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• Wetlands Delineation
• Tree Inventory
• Tree Removal
• Tree Preservation
• Tree Relocation
• Tree Replacement
• Tree Stump Removal
• Tree Pruning
• Tree Topping
• Tree Limb Removal
• Tree Root Removal
• Tree Root Pruning
• Tree Root Barriers
• Tree Root Guards
• Tree Root Collars
• Tree Root Caps
• Tree Root Shields
• Tree Root Screens
• Tree Root Filters
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Joseph Como, RA

20 Hendrickson Road, Lawrenceville, N.J. 08648

• Mobile 609. 610. 6158 • JVCNU1616@yahoo.com



Date: 6/26/24

S-1

DRAWING TITLE
PROPOSED SITE PLAN

PROJECT NO.
38 (2024)

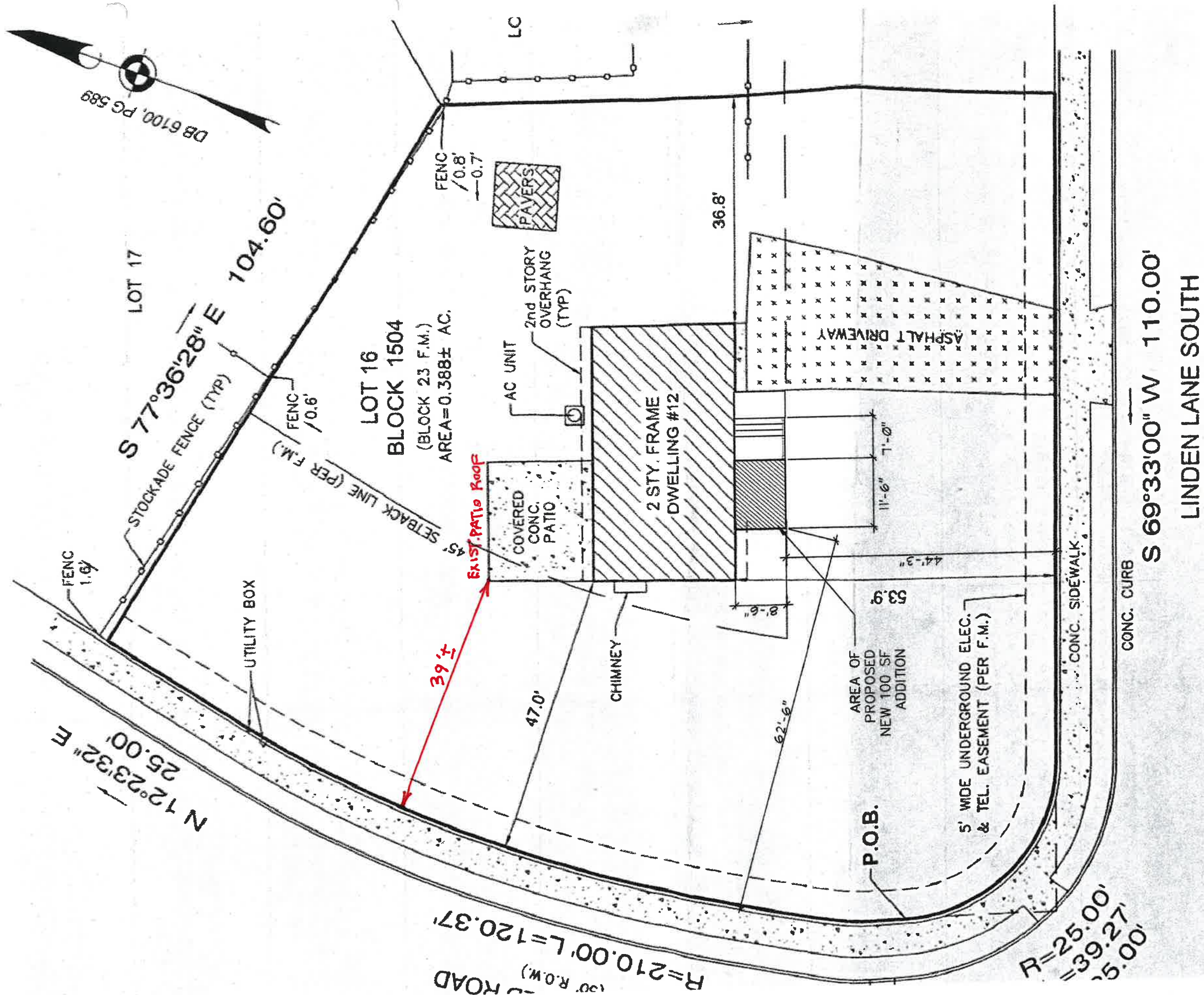
DATE
6/26/2024

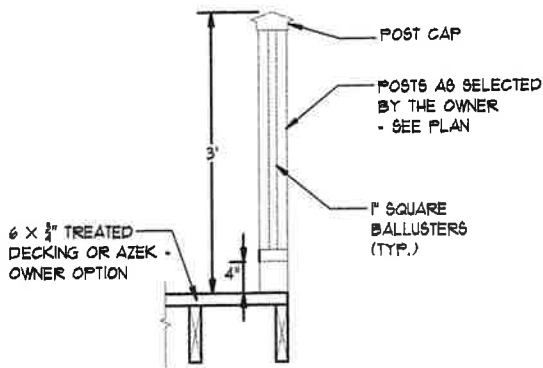
DRAWN BY
JVC

PROJECT
Porch
Addition at
12 Linden Lane
South,
Plainsboro,
NJ 08536

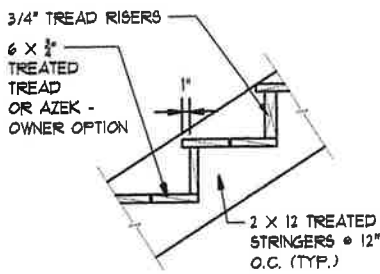
PARTIAL SITE PLAN (by others)

SCALE: 1/16" = 1'-0"





TYPICAL STAIR RAILING DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL TREAD AND RISER DETAIL
SCALE: 1/2" = 1'-0"

