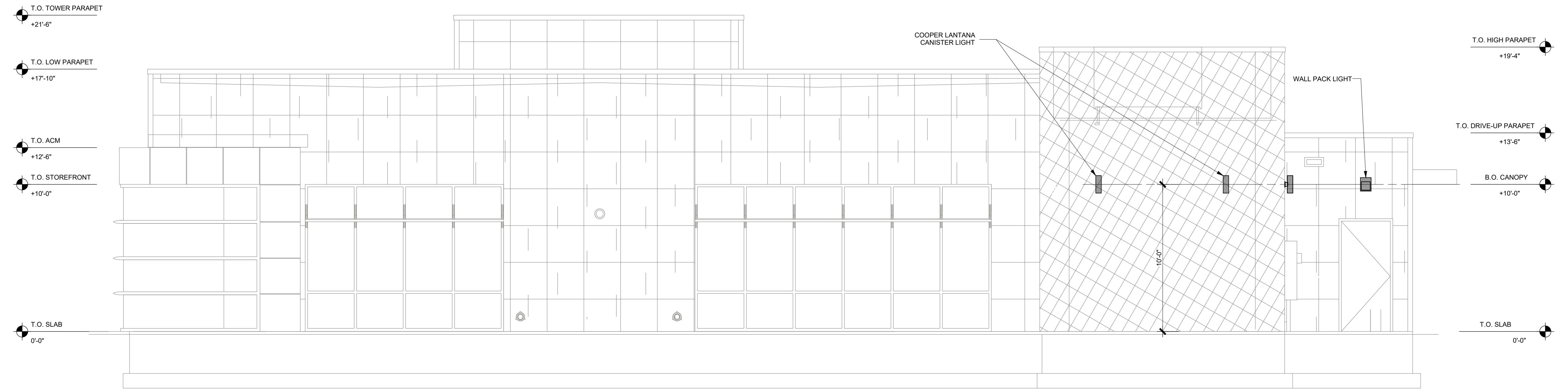
Project
CHASE BANK PAD SITE
Plainsboro Plaza
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PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
ARCHITECTURAL
ELEVATIONS
FOR BUILDING LIGHTING

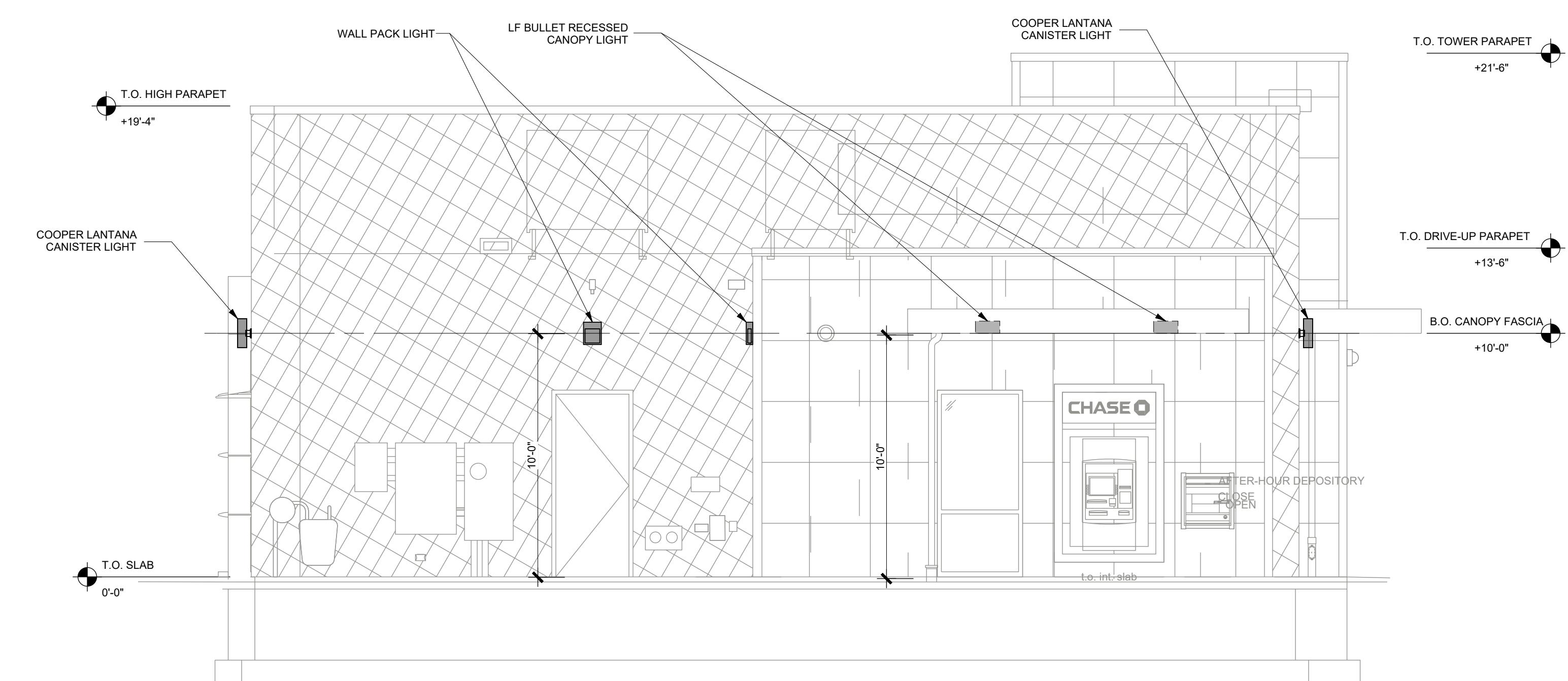
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X
Sheet No.

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Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
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3	11/20/2023	REV FOR PLANNING BOARD



1 Rear Elevation
SCALE: 1/4"-1'-0"



2 B.O.H. End Elevation
SCALE: 1/4"-1'-0"

NOTE:

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Block 1602, Lot 5, 27.22 Acres
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Sheet Title
ELEVATIONS

Scale
AS SHOWN Drawn
KRIKS Project No. X
Sheet No.