

Tree Condition Narrative

Introduction

The existing trees that are being removed as part of the Chase Bank Pad Site have been evaluated as to their condition per Plainsboro Township's request.

The intent of this evaluation was to rate the trees as to general landscape character so that the Township professionals and the Planning Board had a general sense of the character and condition of the trees being removed.

Regional Context

The site is located in the Inner Coastal Plane physiographic province, with shale, sandstone and argillite as the general underlying bedrock. The 1987 Middlesex County Soil Survey identifies the soil association as the Sassafras-Woodston. These are nearly level to strongly sloping, deep well drained and moderately well drained, poorly drained and well drained soils with a loamy subsoil and substratum located on uplands.

The pre-development soils on the site (the shopping center was developed circa 1987 to 1990) are Woodstown Loam (WIA) 0 to 2 percent slopes. This soil is nearly level and moderately well drained; the top 8 inches is typically a dark-grayish brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 1.5 to 2.5 feet below grade.

Sassafras Sandy Loam (SaB), 2 to 5 percent slopes. This soil is gently sloping and well drained; the top 8 inches is typically a dark-brown sandy loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Sassafras Loam (SIA), 0 to 2 percent slopes. This soil is nearly level and well drained; the top 8 inches is typically a dark-brown loam. Bedrock is typically greater than 5 feet below grade and the seasonal high water table is greater than 6 feet below grade.

Vegetation Association

The vegetation association of the site area is the Mixed Oak Upland Forest, which is typical for central New Jersey. This vegetation association consists of red oak, white oak, black oak as well as hickory species, maple species, white & green ash, tulip tree, beech, black cherry, black birch, sour gum, and elm. Understory trees typically consist of dogwoods, sassafras, hop hornbeam and ironwood. Understory shrubs consists of viburnums, spicebush, witch hazel and multi-flora rose.

Since the site has been fully developed there are no remnants of established or native woodlands on the site. The landscape that exists is an ornamental landscape that has been planted within the last 30 plus years as part of the development of the Plainsboro Shopping Center and associated parking on the site.

Tree Survey / Evaluation Methodology

This evaluation was made by a field visit by Stearns Associates LLC Landscape Architects on August 1, 2023 and results included on sheets L1.0 Tree Removal-Replacement Plan. Only the trees in the parking lot being affected by the new Chase Bank building and parking were evaluated. These trees are numbered 618 to 1025 per the trees survey by Van Note-Harvey Associates PC dated July 7, 2023.

Each tree was numbered and species noted, diameter measured and height and crown were estimated. Each tree was evaluated and this information was summarized on a table on the Tree Removal Plans called the Trees Proposed to be Removed Condition Chart. A total of 29 trees were surveyed by Stearns Associates LLC.

Each tree was examined for general condition as a landscape tree, primarily examining the root flair, trunk and crown. Root flair was examined to see if flair existed (no root flair can mean there has been filing around the trunk) and if there was evidence of decay. The trunk and branches were examined for evidence of multiple trunks, cavities, decay, cracks, broken branches and dead wood. The canopy was evaluated as to size, form and condition.

After looking at the condition of each tree each was given a general rating of **good**, **fair** or **poor**. A **Good** rating is a tree with straight trunk and no scars, good structural form, full canopy and no evidence of decay. A **Fair** rating means that the tree had a straight trunk with minor scarring and or the canopy was stunted had an asymmetrical condition or some dieback. A **Poor** rating means the tree had severe scarring of the trunk, and /or poor canopy condition.

Each tree had a recommended action and this is shown on the last column on the chart. Only 6 trees of the 29 surveyed are affected that have to be removed. There were three recommendation categories.

Relocate	Trees in good condition that were of a size that could be moved with a tree spade (up to 6" diameter). None are proposed to be relocated, trees too large to transplant.
Replace 2 to 1	Trees in good condition, but too big to move with a tree spade would be replaced at 2 to 1 per Township recommendations for trees less than 12 inches in diameter.

Replace 3 to 1	Trees in good condition, but too big to move with a tree spade would be replaced at 3 to 1 per Township recommendations for trees 12 inches or more in diameter.
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Recommendation Action	Quantity	Percent
Relocate	0	0%
Remove-Replace 2 to 1	4	67%
Remove-Replace 3 to 1	2	33%
Total	6	100%

General Condition of the Trees

The existing trees in the parking lot affected by the Chase Bank are two species: Honey Locust and Red Maples.

Species	Quantity	Percent
Honey Locust	14	48%
Red Maple	9	32%
Other species	6	20%
Total	29	100%

The existing trees in the parking lot are generally in good condition. In general the trees have good trunk and crown development. The following is a general list of the poor conditions we observed:

- Dead or missing central leader
- Dead branches, requires pruning
- Dieback on limbs, minor to severe
- Limbs missing
- Scarring on the trunk, minor to severe
- Some trunk decay

There are a total of 29 trees evaluated and the rating summarized as follows:

Rating	Quantity	Percent
Good	27	93%
Fair	2	7%
Poor	0	0%
Total	29	100%

Tree Replacement Calculations

Plainsboro Township has recently required that trees less than 12 inch diameter be replaced at 2 trees for each one remove (2:1); and trees greater than 12 inch diameter be replaced at 3 trees for each one removed (3:1). Trees that need to be removed would be replaced at the ratios noted above. There were no trees being removed greater than 12 inches.

See Tree Condition chart on this sheet.

Replacement trees will be shade trees 2.5" to 3" caliper and are shown on sheet L1.1 Planting Plan.

Conclusion

The trees proposed to be removed for the Chase Bank pad Site project are mostly good quality. The 6 trees are in the way of proposed improvements. Of the 29 trees surveyed 6 (20%) are being removed; 14 replacement trees are required, and 15 replacement trees 2.5"-3" caliper are provided.

Tree Pruning Notes

- A professional arborist should make the tree pruning decisions—improper pruning can be harmful to plant health and actually inhibit healthy growth. No pruning cut should ever be made without a specific reason.
- Pruning shall be performed by a NJ Certified Tree Expert.
- Pruning shall be done in accordance with the new American National Standards Institute (ANSI) A-300 (Part 1) -2008-Pruning Standard. The A300 Pruning standards recognize four basic pruning methods for pruning:
 - Clean:** Selective pruning to remove one or more of the following parts: dead, diseased, and/or broken branches.
 - Thin:** Selective pruning to reduce density of live branches
 - Raise:** Selective pruning to provide vertical clearance
 - Reduce:** Selective pruning to decrease height and/or spread (consideration must be given to the ability of a species to tolerate reduction pruning).
- Pruning objectives for the trees on the site are to manage health, reduce risk, clearance, view improvement, structural improvement and aesthetic improvement. Primarily the goal is view improvement to improve views to retail stores from surrounding streets and drives in the parking lot.
- On mature trees, pruning is required to remove dead and dying branches to maintain plant health and safety. This pruning type is referred to as cleaning. Research has now documented that thinning, the removal of live branches to reduce density, significantly reduces wind resistance and subsequent storm damage.
- Thinning should only be done on trees where the crown is "too dense". Thinning should be concentrated on the outer portions of the canopy, leaving as many branches on the interior crown as possible. In some instances, the crown or individual branches require reduction in length to improve the form and shape of the plant, to eliminate interference with objects and structures, and to compensate for structural weaknesses.
- Provide crown thinning, crown cleaning, and crown raising as appropriate
- Lower branches may require pruning for similar reasons. This process, known as "raising," also can be used to increase the amount of light for turf grass and ground covers beneath the crown of a tree.
- Raise branch levels to approximately 6 feet to 8 feet where practical while maintaining natural shape of trees to allow sight line clearance to stores.
- Certain pruning practices are not acceptable and can injure trees and are prohibited:
 - Topping:** The reduction of a tree's size using heading cuts that shorten limbs or branches back to a predetermined crown limit
 - Lean's Telling:** The removal of an excessive number of inner, lateral branches from parent branches.
- Provide bio-fertilization using worm tea through soil injection to improve pest and stress resistance, aerate and amend soil, and promote healthy root development.

TREE DEMOLITION LEGEND:

EXISTING SHADE TREE TO BE REMOVED

EXISTING SHADE TREE TO BE RELOCATED

EXISTING SHADE TREE TO BE REPLACED 2 TO 1

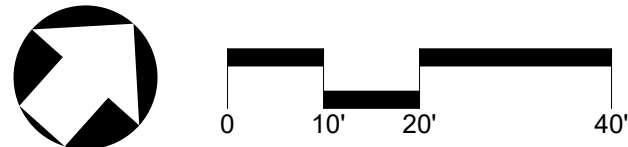
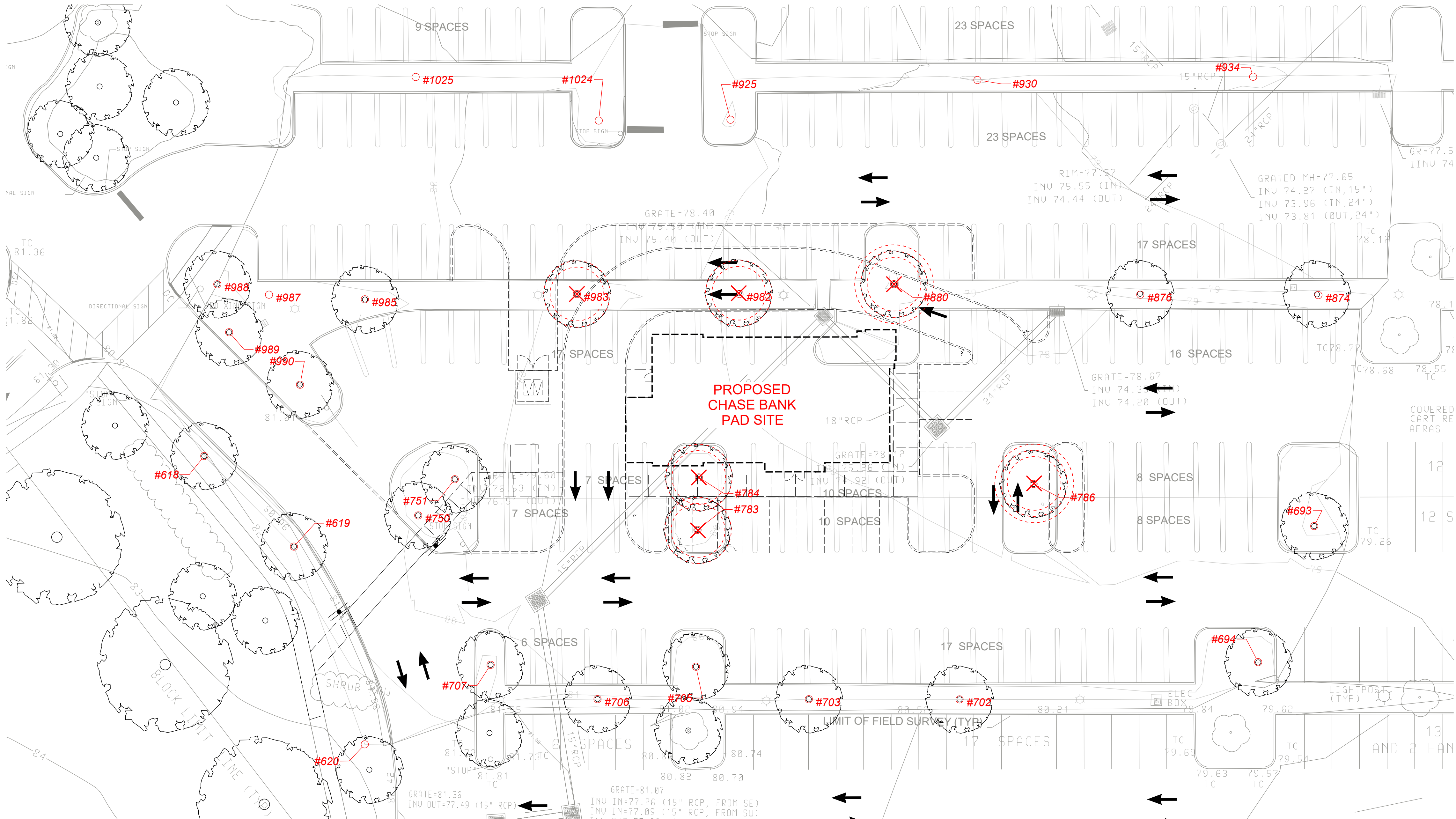
EXISTING SHADE TREE TO BE REPLACED 3:1

EXISTING SHADE TREE TO REMAIN

EXISTING EVERGREEN TREE TO REMAIN

TREES PROPOSED TO BE REMOVED CONDITION CHART

TREE NUMBER	DIAMETER (Inches)	TREE SPECIES	Est. Height (Feet)	Est. Crown Diameter (Feet)	TRUNK	CROWN	OVERALL CONDITION RATING	RECOMMENDATION	Total Trees	Trees Removed	Replacement Tree Number	Comments
618	15	Honey Locust	40	20	Good	Good	Good	REMAINS	1			
619	15	Honey Locust	40	20	Good	Good	Good	REMAINS	1			prune dead limbs in crown
620	12	Crab Apple	20	16	Good	Good	Good	REMAINS	1			
693	12	Red Maple	30	30	Good	Good	Good	REMAINS	1			prune dead limbs in crown
694	15	Red Maple	35	30	Good	Good	Good	REMAINS	1			
702	8	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
703	10	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
705	8	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
707	8	Honey Locust	25	30	Good	Good	Good	REMAINS	1			
750	10	Honey Locust	25	30	Good	Good	Good	REMAINS	1			
751	12	Red Maple	30	35	Fair	Fair	Fair	REMAINS	1			prune dead limbs in crown
783	9	Honey Locust	25	20	Good	Fair	Fair	REMOVE-REPLACE 2:1	1	1	2	
784	11	Honey Locust	30	20	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
786	12	Honey Locust	35	35	Good	Fair	Good	REMOVE-REPLACE 3:1	1	1	3	prune dead limbs in crown
874	12	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
876	12	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
880	12	Red Maple	35	30	Good	Good	Good	REMOVE-REPLACE 3:1	1	1	3	
925	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
930	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
934	5	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
982	10	Honey Locust	30	30	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
983	10	Honey Locust	30	30	Good	Good	Good	REMOVE-REPLACE 2:1	1	1	2	
985	10	Honey Locust	30	30	Good	Good	Good	REMAINS	1			
987	12	Red Maple	35	35	Good	Good	Good	REMAINS	1			
988	8	Red Maple	30	30	Good	Good	Good	REMAINS	1			
989	15	Honey Locust	40	40	Good	Good	Good	REMAINS	1			
990	8	Red Maple	30	30	Good	Good	Good	REMAINS	1			
1024	4	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
1025	4	Horn Beam	20	20	Good	Good	Good	REMAINS	1			
									29	6	14	



No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD



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Certificate of Authorization
21M0000090

D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

Applicant:
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: P23-04

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Shalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title
TREE REMOVAL & REPLACEMENT PLAN

Scale AS SHOWN	Drawn KR/KS	Project No. X
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GENERAL LANDSCAPE NOTES

- All landscaping shall be guaranteed for a minimum of 2 years from planting.
- There are no proposed ground mounted HVAC or mechanical equipment. All HVAC equipment is roof mounted.
- No topsoil shall be removed from the areas intended for lawn or open space unless it is required to provide minimum grading. Topsoil moved during the course of construction shall be redistributed within the site to provide at least 6 inches of cover to all areas of the site and shall be stabilized by seeding or planting. (85-25)
- All disturbed areas shall be seeded per notes on Sheet L3.0 Planting Details.
- All structures including walls, light footings and structural sign foundations are subject to review by the construction code official.
- Landscape materials, location, distribution and quantities are subject to review and approval by Township staff.
- Landscape maintenance for the shopping center is provided by the Applicant. Applicant currently has contracted with Brickman for landscape maintenance. Landscape Maintenance shall be per Brickman's current maintenance schedule in their contract with Applicant for the overall property. If more detail is needed then Applicant will provide this to Township Staff.
- Care shall be taken not to negatively impact existing tree root systems. If existing trees die because of construction activity then within 2 years after the construction has been completed, they shall be replaced in another acceptable on-site location as directed by the Township staff.
- Signage information is shown on the architect's plans, not on the landscape plans.
- There is no existing irrigation system and no irrigation system is proposed.
- Turf islands will be mowed.
- Existing landscape (shrub beds) indicated to remain that are disturbed by construction shall be replaced.