LOADING CRITERIA: (2021 & IRC)

ROOF - LL = 20, DL = 20, TL = 45
1ST FLOOR - LL = 40, DL = 20, TL = 60
WALLS AND ROOF WIND, 120 MPH, 3 SECOND GUST - 20 PSF, HORIZONTAL LOAD, UPLIFT = 11 PSF

ELECTRICAL NOTE:
THE AREA OF THE NEW ADDITION IS LESS THAN 25% OF THE EXISTING HOUSE TOTAL SF. THEREFORE, ALL SMOKE ALARMS IN THE HOME ARE NOT REQUIRED TO BE UPGRADED TO HARD WIRED WITH BATTERY BACK-UPS, ON EACH LEVEL, OUTSIDE SLEEPING ROOMS, AND INSIDE ALL SLEEPING ROOMS.

APPLICABLE CODES

CONSTRUCTION CODE - NEW JERSEY REHABILITATION SUBCODE 5:23-6
BUILDING SUBCODE - INTERNATIONAL RESIDENTIAL CODE 2021 - NJ EDITION
PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING CODE 2021
MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2021
ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE (NFPA 70) 2020
ENERGY SUBCODE - INTERNATIONAL ENERGY CONSERVATION CODE 2021

PROJECT SUMMARY

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF A NEW FRONT VESTIBULE ADDITION AND FRONT STEPS. THE NEW ADDITION IS IN THE LOCATION OF THE EXISTING STAIRS THAT WILL BE REMOVED.