Versions		
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1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD



Stearns

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Certificate of Authorization
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Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal
Professional License Number
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MIDDLESEX COUNTY, NJ

Sheet Title
**OVERALL
SITE PLAN**

Scale
AS SHOWN

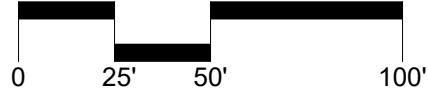
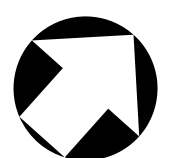
Drawn
KRIKS

Project No.
X

L1.1

LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUB PLANTINGS
- PROPOSED RAINGARDEN PLANTINGS
- PROPOSED GROUND COVER
- PROPOSED PERENNIALS / ANNUALS
- PROPOSED LAWN AREA
- NOTE: ALL DISTURBED AREAS TO BE SEED.
- TREE PROTECTION FENCE



Plant List - Plainsboro Plaza Chase Bank

updated 11/16/2023

Symbol	Quantity	Latin Name	Common Name	Height	Caliper	Container	Spread	Native	Salt Tolerant	Deer Resistant	Spacing	Notes
Shade Trees												
LS	4	Liquidambar styraciflua	American Sweetgum	12'-14'	2.5"-3"	B&B		Yes		NR	as shown	60'-80' h x 40'-60' w; native, orange red fall color
LT	2	Liriodendron tulipifera	Tulip Poplar	14'-16'	2.5"-3"	B&B		Yes		B	as shown	60'-80' h x 30'-40' w; native with tulip like flower early summer; golden yellow fall color
QAC	3	Quercus acutissima	Sawtooth Oak	12'-14'	2.5"-3"	B&B		Yes	NR	NR	as shown	50'-70' h x 40'-60' w; pyramidal shaped tree; full sun; slender serrated leaves, yellow fall color (considered invasive in some states)
QPH	3	Quercus phellos	Willow Oak	12'-14'	2.5"-3"	B&B		Yes	NR	NR	as shown	60'-80' h narrow leaves; drought tolerant; good fall color
TAR	3	Tilia americana 'Redmond'	Redmond American Linden	14'-16'	2.5"-3"	B&B		Yes	C		as shown	40'-50' h x 20'-30' w; yellow fall color; heart shaped leaves, white flowers; full sun to pt. shade; dense pyramidal shape; drought tolerant
Ornamental Trees												
BN	1	Betula nigra Clumps	River Birch Clumps (multi-stem)	6'-10'	NA	B&B		Yes	A		as shown	40'-70' h x 40'-60' w; salmon / white bark
CC	3	Cercis canadensis	Eastern Redbud	NA	2.5"-3"	B&B		Yes	C		as shown	20'-30' h x 20'-25' w; beautiful purple or magenta flowers in spring; yellow fall color; heart shaped leaves; fall planting hazard
CK	5	Cornus kousa	Chinese Flowering Dogwood	NA	2'-3'	B&B		No	B		as shown	20'-25' h x 20'-25' w; flowers 3 weeks after florida; brilliant red berries, orange fall color
LM	4	Lagerströmia indica 'Natchez' (white)	Natchez Crape Myrtle	6'-10'	NA	B&B		No	B		as shown	15' h x 15'-20' w; white flower in summer; full sun
Shrubs												
AA	28	Aronia arbutifolia	Red Chokeberry	24'-30'	NA	Cont.		Yes	Yes	B	as shown	6'-9' h x 3'-6' w; deciduous; white flowers in may; excellent red fall color; full sun, part shade, part sun
CAH	26	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	16'-24'	NA	Cont.		Yes	Yes	B	plant 2.5' oc	3'-4' h x 3'-6' w; deciduous; white flowers; yellow fall color; full sun / part sun
CSB	31	Cornus sericea 'Barry'	Bailey Redtwig Dogwood	24'-30'	NA	Cont.		Yes	Yes	B	as shown	6'-9' h x 6'-9' w; deciduous; bright red twigs; massing shrub; tolerates moist soils; hardy
HES	69	Hydrangea Endless Summer 'Twist n Shout'	Endless Summer Reblooming Hydrangea	24'-30'	NA	Cont.		No	Yes	C	plant 2.5' oc	3'-4' h x 3'-4' w; deciduous; pink / blue lacecap flowers from summer to fall
HQA	5	Hydrangea quercifolia 'Alco'	Alco Oakleaf Hydrangea	24'-30'	NA	5 gallon		Yes	Yes	C	as shown	5'-8' x 5'-8' w; deciduous; white flowers in summer; burgundy fall color; part shade / part sun
ICH	6	Ilex crenata 'Hoogendorn'	Hoogendorn Japanese Holly	16'-24'	NA	Cont.		No		C	plant 2' oc	2'-3' h x 2'-3' w; compact evergreen; used as a groundcover; full sun
ICS	22	Ilex crenata 'Steeds'	Steeds Lignt Japanese Holly	4'-9'	NA	15 gallon		No		C	plant 2.5' oc	6'-8' h x 5'-6' w; evergreen; upright pyramidal; densely branched; full sun
LH	12	Ilex Little Henry	Little Henry Sweetpire	24'-30'	NA	Cont.		Yes		B	plant 2.5' oc	2'-3' h x 2'-3' w; deciduous; white flower spring - summer; red in fall; pt. sun/full sun; pt. shade/full shade
LFZ	7	Leucochoa fortuneana 'Zelhof'	Scarletta Fetterbush	16'-24'	NA	Cont.		Yes	B		plant 2.5' oc	2'-3' h x 2'-3' w; evergreen; white bell shape flowers in spring; scarlet in spring; reddish in fall; part / filtered shade
RCW	12	Rhododendron 'Cunningham's White'	Cunningham's White Rhododendron	24'-30'	NA	Cont.		Yes		C	plant 2.5' oc	4' h x 4' w; evergreen; white flower in spring; part sun / part shade
VW	7	Viburnum nudum 'Winebarth'	Winebarth Smooth Viburnum	3'-4'	NA	B&B		Yes	Yes	A	as shown	as shown
VTS	10	Viburnum plicatum tomentosum 'Shasta'	Shasta Doublefile Viburnum	3'-4'	NA	Cont.		No		B	as shown	6'-10' ft x 12' w; deciduous; fast-grower; compact; white flowers; horizontal branching
Perennials												
AM	29	Allium Milleri	Millium Ornamental Allium	18'-24'	NA	2 gallon		No		A	plant 16' oc	18'-20' h x 10'-15' w; perennial; purple summer bloom; long bloomer; part sun to sun
ASW	37	Astilbe 'Deutschland'	White Astilbe	18'-24'	NA	Cont.		Yes		B	plant 16' oc	24' h x 24' w; blooms May-June; shade
HPP	41	Heuchera x Plum Pudding	Plum Pudding Heuchera	18'-24'	NA	2 gallon		Yes		A	plant 16' oc	26' h x 12'-16' w; perennial; silver purple foliage; filtered sun; full sun; part sun
HYF	10	Hypericum x modernum 'Kitcher'	Roseberry Chardonnay St. John's Wort	18'-24'	NA	2 gallon		Yes		A	plant 12' oc	3' h x 2' w; perennial; sunny yellow flowers in summer followed by berries in fall; full sun to part shade
LM	116	Linop muscan 'Big Blue'	Big Blue Lijuyrt	4'-pots	NA	2 gallon		No	Yes	B	plant 12' oc	12'-15' h x 12'-15' w; perennial; dark green foliage; blue flower stalks late summer though fall
PAL	35	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	18'-24'	NA	2 gallon		No	Yes	A	plant 16' oc	20'-25' h x 20'-25' w; perennial; blue flowers July-September; dry soils; salt and pollution tolerant; full sun
Ornamental Grasses												
BG	12	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	18'-24'	NA	Cont.		Yes		A	plant 15' oc	3' h x 3' w; semi-evergreen; blue green foliage; flag like summer flowers; full to part sun
CKF	29	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	18'-24'	NA	3 gallon		No	Yes	A	plant 16' oc	40'-60' h x 24'-36' w; beautiful upright grass
PAH	48	Pennisetum alopecuroides	Dwarf Fountain Grass	18'-24'	NA	3 gallon		No		A	plant 16' oc	18'-24' h x 18'-24' w; ornamental grass; blooms July-August
Bulbs												
APS	300	Allium 'Purple Sensation'	Purple Sensation Allium	top size							plant 6" oc	20'-30' h; blooms in May - June; purple globe shaped flower on upright stalk
NFG	150	Narcissus 'February Gold'	February Gold Daffodil	top size							plant 6" oc	12" - 15" h; blooms early spring; bright yellow

Plant Deer-Resistance Key*

Rating	
A	Rarely Damaged
B	Seldom Severely Damaged
C	Occasionally Severely Damaged

LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUB PLANTINGS
- PROPOSED RAINGARDEN PLANTINGS
- PROPOSED GROUNDCOVER
- PROPOSED PERENNIALS / ANNUALS
- PROPOSED LAWN AREA
- NOTE: ALL DISTURBED AREAS TO BE SEEDED.
- TREE PROTECTION FENCE

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3	11/20/2023	REV FOR PLANNING BOARD



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Applicant:

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c/o Onyx Equities, LLC
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Woodbridge, NJ 07095
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Application Number: P23-04

Project:

CHASE BANK PAD SITE
Plainsboro Plaza
10 Shalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title:

PLANTING PLAN ENLARGED

Scale:

Drawn:

Project No.:

x

Sheet No.:

L1.2

Plainsboro
GENERAL PLANTING SPECIFICATIONS

- 1) This plan shall be used for landscape planting purposes only. The contractor is responsible for examining all engineering drawings and field conditions for specific locations of utilities, and structures, and shall notify Landscape Architect of any discrepancies or location conflicts prior to planting installation.
- 2) The Contractor is responsible to locate and verify location of all utilities on the site prior to construction. The contractor shall verify the location of all above ground and underground utilities before digging plant pits. The Contractor shall be responsible for any damage to utilities.
- 3) The Contractor is responsible for all utility mark-outs and compliance with all Federal, State or Local codes and ordinances governing this work. **Call before you dig – NJ One Call 1-800-272-1000.** New Jersey law requires you to notify your local utility company anytime you dig into the ground.
- 4) All plant material shall conform to the standards of the ANSI Z60.1-2004 Edition, American Standard for Nursery Stock by the American Association of Nurserymen, Inc., or the plant material will be deemed unacceptable. All plant material shall be true to species, variety, size and certified disease and insect free. The Owner and /or the Landscape Architect reserve the right to approve all plant material on site prior to installation.
- 5) All plants shall be typical full specimens with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement. Shade trees shall be single-stem trees with straight trunk, well-balanced crown, and intact leader, of height and caliper indicated, complying with ANSI Z60.1-2004 edition for type of trees required. Provide Normal-quality, well-balanced, coniferous evergreens, full foliage to the ground, of type, height, spread, and shape required, complying with ANSI Z60.1.
- 6) All deciduous and evergreen trees shall be balled and burlap (B&B). Shrubs may be either B&B or container grown, but if container grown shall meet the ANSI standards for size. The use of bare root material shall be prohibited. The use of nylon twine on the root balls of proposed plant material is prohibited. Burlap for root balls shall be biodegradable burlap. All burlap shall be pulled back 1/3 from the root ball at time of planting.
- 7) All plants shall be typical of their species and variety; have normal growth habits; well developed branches, densely foliated, vigorous root systems and free from defects and injuries.
- 8) Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with acceptable local practice. Trees and shrubs shall be installed during the fall and spring seasons except for trees that are subject to fall planting hazard. These trees would be installed in spring only.
- 9) Fall planting time for evergreen trees is generally August 15 to December 15. Fall planting time for deciduous trees is generally October 15 to December 15. Spring planting for both evergreen and deciduous plants is generally March 1 to May 15.
- 10) The following tree varieties have been identified as having a high degree of transplantation failure if planted during the fall season. The fall planting hazard trees include the following genus and some cases particular species: Acer buergerianum, Betula, Carpinus, Celtis, Cercidiphyllum, Crataegus, Fagus, Halesia, Koeleria paniculata, Ilex opaca, Liquidambar, Liriodendron tulipifera, Malus in leaf, Nyssa sylvatica, Ostrya, Prunus, Pyrus, Quercus, except Quercus palustris, Salix, sorbus, Tilia tomentosa, Ulmus parvifolia and zelkova.
- 11) Prior to installation of all plant material, the results of physical and chemical tests of the subsoil and topsoil shall be submitted to the Landscape Architect to assess soil composition and if the pH is acceptable for the proposed planting.
- 12) All trees shall be staked, wrapped, and have saucers with mulch.

- 13) All proposed evergreen trees to be a minimum distance of ten (10) feet from proposed curbing, sidewalks, and building, to prevent branch conflicts.
- 14) Contractor shall remove all wire baskets or burlap used for evergreen or deciduous trees at time of planting.
- 15) All disturbed lawn areas shall be stabilized with seed as indicated on the landscape plans or these notes. Seed shall consist of the mixture listed in the general seeding specifications. All disturbed lawn areas shall be topsoiled, limed, fertilized and fine graded prior to lawn installation.
- 16) The current developed site does not have an automatic irrigation system. Seed all disturbed areas with a drought tolerant low maintenance mix formula like National Seed Company mix #25217 or approved equal consisting of 40% Creeping Red Fescue, 15% Bargaena Red Fescue, 30% Accent Perennial Rye Grass, and 15% Kenblue Kentucky Bluegrass. Seed at a rate of 6 pounds per 1,000 square feet. Hydro seed with hydro mulch.
- 17) Ideal seeding times are generally between April 15 through June 15 and August 15 through October 15 depending on the weather.
- 18) Contractor shall notify the Owner or Landscape Architect of any conditions that would prevent the healthy growth of plant materials. This would include shallow bedrock, boulders or rock outcrops, rubble fill, compacted soils, adverse drainage conditions, wet or poor soils, contaminated soil, disruption from construction operations, overhead or underground utilities and other obstructions, etc.
- 19) No plant substitutions shall be permitted regarding size, species or variety without written permission of the Township's Planning Consultant. Written proof of plant materials unavailability or unreasonable cost shall also be documented.
- 20) The location of all plant material indicated on the landscape plan is approximate. The final location of all plant material and planting bed lines shall be determined in the field under the direction of the landscape architect.
- 21) The final landscape plans are subject to an on-site inspection by the Township of Plainsboro's Landscape Architect before installation of the plants and subject to an inspection by the Township of Plainsboro's Landscape Architect after the installation.
- 22) Should any plant quantity discrepancies occur between the quantities listed in the planting schedule and the plan, the planting plan shall take precedence over the plant schedule.
- 23) Branches of deciduous trees shall be pruned back by no more than one quarter (1/4) to balance the top growth with the roots and to preserve their character and shape. The central leader of the tree shall not be pruned.
- 24) Provide planting pits as indicated on the planting details. If wet soil conditions exist, then planting pits shall be excavated an additional 12" depth and filled with 12" deep of clean 3/8" gravel with filter fabric and soil mix over the gravel.
- 25) Trees and shrubs shall only be planted when the soil is frost free and friable.
- 26) The contractor shall provide a minimum layer of 6 inches of topsoil in all lawn areas. Topsoil in lawn areas shall have 2 inches of compost tilled into the topsoil to a depth of 5 inches. Compost shall have a ph value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice, 1111 Springfield Road, 2nd Floor, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after construction and rough grading and prior to planting to determine the extent of the soil amendments required.
- 27) The contractor shall provide a minimum of 12" of topsoil in all shrub planting areas. Soil planting mix for planting pits for trees, shrubs and groundcover shall include 1/3 compost and 2/3rds topsoil. Compost shall have a ph value between 7.0 and 8.0, with over 50% organic matter. Compost and topsoil shall be supplied by Natures Choice 1111 Springfield Road, Union, NJ 07083 (800) 637-4140 or approved equal. A full soil mechanical and nutrient analysis shall be conducted after

- construction and rough grading and prior to planting to determine the extent of the soil amendments required.
- 28) All trees, planting areas and shrub beds shall receive 3" depth of shredded hardwood bark mulch. Bark mulch shall be supplied by Natures Choice, 1111 Springfield Road, Union, NJ 07083 (800) 637-4140 or approved equal. Note mulch shall be installed with a maximum of one inch within one foot of the tree's root flare.
- 29) Unless indicated elsewhere on the drawings or notes, all plant and shrub beds shall have a clean "shovel-cut" edge.
- 30) All installed plant material shall bear the same relation to finished grade as it did to existing grade at the nursery.
- 31) Newly installed plant material shall receive regular watering from the time of installation through the guarantee period to ensure the establishment, growth, and survival of the plants. Contractor is responsible for all plant, irrigation, and lawn maintenance during construction and until the Owner takes over maintenance operations.
- 32) The Contractor shall guarantee all work and all plant materials for a 2-year period from the date of certificate of occupancy approval by the Township of Plainsboro. Any such material that dies within this period must be removed and replaced by materials of similar size and species at the expense of the applicant. Any plant material that dies within that 2-year time period shall be removed, including the stump/root ball, and replaced by a tree or shrub of similar size and species at the expense of the contractor.
- 33) If any of the existing trees to be relocated do not remain as healthy trees two (2) years after transplanting, such trees shall be replaced to the satisfaction of the Plainsboro Director of Community Development.

- 34) After one growing season and the establishment of the plant material on the site, all stakes, guying, tree wrapping, and saucers shall be removed.
- 35) All existing trees and shrubs to be preserved on the site shall be protected by 4-foot-high standard wood snow fencing. All fencing shall be placed outside the tree canopy or drip line or in the case of smaller trees, a minimum of 10 feet from the tree. All trees to remain shall be identified in the field prior to beginning construction. Tree protection fencing shall be installed prior to the start of construction, grading, or clearing and shall remain on the site until construction is completed. All existing vegetation being preserved and located at the edge of the new tree line shall be pruned, trimmed to remove all dead, diseased, or damaged branches.
- 36) Existing trees to remain on the site will be maintained by the applicant. Applicant will establish a maintenance contract with a landscape maintenance company that is responsible for mowing lawns and maintenance of trees and shrubs per their maintenance schedule in their contract.
- 37) The Contractor shall exercise care and caution while working around existing trees and will protect the trees from damage. The contractor shall keep equipment and material storage out of drip line of tree canopies. Contractor shall exercise care in location and digging of trenches for electrical lines and other utilities under existing tree canopies so to minimize cutting of tree roots.
- 38) All debris from planting operations shall be removed from the site after planting is complete. The contractor is responsible for daily clean-up. Walks, drives and parking areas shall be swept broom clean. The site and property are to be left in a neat orderly condition.
- 39) The existing site does not have a fully automatic irrigation system. A fully automatic irrigation system is proposed between the building and curb around the bank building. The existing parking lot islands will not be irrigated.
- 40) All landscaping shall be guaranteed for a minimum of 2 years from planting. Any relocated trees that do not survive, shall be replaced in kind by a similar tree measuring a minimum of 2.5 to 3 inches in caliper at planting.

Topsoil Notes:

Contractor shall provide borrow topsoil if on site stockpiles are insufficient; and topsoil shall consist of sand, silt and clay material passing the 2.00 mm (no 10) sieve, as defined by AASHTO T-88 and within the following ranges:

	Minimum Percent	Maximum Percent
Sand	25	70
Silt	15	50
Clay	5	25

Furnished topsoil shall also meet the following criteria:

Characteristic:	Criteria:
pH	From 6.5 to 7.5
Cation exchange Capacity	From 5 to 25 cmol +/-kg (meq/100g)
Nutrient Content	Normal contents of nitrogen, phosphorous Potassium, calcium, magnesium, sulfur, & proper micronutrient levels.
Soluble salts	Less than 200 ppm
Contaminants	should contain no toxic substances.

Furnished topsoil shall be fertile, friable, natural loam free from subsoil, clay lumps, brush, litter, roots, stones 2" and larger, and other foreign materials. Furnishes topsoil shall be obtained from a local well-drained site with a topsoil depth of at least 4 inches, with a proven ability to support native vegetative growth. Furnished topsoil shall be free of Bermuda grass, Quackgrass, Johnson grass, mugwort, nutsedge, Poison Ivy, Canadian Thistle, Tearthumb, Phragmites, Mustard Seed and other noxious weeds.

Wetland Topsoil

In addition to topsoil as defined above, this project requires topsoil for wetland areas or wetland soil which shall contain at last 12% organic matter determined by loss on ignition moisture free samples dried in accordance with the current method of the Association of Agricultural Chemists. If manmade topsoil is used it shall consist of equal volumes of organic and mineral materials. The acidity range shall be pH 5.0 to pH 7.0 inclusive.

The mechanical analysis of the wetland topsoil shall be:

Passing	Percentage
1" screen	100%
1" screen to 1/4" screen	3%
1/4" screen to #100 USS sieve (Coarse, medium & fine sand)	40 to 60 %
#100 USSS sieve (Very fine sand, silt & clay	40 to 60%

Construction

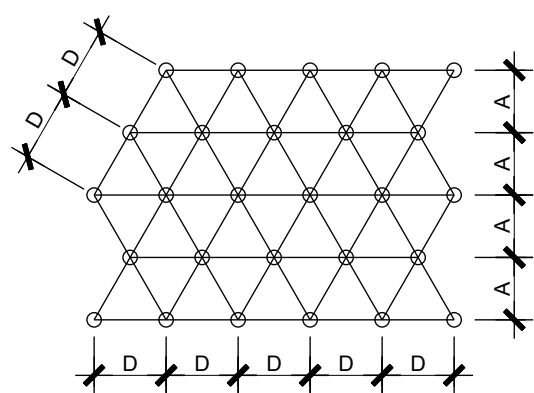
Furnished topsoil shall be obtained from a properly permitted, commercially available site.

Scarify all existing soil surfaces to a depth of 4 inches before topsoil is added.

Place and spread a uniform 6-inch depth of topsoil in all planting areas and all disturb areas unless otherwise indicated.

Compact with a roller having a mass weight not over 120 pounds per foot width of roller or by other acceptable methods, as directed. Remove over depth topsoil. Do not place topsoil in a wet or frozen condition.

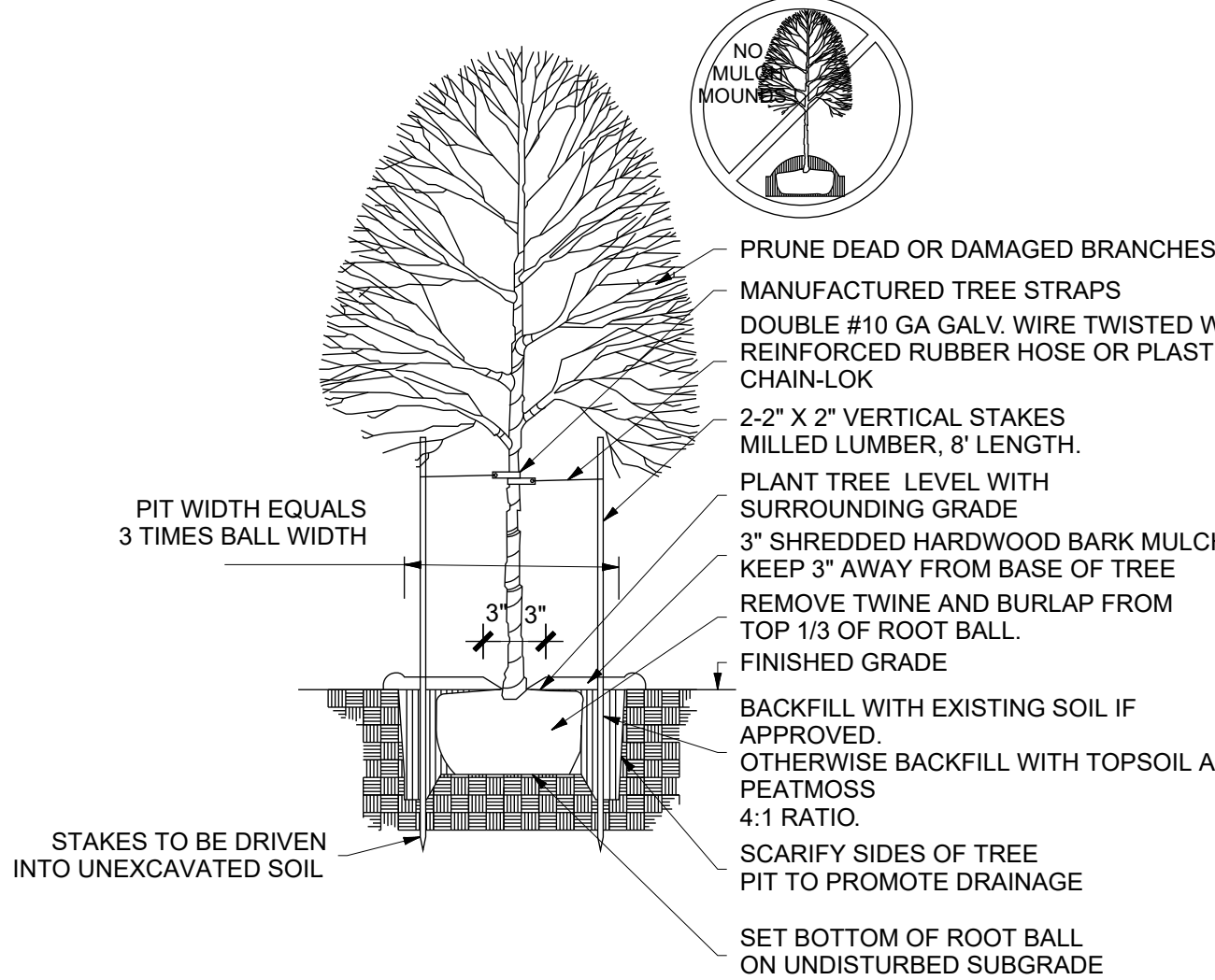
Wetlands Areas, compaction shall be avoided in the wetland areas. Wetland soil mix shall be installed and spread but not rolled. If spread topsoil becomes compacted in wetland areas then it should be disked or rotor-tilled prior to planting.



SPACING 'D'	ROW 'A'
6" OC	5"
8" OC	7"
12" OC	10.5"

NOTE: USE PLANT SPACING NOTED ON THE PLANT LIST

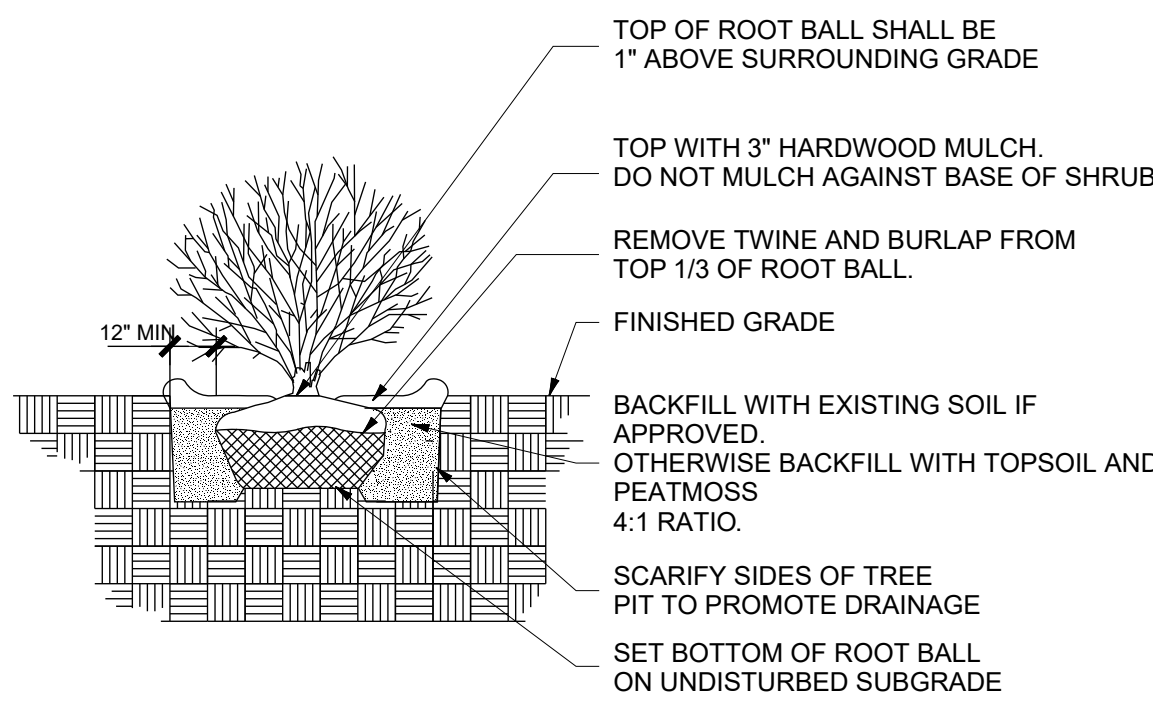
5
GROUNDCOVER PLANTING
N.T.S.



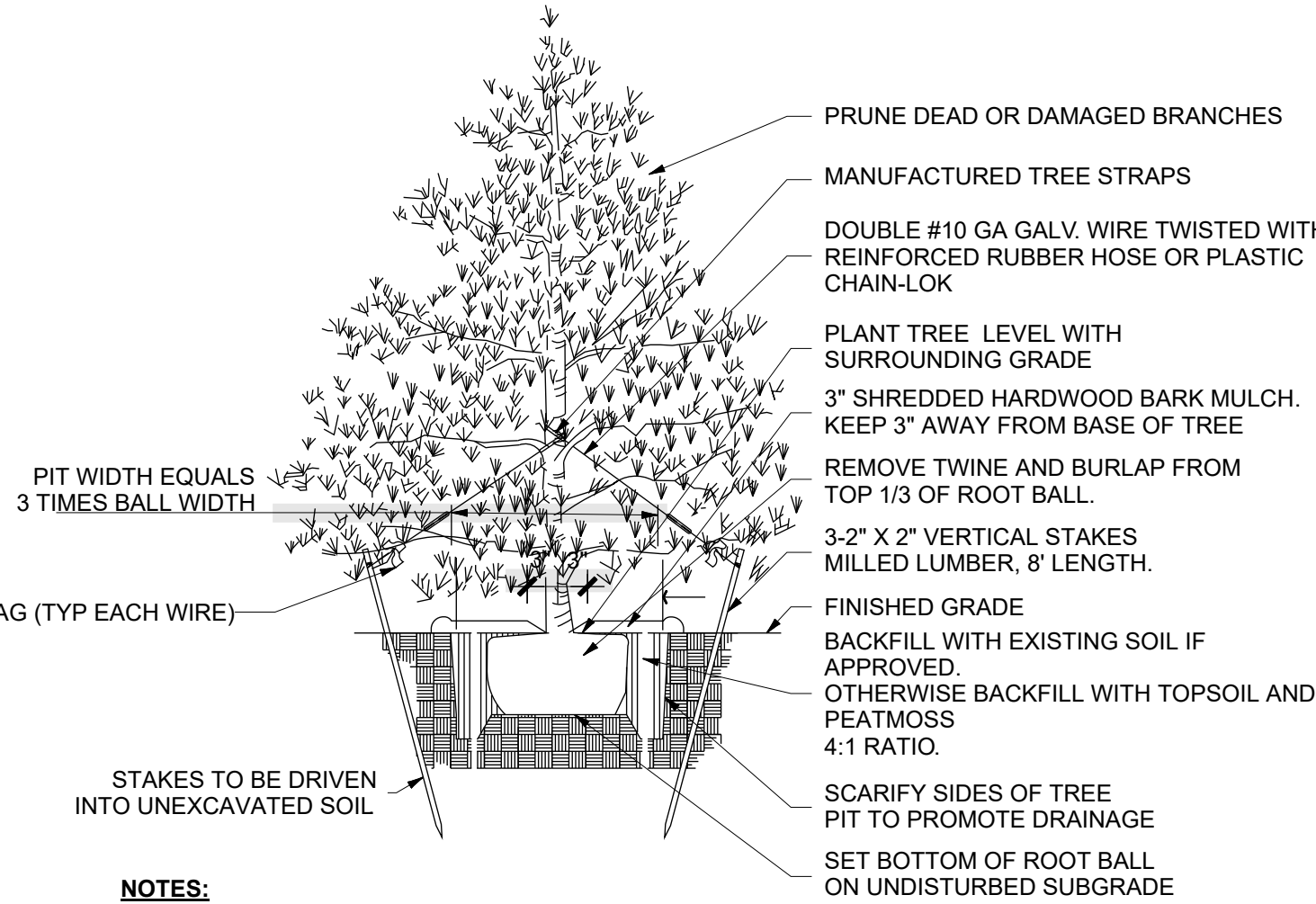
NOTES:

- 1) CUT TWINE AWAY FROM TRUNK OF TREE FOLD DOWN OR REMOVE TOP THIRD OF BURLAP. IF TREATED BURLAP, THEN REMOVE TOP THIRD. IF WIRE BASKET IS PRESENT, REMOVE TOP TWO RUGS OF BASKET (MINIMUM)
- 2) TREES SHALL BE POSITIONED 1" ABOVE THE GRADE AT WHICH THEY GREW IN THE NURSERY. NO SOIL SHALL BE PLACED AGAINST THE TRUNK ROOT FLARE
- 3) STAKING & GUYING REQUIRED AT THE DISCRETION OF THE OWNER

4
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



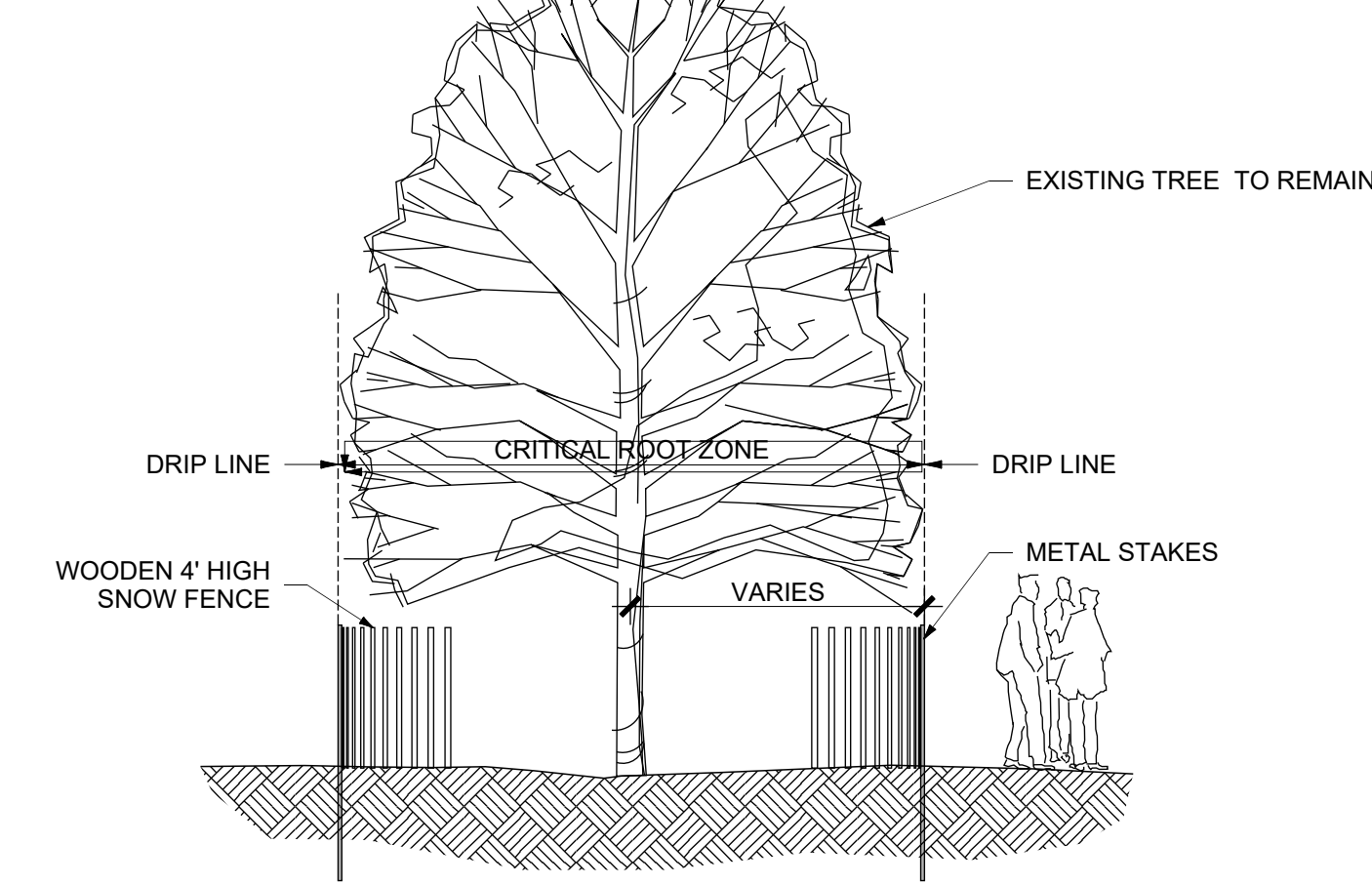
3
STANDARD SHRUB DETAIL
N.T.S.



NOTES:

- 1) CUT TWINE AWAY FROM TRUNK OF TREE FOLD DOWN OR REMOVE TOP THIRD OF BURLAP. IF TREATED BURLAP, THEN REMOVE TOP THIRD. IF WIRE BASKET IS PRESENT, REMOVE TOP TWO RUGS OF BASKET (MINIMUM)
- 2) TREES SHALL BE POSITIONED 1" ABOVE THE GRADE AT WHICH THEY GREW IN THE NURSERY. NO SOIL SHALL BE PLACED AGAINST THE TRUNK ROOT FLARE
- 3) STAKING & GUYING REQUIRED AT THE DISCRETION OF THE OWNER

2
STANDARD EVERGREEN TREE DETAIL
N.T.S.



NOTES:

- 1) SNOW FENCE SHALL BE LOCATED BEYOND THE DRIP LINE OF EXISTING VEGETATION TO REMAIN. SNOW FENCING SHALL BE INSTALLED AT THE COMMENCEMENT OF CONSTRUCTION AND IS TO BE MAINTAINED THROUGHOUT THE DURATION
- 2) NO STORAGE OF CONSTRUCTION MATERIALS, SOIL STOCK PILES OR PARKING OF VEHICLES NEAR TREES TO REMAIN
- 3) NO UTILITY TRENCHING WITHIN CRITICAL ROOT ZONE.

1
EXISTING TREE PROTECTION DETAIL
N.T.S.

Versions

No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD



Stearns

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15 Williamson Lane
Lambertville, NJ 08530-3518
T: 609-397-1880

Certificate of Authorization
21MR0000990

D. Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

Applicant:

AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: P23-04

Project

CHASE BANK PAD SITE
Plainsboro Plaza
10 Shalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

PLANTING DETAILS

Scale AS SHOWN	Drawn KR/KS	Project No. X
Sheet No.		

L2.0


Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
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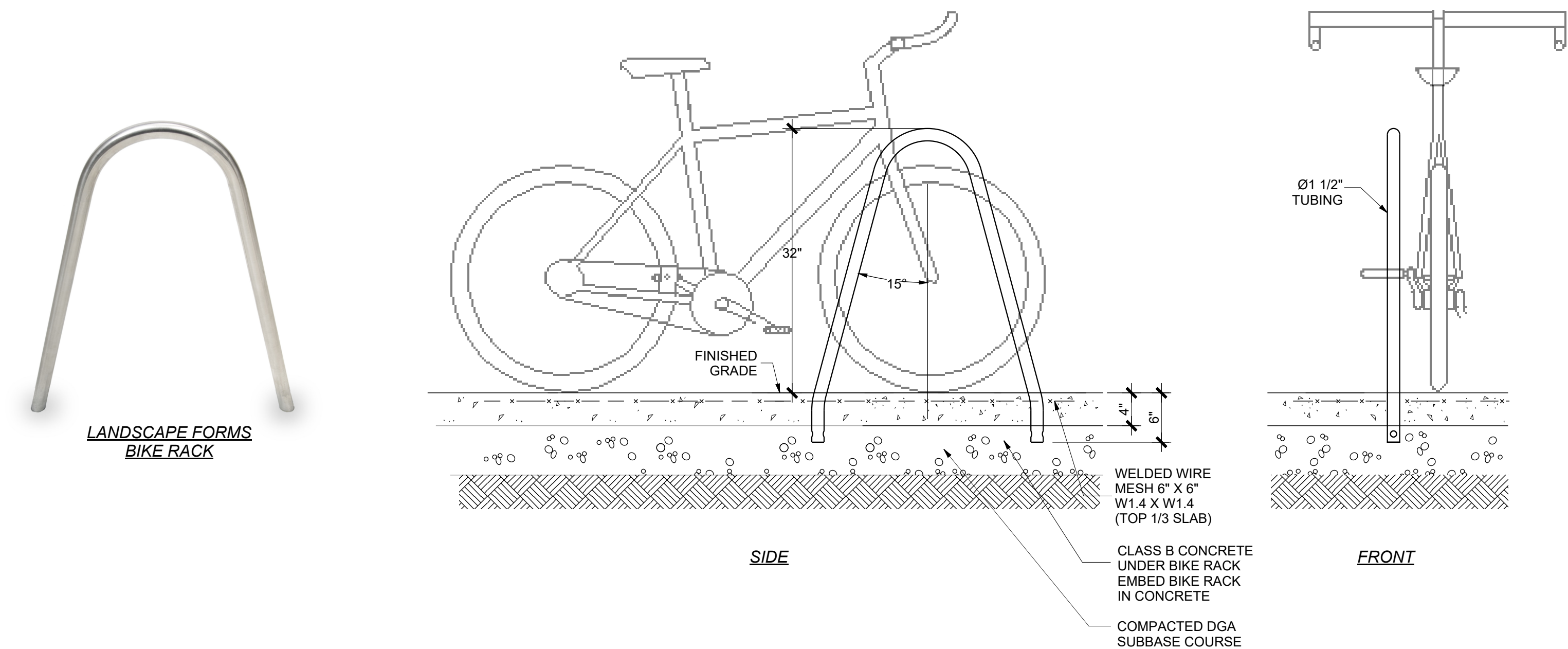
Sheet Title

SITE DETAILS

Scale	Drawn	Project No.
AS SHOWN	KRIKS	X
Sheet No.		

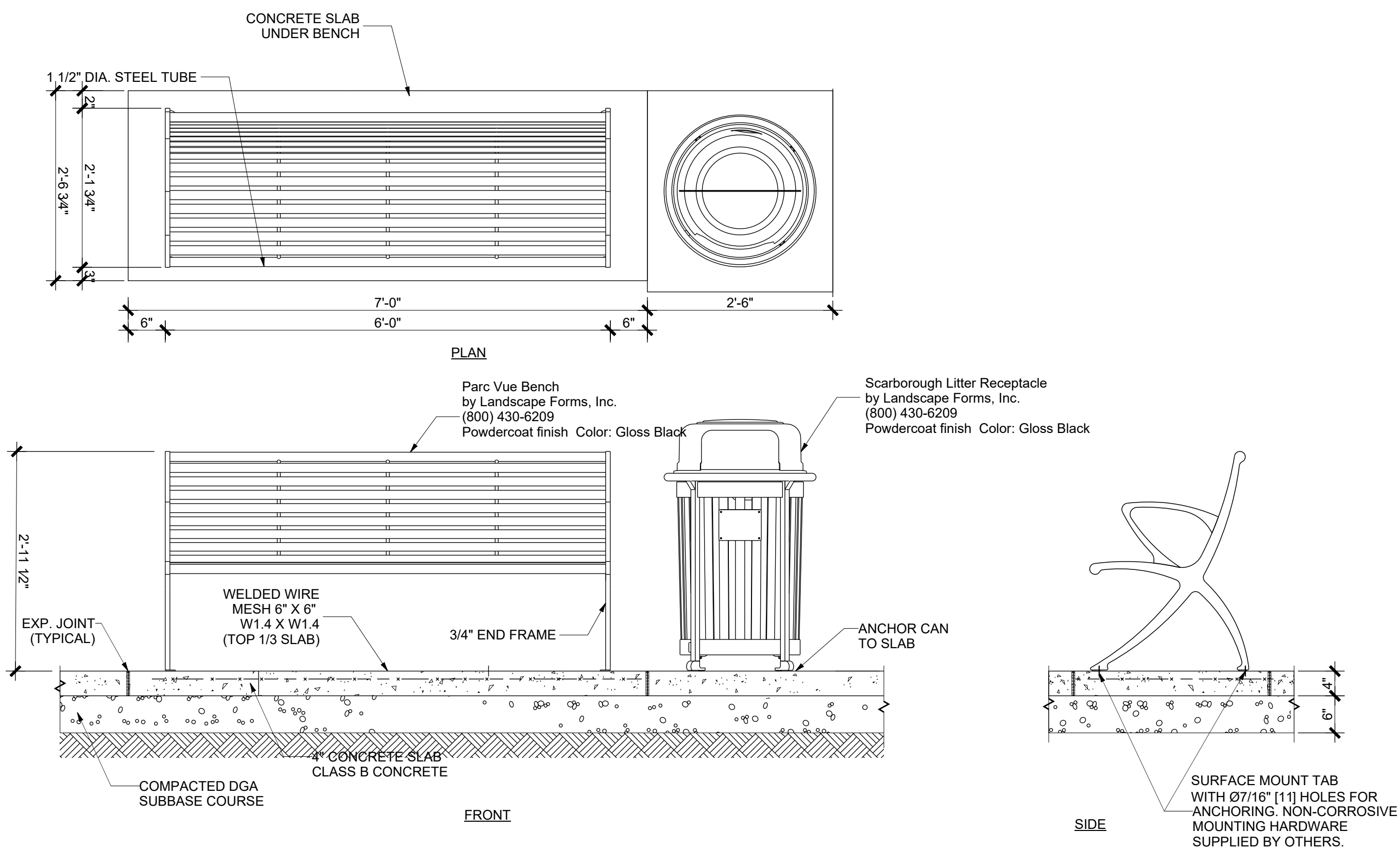
L3.0

BOLA BIKE RACK
by Landscape Forms, Inc.
(800) 430-6209
Powdercoated Steel
Provide 2 Bola Bike Racks
COLOR: GLOSS BLACK



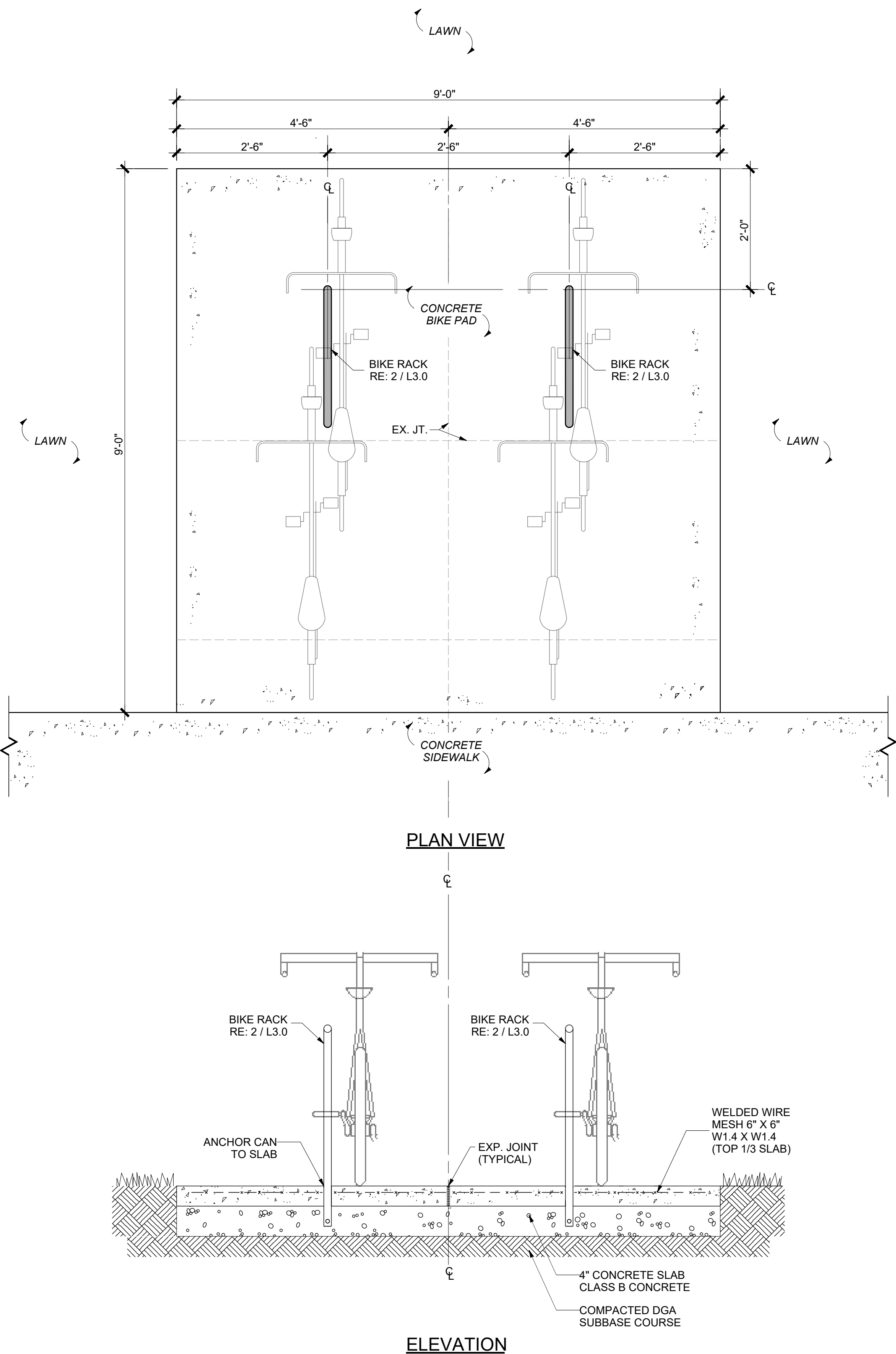
2 BIKE RACK

SCALE: 1'-1'-0"



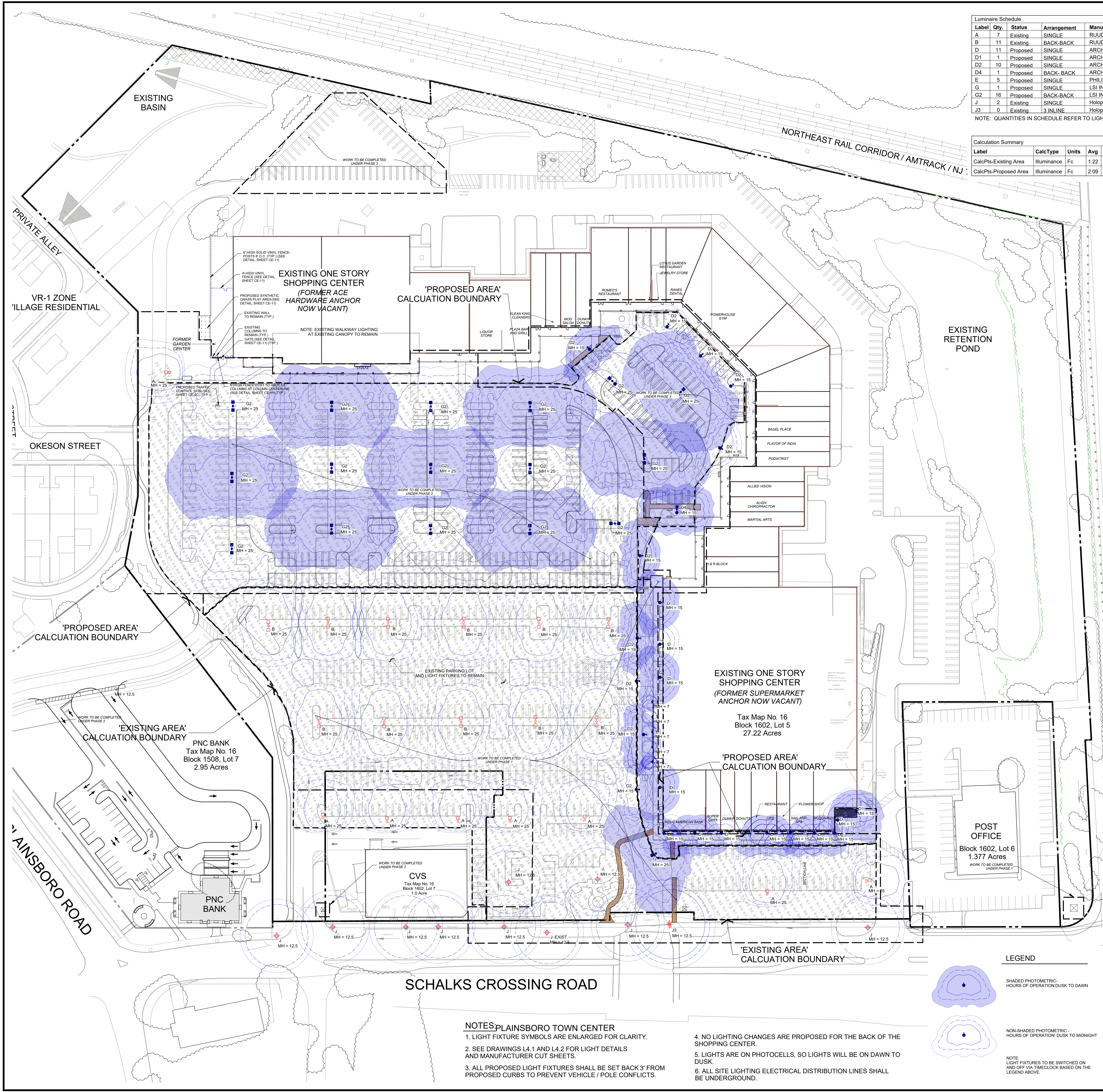
1 BENCH & TRASH RECEPTACLE

SCALE: 3/4"-1'-0"



3 BIKE RACK

SCALE: 3/4" = 1'-0"



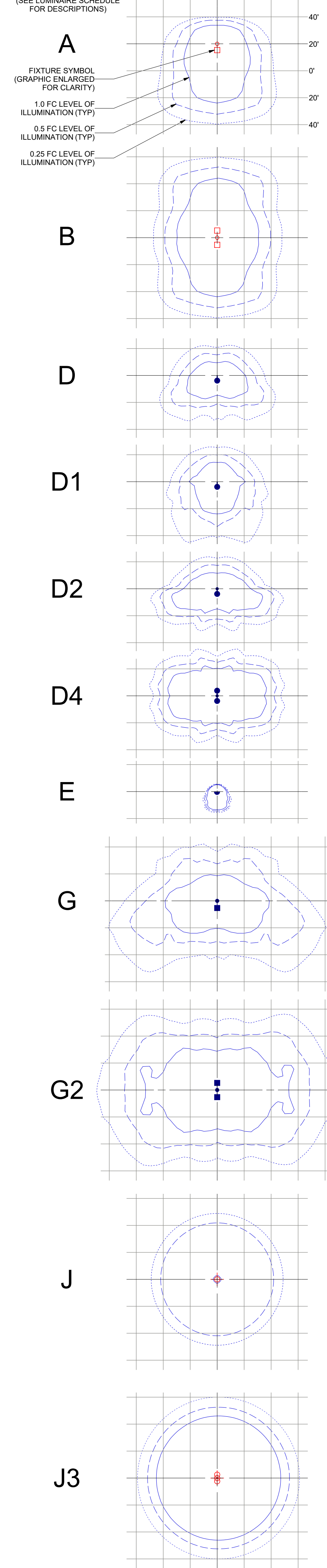
Luminaire Schedule										
Label	Qty.	Status	Arrangement	Manufacturer	Fixture Description	Mounting	Height	Lamp	LLF	IES Class
A	7	Existing	SINGLE	RIJUD LIGHTING	AC440-Single-250w	Pole	25'	250w MH	0.720	Type III
B	11	Existing	BACK-BACK	RIJUD LIGHTING	AC440-Double-250w	Pole	25'	250w MH	0.720	Type III
D	11	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Wall	15'	100w MH	0.720	Type III
D1	1	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Wall	15'	100w MH	0.720	Type IV
D2	10	Proposed	SINGLE	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Pole	15'	100w MH	0.720	Type II
D4	1	Proposed	BACK-BACK	ARCHITECTURAL AREA LIGHTING	Universe - Medium	Pole	15'	100w MH	0.720	Type II
E	5	Proposed	SINGLE	PHILIPS GARDCO	301-FT	Wall	7'	70w MH	0.720	Type III
G	1	Proposed	SINGLE	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720	Type III
G2	16	Proposed	BACK-BACK	LSI INDUSTRIES	Citation Medium	Pole	25'	250w MH	0.720	Type III
J	2	Existing	SINGLE	Holophane	GranVille Classic	Pole	12'-6"	175w MH	0.720	Type V
J3	0	Existing	3 IN LINE	Holophane	GranVille Classic	Pole	12'-6"	175w MH	0.720	Type V

NOTE: QUANTITIES IN SCHEDULE REFER TO LIGHT FIXTURES WITHIN CALCULATION BOUNDARY

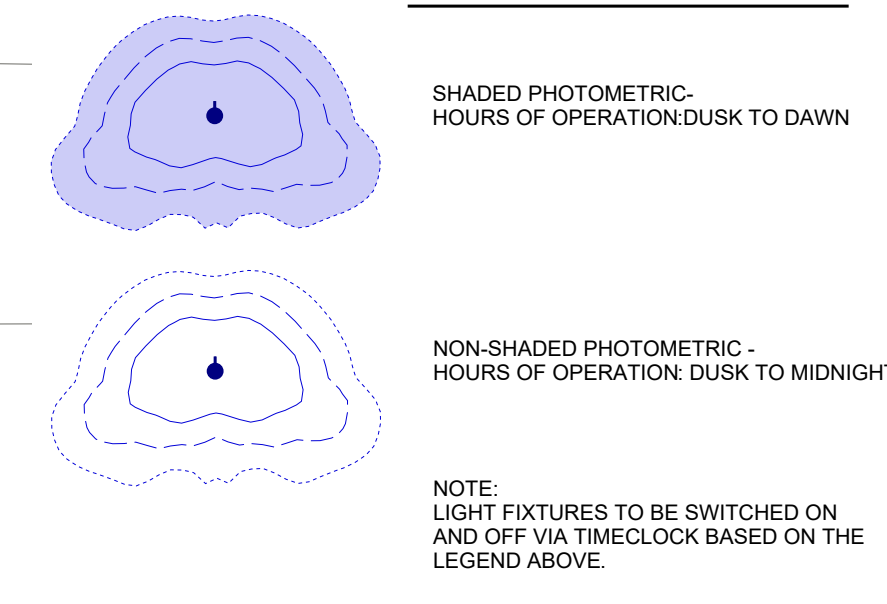
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts-Existing Area	Illuminance	Fc	1.22	11.6	0.0	N.A.
CalcPts-Proposed Area	Illuminance	Fc	2.09	13.2	0.1	20.90

FIXTURE KEY ISOFOOTCANDLE DIAGRAMS

SCALE: 1" = 50'
(SEE LUMINAIRE SCHEDULE FOR DESCRIPTIONS)



LEGEND



- NOTES: PLAINSBORO TOWN CENTER
1. LIGHT FIXTURE SYMBOLS ARE ENLARGED FOR CLARITY.
 2. SEE DRAWINGS L4.1 AND L4.2 FOR LIGHT DETAILS AND MANUFACTURER CUT SHEETS.
 3. ALL PROPOSED LIGHT FIXTURES SHALL BE SET BACK 3' FROM PROPOSED CURBS TO PREVENT VEHICLE / POLE CONFLICTS.
 4. NO LIGHTING CHANGES ARE PROPOSED FOR THE BACK OF THE SHOPPING CENTER.
 5. LIGHTS ARE ON PHOTOCELLS, SO LIGHTS WILL BE ON DAWN TO DUSK.
 6. ALL SITE LIGHTING ELECTRICAL DISTRIBUTION LINES SHALL BE UNDERGROUND.

Versions

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1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
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MIDDLESEX COUNTY, NJ

Sheet Title
EXISTING LIGHTING PLAN FOR REFERENCE

Scale	Drawn	Project No.
AS SHOWN	KRIKS	X
Sheet No.		

L4.0

Symbol		Label	Arrangement	Total Lamp Lumens	LLF	Description
	7	B	BACK-BACK	16000	0.720	RUUD-AC440-250W
	2	HAD	SINGLE	N.A.	1.000	Hadco TX0364-G3-3-730-9
	2	ME	SINGLE	N.A.	1.000	McGraw Edison GLEON-SA2C-730-U-RW
	6	LF	SINGLE	1653.41	1.000	LF Bulet 3499BB12-804032
	5	CLC	SINGLE	N.A.	1.000	Cooper Lantana Canister 9004-W1-[RW, RI]-LED4080-W-BK-L1-UNV
	2	CLW2	SINGLE	N.A.	1.000	CLW2 Cooper wall pack XTOR6B-Y

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.85	31.3	0.0	N.A.	N.A.

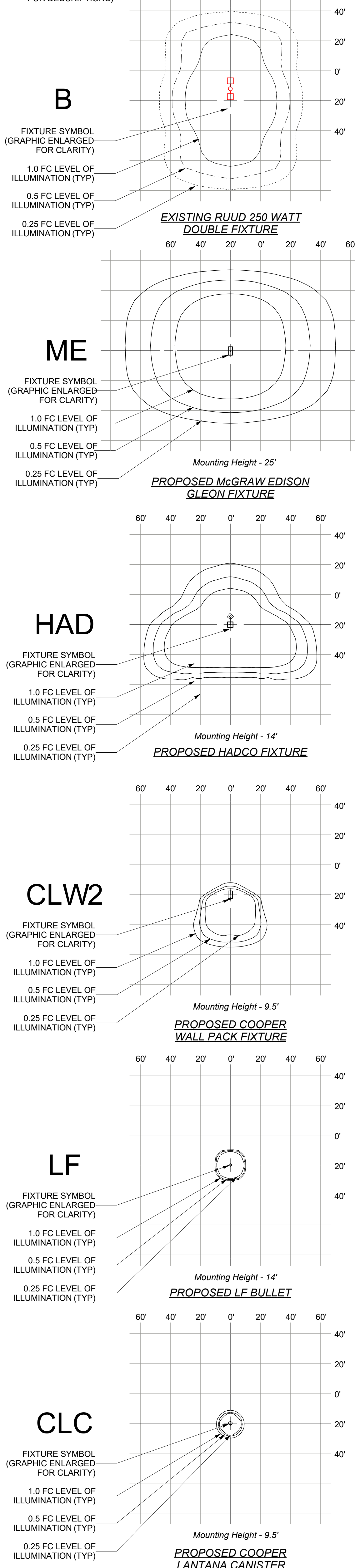
Note: The Calculations Summary above is for the overall calculation area shown on plan below, which includes existing fixtures. The minimum footcandles in parking areas around the bank are 0.5 fc.

Lighting Notes

- The existing light fixtures are RUUD (B) 250-watt double fixture metal halide lamps on 25-foot-high poles, these are approximately over 30 years old and installed when the shopping center was originally built circa 1980-1989. Two of those existing fixtures are being removed and replaced with two of the Cooper McGraw Edison Gleon Galleon LED fixture on 25-foot-high poles. These are new LED fixtures and not the same metal halide fixtures used per the last revised plan in 2014.
- There will be 2 decorative pedestrian scale HADCO Hagerstown pole mounted fixtures at 14 feet high in front of the bank on a Holophane North Yorkshire ornamental aluminum pole.
- Building lighting consists of 6 LF Bullet canopy lights, 5 Cooper Lantana canister lights and 2 Cooper wall pack lights. See drawings L5.1 and L5.2 for architectural elevations showing the building lights.
- Light levels on the drives and parking aisles adjacent the bank are at 0.5 fc minimum.
- Light fixture symbols are enlarged for clarity.
- See drawing L4.2 for light details and L4.3 and L4.4 for manufacturer cut sheets.
- All proposed light fixtures shall be set back 3' from proposed curbs to prevent vehicle / pole conflicts.
- Lights are on photocells, so lights will be on dusk to dawn.
- All site lighting electrical distribution lines shall be underground.

FIXTURE KEY ISOFOOTCANDLE DIAGRAMS

SCALE: 1" = 40'
(SEE LUMINAIRE SCHEDULE
FOR DESCRIPTIONS)



Versions

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Application Number: P23-04

Project

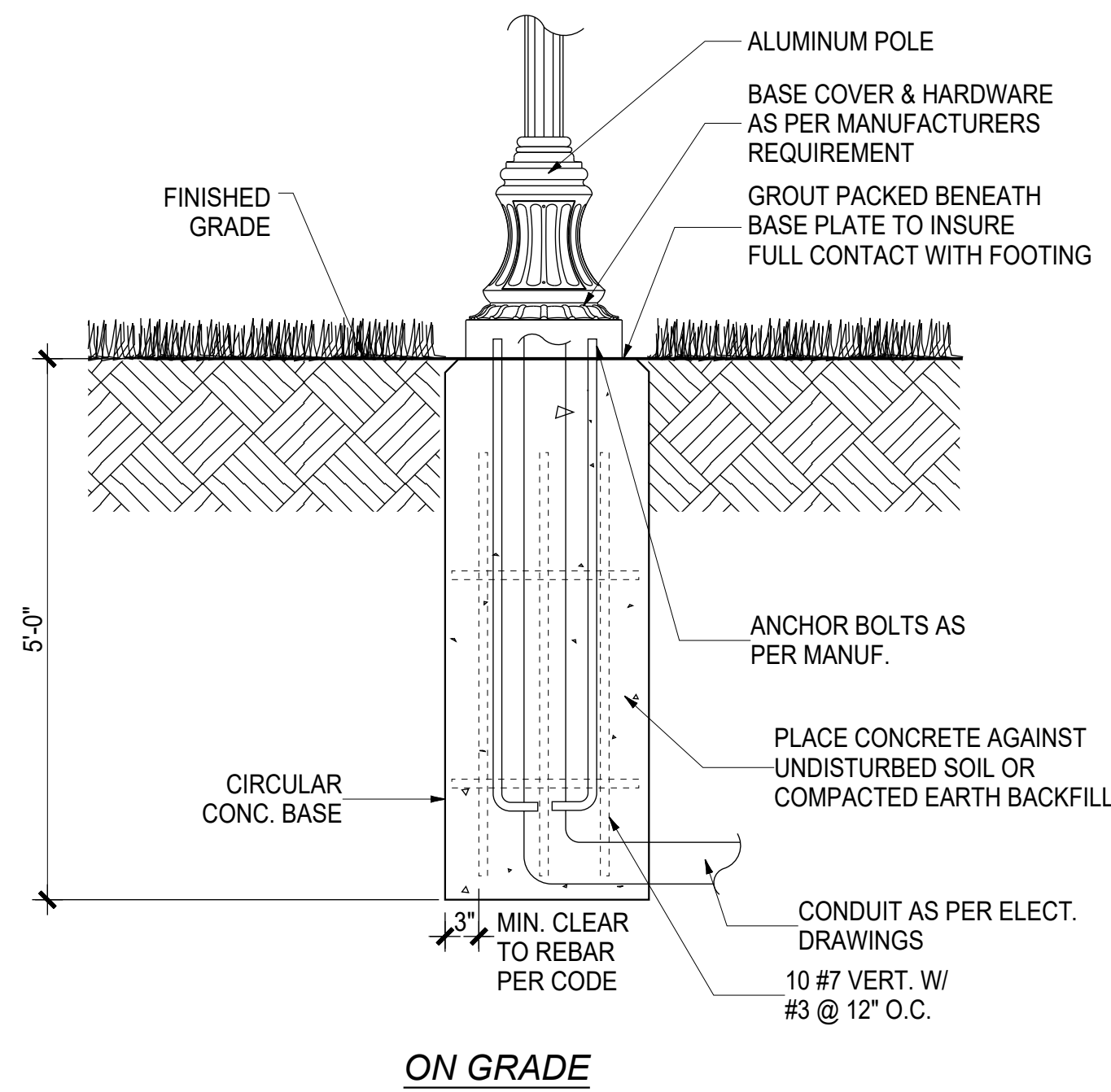
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MIDDLESEX COUNTY, NJ

Sheet Title

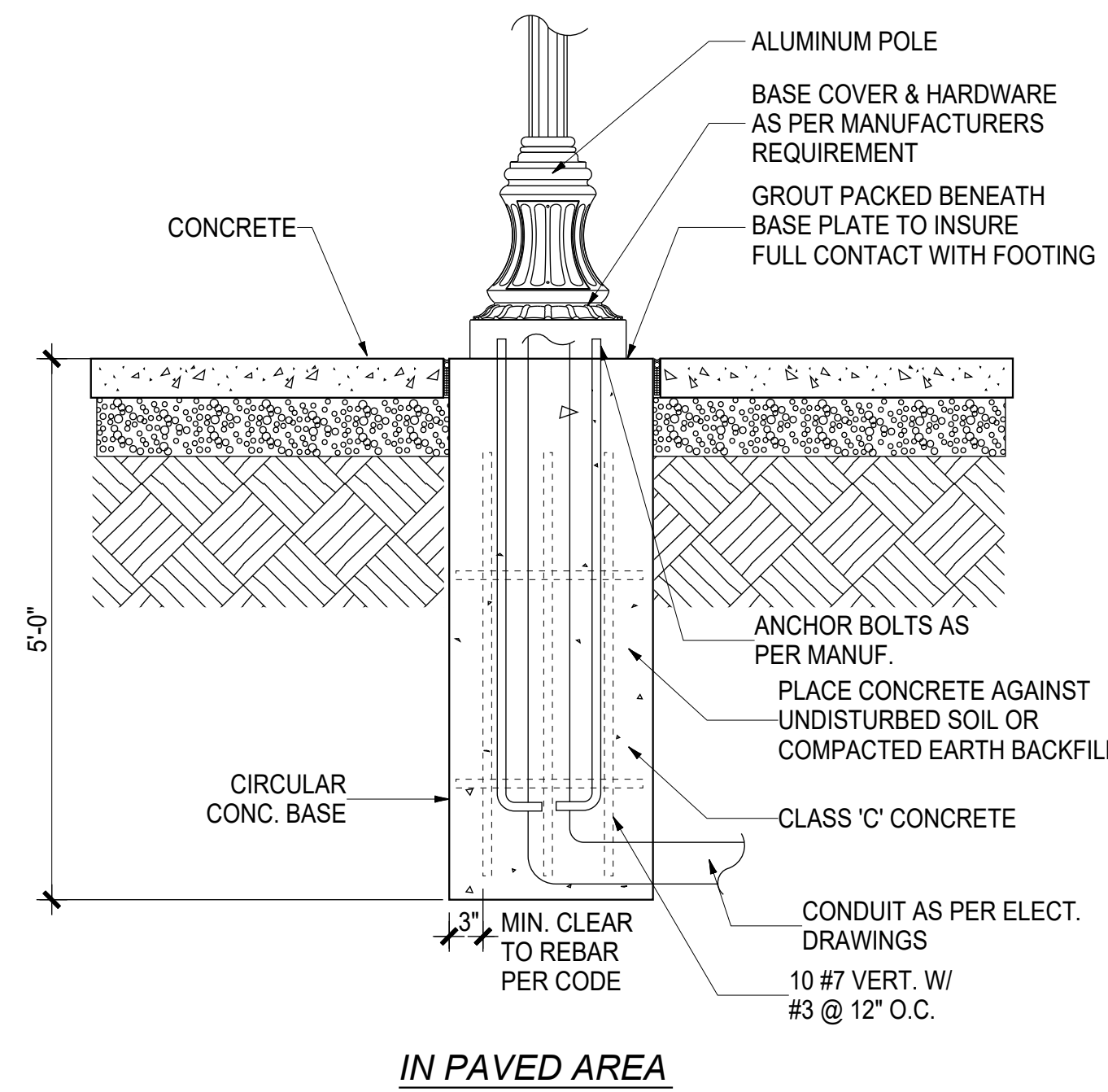
LIGHTING PLAN

Scale	Drawn	Project No.
AS SHOWN	KRIKS	X
Sheet No.		

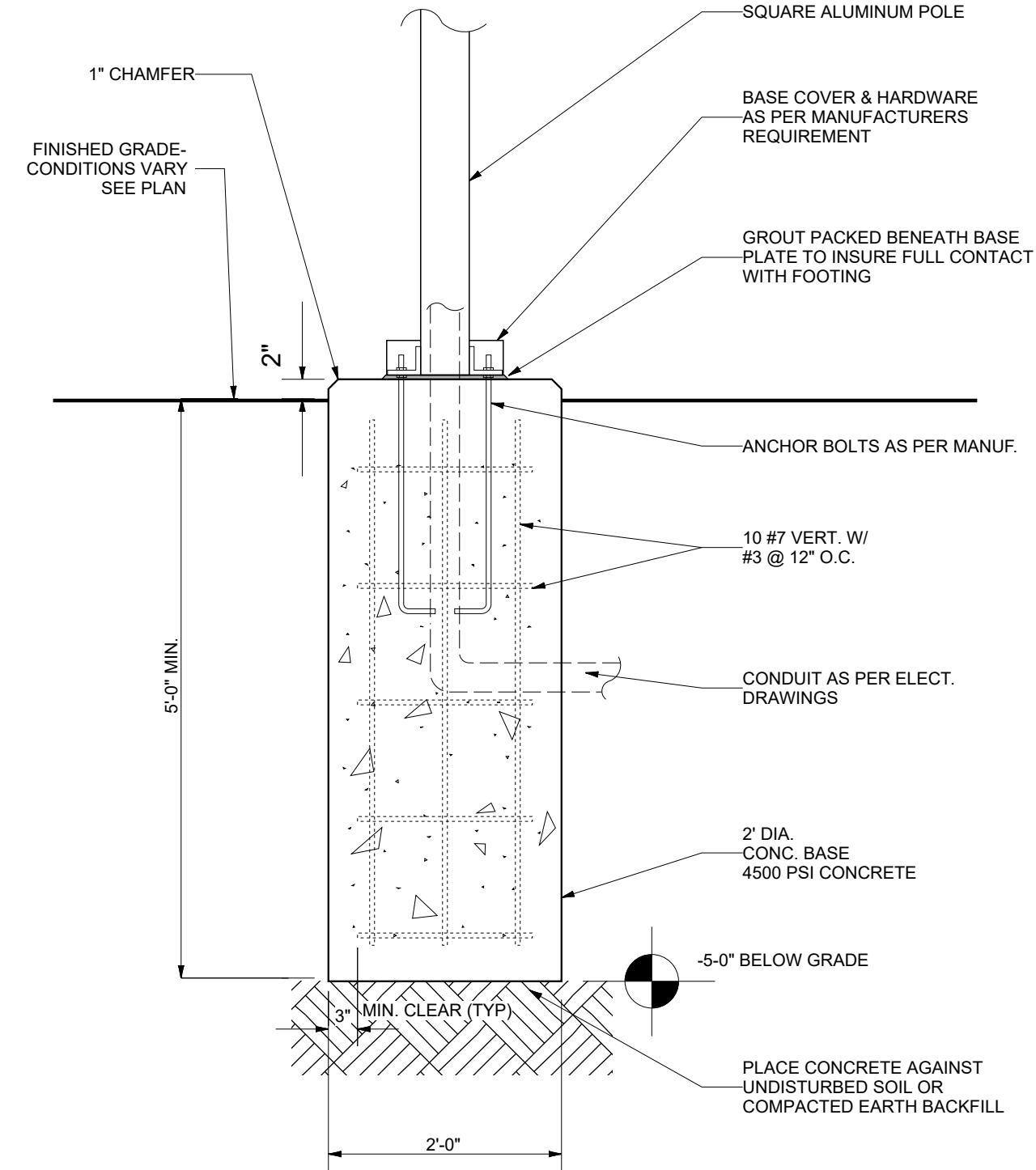
L4.1



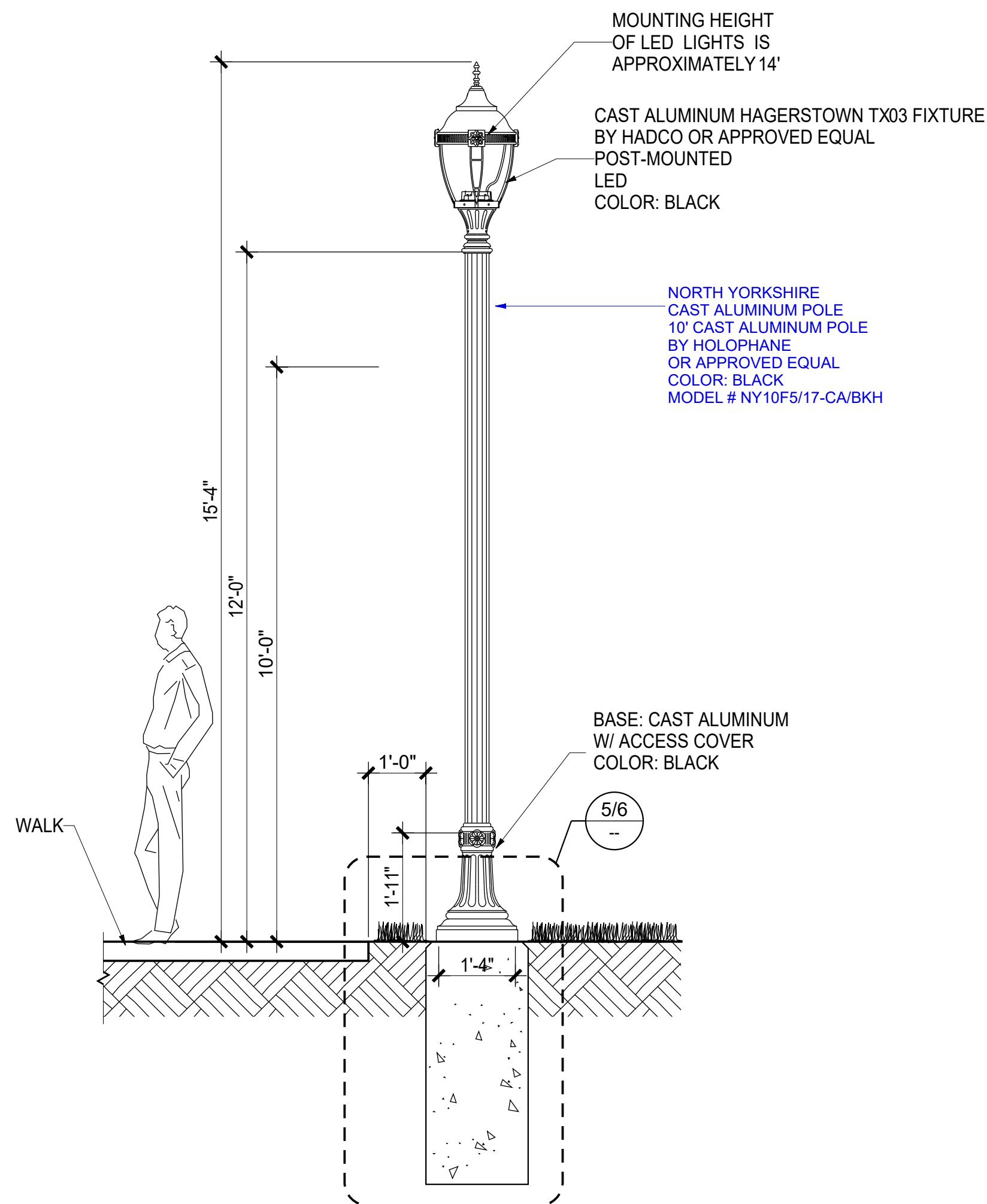
6 Concrete Footing on Grade
NTS



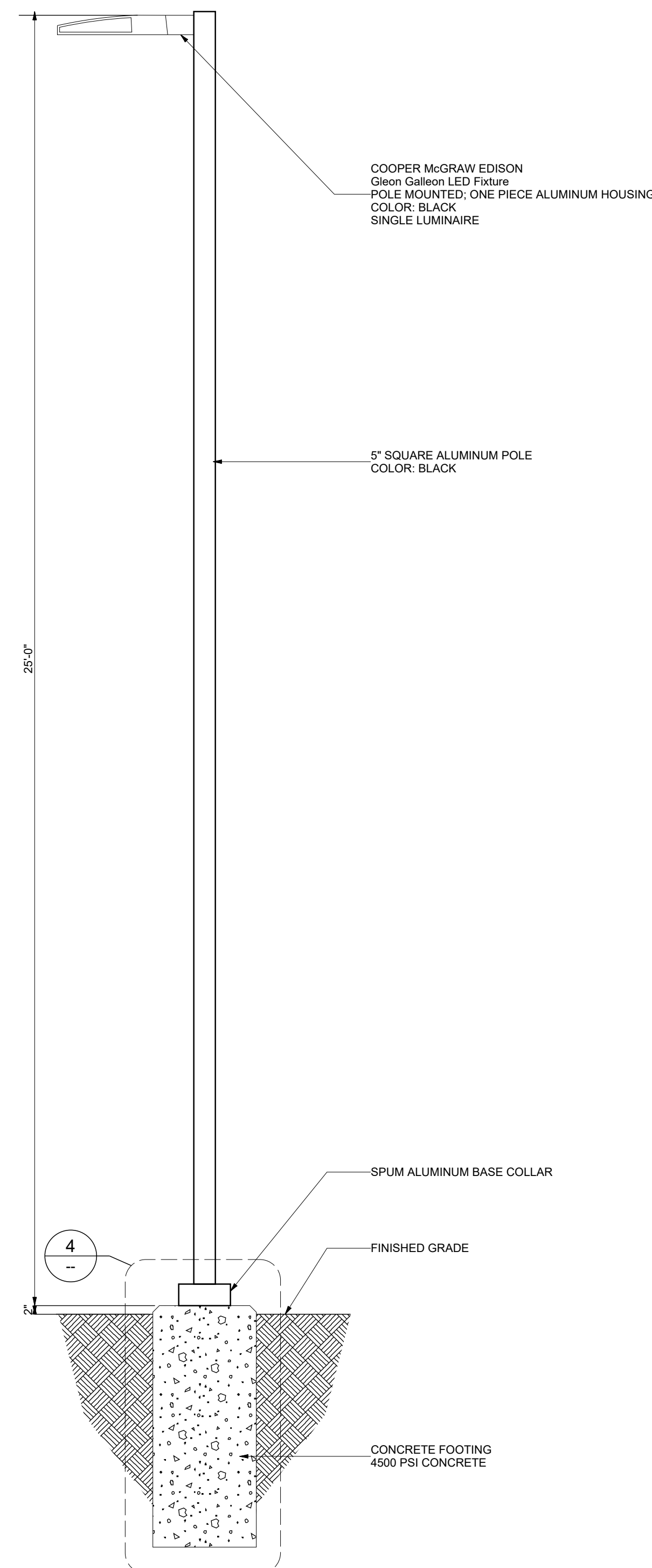
5 Concrete Footing in Paved Area
NTS



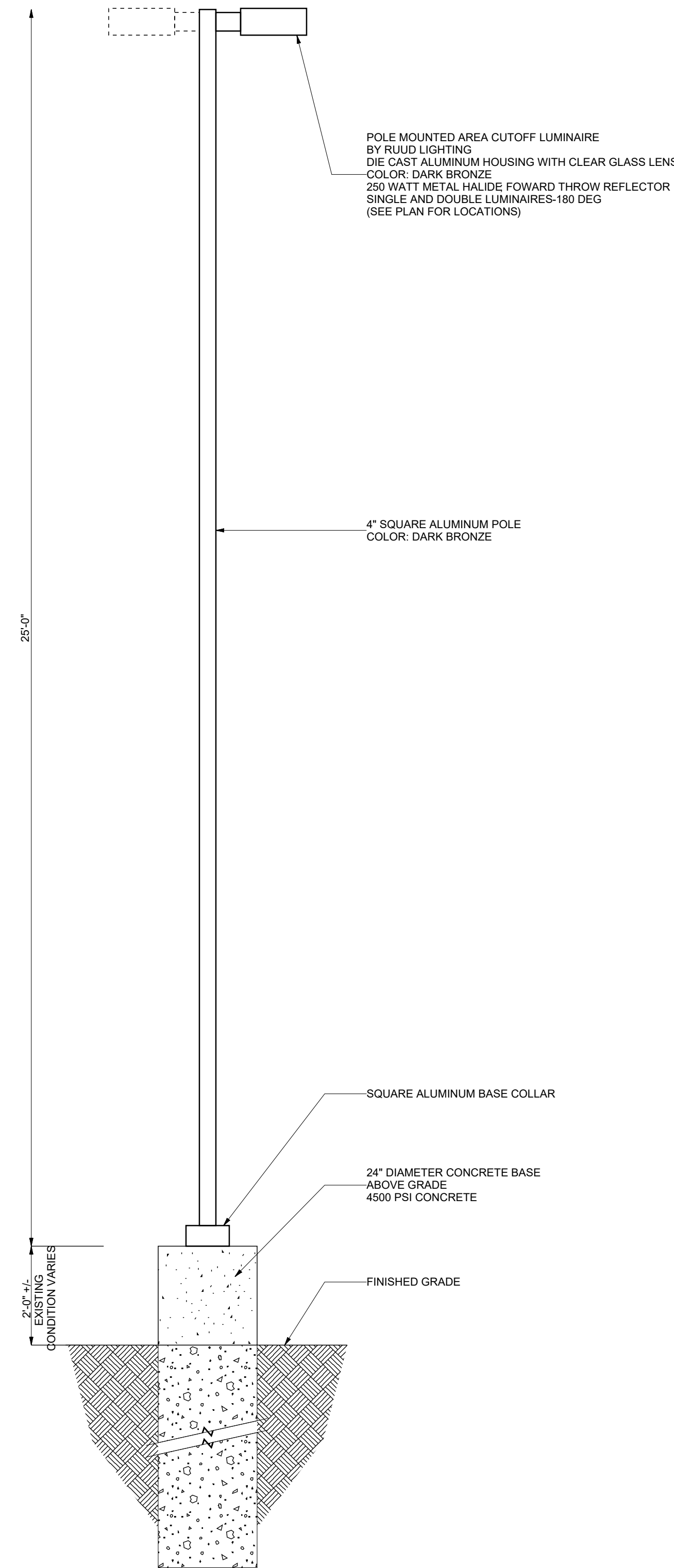
4 Concrete Footing
SCALE: 3/4"-1'-0"



3 Proposed Light - Hadco - 'HAD'
SCALE: 1/2"-1'-0"



2 Proposed Light - McGraw Edison - 'ME'
SCALE: 1/2"-1'-0"



1 Existing Light - RUUD - 'B'
SCALE: 1/2"-1'-0"

Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD



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Certificate of Authorization
21M100000900

Thomas Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect
Signature and Seal
Professional License Number
NJAS00512

Applicant:
AO PLAINSBORO, LLC
c/o Onyx Equities, LLC
900 Route 9 North, Suite 301
Woodbridge, NJ 07095
732-362-8800

Application Number: P23-04

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

LIGHTING DETAILS

Scale	Drawn	Project No.
AS SHOWN	KRIKS	X
Sheet No.		

L4.2

Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
2	10/10/2023	FILE SITE PLAN
3	11/20/2023	REV FOR PLANNING BOARD

<div> </div>		<div> <div>Urban</div> <div>Hagerstown</div> <div>TX03 Post top</div> </div>		<div> </div>				
<div> by @ignify </div>		<div> <div> <div>Project:</div> <div>Location:</div> <div>City:</div> <div>Notes:</div> </div> <div> <div>Project:</div> <div>Location:</div> <div>City:</div> <div>Notes:</div> </div> </div>						
<div> Haco's Hagerstown LED post top gives you the ability to create a unique style through our modular post top concepts to blend into any residential and historic urban settings. With the latest LED technology you can seamlessly replace traditional HID technology to maximize energy savings and significantly reduce total cost of ownership. The Hagerstown luminaire provides excellent uniformity, traditional customizable look, with the benefits of modern technology. </div>								
<div> Ordering guide </div>			<div> example TX03-32-G3-B-A-2-A-6-E-N-740-A-9-SRD-SPI </div>					
Series	LEDs	Gen.	Pods	Finials	Fasteners	Finishes	Optical System	Photo controls
TX03	64	G3	B	A	1	A	3	<input type="checkbox"/>
TX03 Hagerstown LED post top	32 32 48 48 64 64	G3 Gen3	A Octagonal fitter B Round fitter C Fluted tapered petals D Fluted tapered hourglass fitter E Tapered fluted fitter F W/colpated flower petals G Tall round fluted fitter H Round contemporary fitter J Tapered fluted w/round stepped fitter L Round fluted long fitter T Decorative leaf fitter w/colpated petals	A A finial B B finial C C finial D D finial E E finial F F finial G G finial H H finial N No finial	1 Hex head bolts 2 Allen head bolts 3 Hex head bolts 4 Hex head bolts 5 Hex head bolts 6 Hex head bolts 7 Hex head bolts 8 Hex head bolts 9 Hex head bolts 10 Hex head bolts 11 Hex head bolts 12 Hex head bolts 13 Hex head bolts 14 Hex head bolts 15 Hex head bolts 16 Hex head bolts 17 Hex head bolts 18 Hex head bolts 19 Hex head bolts 20 Hex head bolts 21 Hex head bolts 22 Hex head bolts 23 Hex head bolts 24 Hex head bolts 25 Hex head bolts 26 Hex head bolts 27 Hex head bolts 28 Hex head bolts 29 Hex head bolts 30 Hex head bolts 31 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bolts 403 Hex head bolts 404 Hex head bolts 405 Hex head bolts 406 Hex head bolts 407 Hex			

TX03 Hagerstown
Post top

Dimensions

17 1/4" (441 mm)

43 1/4" (1098 mm)

Finials

A B C D E F G H

Shown with Finial A and Pod B.

Decorative Pods

Octagonal fitter (A)

Round fitter with scalloped petals (B)

Fluted tapered hourglass fitter (C)

Smooth tapered hourglass fitter (D)

Tapered fluted fitter with scalloped flower petals (E)

Tall round fluted fitter (G)

Round contemporary fitter (H)

Tapered fluted with round stepped fitter (J)

Round fluted long fitter (L)

Decorative leaf fitter with scalloped petals (T)

Max. EPA: 170 sq. ft.
Max. Weight: 37 lbs.

[illegible][illegible]

Lumark

DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides a progressive architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical illuminator creates Crosstour™ integrity to contaminants. The Crosstour MAXX wall luminaire is ideal for wall (or ceiling) mounted retrofit for facade/channel illumination, signage and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

The Crosstour LED design with rugged one-piece, die-cast aluminum back box and hinged hinges provides a durable, timeless style in combination with a full cutoff and reflective lens and are available in 80W, 81W, 81W and 102W. Patented lock hinge features allows for easy and secure installation with the supplied mounting hardware. The back box connects four 1/2" NPT threaded conduit entry points. The back box is secured by four bolts (supplied by others). External mounting brackets back box from the fixture surface. One-piece silicone sealed wet/dry back box. Not recommended for car wash applications.

Optical

Optically sealed optical LED chamber incorporates a custom engineered reflector and high-efficiency illumination. Full spectrum integrator an impact resistant molded reflective prism optical lens assembly meeting requirements for Type IV

Category 5

Projects

Comments

Prepared by

Type

Date

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires thermally optimized with eight lumens per watt (lm/w) at 100° to 180° beam angle. Available in 80W, 81W and 102W models. 100000 hour life expectancy, warm 3000K LED color temperature (CCT).

Electrical

The Crosstour LED is mounted to the die-cast aluminum housing for optimal lens viewing. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 80W, 81W and 102W models operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C (122°F) models available in 80W and 81W models only. Crosstour MAXX luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for tie-branch wiring. Back box is an authorized electrical wiring compartment. Integrated LED electronic driver incorporates surge protection. Input voltage: 120V, 277V, 480V 60Hz, or 347V 60Hz electrical operation. LED is compatible for use with any LED systems only.

Emergency Egress

Optional integral cold weather battery backup system includes emergency operation test switch (battery backup only). Battery backup only, an ACOG indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LED's are wired to provide redundant emergency lighting. UL listed and UL E824 Emergency Lighting.

Finish

Crosstour MAXX is protected with a super durable chrome bronze or stainless white polymer powder coat paint. Super TIGER powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet any American and other domestic performance requirements.

Warranty

Five year warranty.

XTOR

CROSSTOUR

MAXX LED

XTOR
CROSSTOUR
MAXX LED

INVERTED SITE LIGHTING

CERTIFICATION DATA
 UL/ULC Wet Location Listed
 Back Box Approved For Mount, Full cutoff, and 3000K CCT only
 Designated "Competent" Qualifier¹
 LM79 / LM80 Compliant
 UL94 V-0 (RST Model)
 NEMA Compliant Models
 300 Vibration Tested
 UL94 V-0 (RST Model)
 IP60 Rated

TECHNICAL DATA
 20°C Ambient Temperature
 External Supply Wiring 90°C Minimum


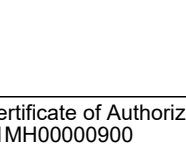
EPA
 Effective Projected Area (Sq. Ft.)
 X101R, X101R-X, X101R12=0.54

SHIPPING DATA
 Approximate Net Weight:
 13.15 lbs. (5.94 kg.)

7057402400
 November 18, 2021 04:00 PM

***www.designlights.org**

STOCK ORDERING INFORMATION				
Domestic Preferences, ¹ (Black)-Standard	SWF Series	RTW Series	100W Series	
Full Cut Off				
AAA-Buy American Act	XTORB-SW, 5000K, Carbon Bronze	XTORB-SW, 5000K, Carbon Bronze	XTORB-SW, 5000K, Carbon Bronze	
TRA - Trade Agreements Act	XTORB-PC1-SW, 5000K, 120V PC, Carbon Bronze	XTORB-PC1-SW, 5000K, 120V PC, Carbon Bronze	XTORB-PC1-SW, 5000K, 120V PC, Carbon Bronze	
	XTORB-W-SW, 5000K, Summit White	XTORB-W-SW, 5000K, Summit White		
	XTORB-W-SW, 4000K, Carbon Bronze	XTORB-W-SW, 5000K, 240-277V PC, Carbon Bronze		
	XTORB-PC2-SW, 5000K, 240-277V PC, Carbon Bronze	XTORB-MV-SW, 5000K, Carbon Bronze, 347V		
Reduction Lens				
	XTORBRL-SW, 5000K, Reduction Lens, Carbon Bronze	XTORBRL-SW, 5000K, Reduction Lens, Carbon Bronze	XTORBRL-SW, 5000K, Reduction Lens, Carbon Bronze	
	XTORBRL-PC1-SW, 5000K, Reduction Lens, 120V PC, Carbon Bronze	XTORBRL-PC1-SW, 5000K, Reduction Lens, 120V PC, Carbon Bronze	XTORBRL-PC1-SW, 5000K, Reduction Lens, 120V PC, Carbon Bronze	
	XTORBRL-W-SW, 5000K, Reduction Lens, Summit White	XTORBRL-W-SW, 5000K, Reduction Lens, Summit White	XTORBRL-W-SW, 5000K, Reduction Lens, Carbon Bronze, 347V	
	XTORBRL-W-SW, 4000K, Reduction Lens, Carbon Bronze	XTORBRL-PC2-SW, 5000K, Reduction Lens, 240-277V PC, Carbon Bronze		
	XTORBRL-PC2-SW, 5000K, Reduction Lens, 240-277V PC, Carbon Bronze	XTORBRL-W-SW, 4000K, Reduction Lens, Carbon Bronze		
	XTORBRL-MV-SW, 5000K, Reduction Lens, Carbon Bronze, 347V	XTORBRL-W-SW, 5000K, Reduction Lens, Carbon Bronze		

	
STEARNS ASSOCIATES LLC 15 Williamson Lane Lambertville, NJ 08530-3518 T: 609-397-1880	
Certificate of Authorization P1MND0000000	
	
D. Thomas Stearns NJ Licensed Landscape Architect	
Signature and Seal Professional License Number NJAS00512	
Applicant: AO PLAINSBORO, LLC c/o Onyx Equities, LLC 900 Route 9 North, Suite 301 Woodbridge, NJ 07095 732-362-8800	
Application Number: P23-04	
Project CHASE BANK PAD SITE Plainboro Plaza 10 Schalks Crossing Road Block 1602, Lot 5, 27.22 Acres PLAINSBORO TOWNSHIP MIDDLESEX COUNTY, NJ	

Sheet Title		
<h1 style="text-align: center;">LIGHTING CUTSHEETS</h1>		
Scale	Drawn	Project No.
AS SHOWN	KR/KS	X
Sheet No.		

Versions		
No.	Date	Description
1	8/16/2023	OWNER REVIEW
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Tom Stearns
D. Thomas Stearns
NJ Licensed Landscape Architect

Signature and Seal
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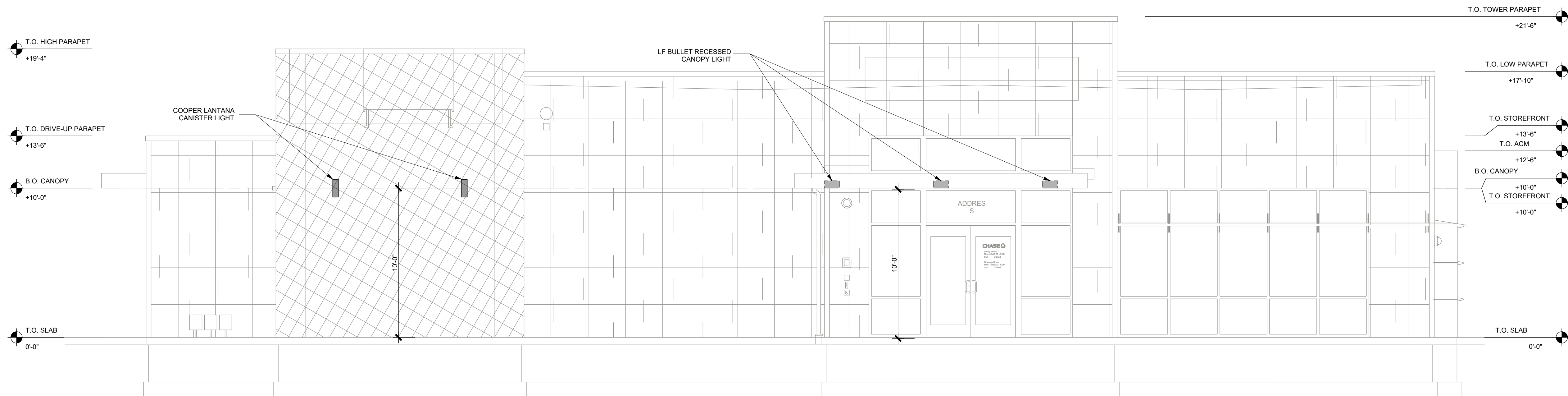
Application Number: P23-04

Project
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

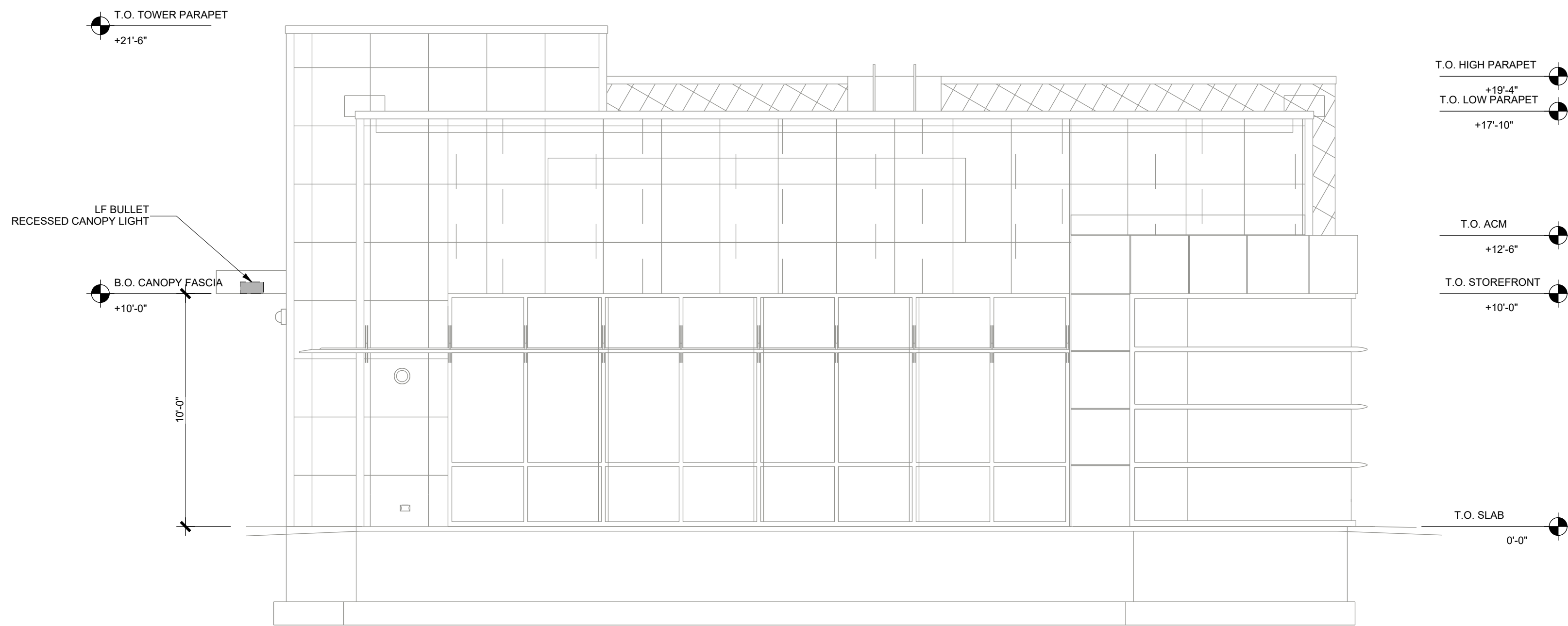
Sheet Title
**ARCHITECTURAL
ELEVATIONS
FOR BUILDING LIGHTING**

Scale	Drawn	Project No.
AS SHOWN	KR/KS	X
Sheet No.		

L5.1



1 Main Entry Elevation - Canister Lights and Canopy
SCALE: 1/4"=1'-0"



2 End Elevation
SCALE: 1/4"=1'-0"

NOTE:
Architectural elevations are provided to
show building light fixtures only.

Versions

No.	Date	Description
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Project

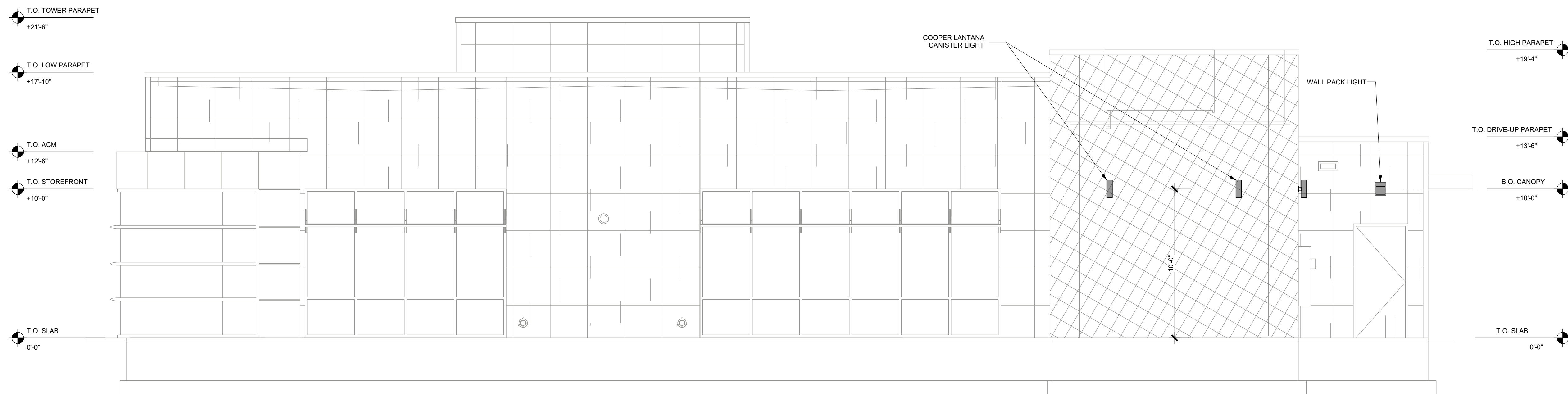
CHASE BANK PAD SITE
Plainsboro Plaza
10 Schalks Crossing Road
Block 1602, Lot 5, 27.22 Acres
PLAINSBORO TOWNSHIP
MIDDLESEX COUNTY, NJ

Sheet Title

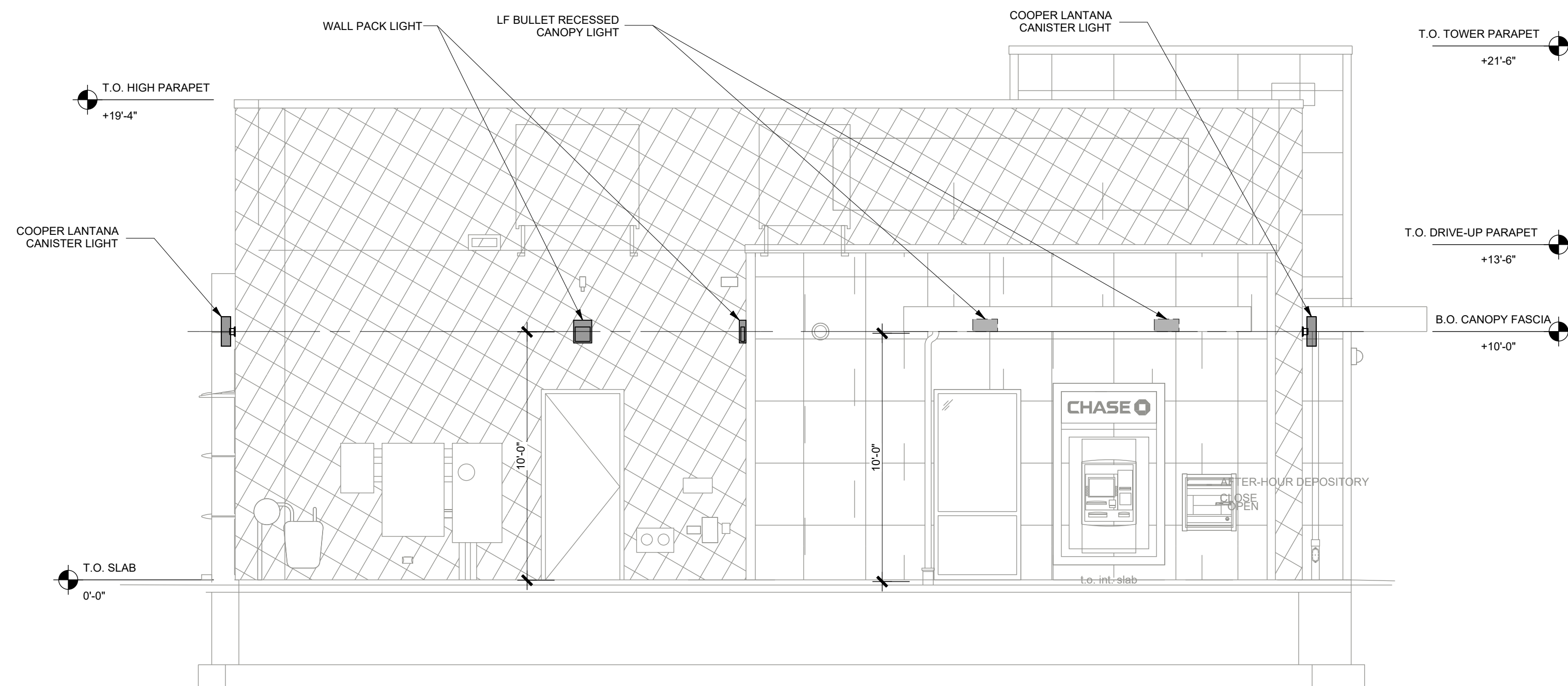
ELEVATIONS

Scale	Drawn	Project No.
AS SHOWN	KR/KS	X
Sheet No.		

L5.2

**1** Rear Elevation

SCALE: 1/4"=1'-0"

**2** B.O.H. End Elevation

SCALE: 1/4"=1'-0"

NOTE:

Architectural elevations are provided to
show building light fixtures only.