BUILDING ANALYSIS

USE GROUP : 'R-5' RESIDENTIAL
CONSTRUCTION TYPE : 5B
ADDED FLOOR AREA: 1ST FLOOR = 100 SF
STORIES: 2-STORY, NO CHANGE

GENERAL PROJECT NOTES:

1. ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING DRAWINGS TO THE BUILDING DEPARTMENT FOR PERMITTING. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (7) DAYS PRIOR TO SUBMISSION. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHANGE IN CONTRACT PRICE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES OUTLINED IN AGREEMENT WITH OWNER, ONLY IF SUCH A COMPLETION DATE IS AGREED TO IN THE CONTRACT.
4. DETAILS NOTED TYPICAL "TYP" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
5. ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION.
6. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR.
7. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL GOOD BUILDING PRACTICES, INCLUDING THE LATEST CONSTRUCTION INDUSTRY STANDARDS AND ALL ITEMS RELATED TO I.C.C., THE INTERNATIONAL AL CODE COUNCIL.
8. ARCHITECT CONTRACTED TO FURNISH CONSTRUCTION "PERMIT DRAWINGS" THAT MEET THE APPROVAL OF THE BUILDING DEPARTMENT FOR ISSUANCE OF A BUILDING PERMIT FOR THE PROJECT ONLY. ARCHITECT NOT CONTRACTED TO PERFORM ADDITIONAL SERVICES AFTER THE ISSUANCE OF THE BUILDING PERMIT, OR CONSTRUCTION ADMINISTRATION.
9. FAILED INSPECTIONS DUE TO UN-APPROVED CHANGES IN THE FIELD BY THE "CONSTRUCTOR" ARE THE RESPONSIBILITY OF THE "CONSTRUCTOR" TO CORRECT. IF ADDITIONAL DRAWINGS (FOR AS-BUILTS) OR SERVICES BY THE ARCHITECT ARE REQUESTED BECAUSE OF A CHANGE FROM THE DOCUMENTS, IT WILL BE AT THE CONSTRUCTORS EXPENSE.
10. ALL WIRING SHALL BE NEMA
11. ELECTRIC LAYOUT, LIGHTING LAYOUT, AND PANEL SCHEDULE TO BE PROVIDED BY LICENSED ELECTRICIAN.
12. ALL NEW LIGHTING FIXTURES TO UTILIZE EXISTING CIRCUITS AND ONLY NEW LIGHTING FIXTURES AND OUTLETS ARE SHOWN.
13. NEW WINDOWS ARE TO BE ANDERSON 400 SERIES, EQUAL OR BETTER, WINDOWS AS SUPPLIED BY GC AND TO HAVE INSECT SCREENS AS WELL AS HIGH PERFORMANCE LOW-E GLASS. EXISTING OPENINGS AND WINDOWS ARE TO BE FIELD VERIFIED FOR REPLACEMENT IN LIKE SIZE IF REQUESTED TO BE REPLACED BY THE OWNER (TYP.)
14. WINDOWS LOWER THAN 20" FROM FLOOR AND W/ IN 4' OF AN OPENING DOOR NEEDS TO BE TEMPERED GLASS
15. CONTRACTORS ARE RESPONSIBLE FOR UTILITY SITE MARK-OUT, OR 'CALL BEFORE YOU DIG' PRIOR TO THE START OF ANY SITE WORK TO DETERMINE EXISTING UNDERGROUND UTILITY LOCATIONS.
16. IF REQUIRED BY TOWN, THE GENERAL CONTRACTOR SHALL INSTALL RADON SYSTEM IN CRAWL SPACE PER CODE AND INSTALLATION NOTES ON THIS SHEET.

TYPICAL STAIR NOTES:

1. STAIR TREADS SHALL BE 9" MIN. WITH 1" NOSING
2. STAIR RISERS SHALL BE 7 3/4" MAX.
3. HAND RAILS SHALL BE 34" ABOVE THE STAIR NOSING.
HAVE A MIN. OF 1 1/2" SPACE BETWEEN RAIL AND WALL/ POST.
5. GUARD RAIL SHALL BE 36" ABOVE LEVEL SURFACE AND TO BE A MINIMUM 34" HIGH MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR NOSING.
6. ALL BALUSTERS AT ALL GUARDRAILS SHALL BE VERTICAL, AND SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH AN OPENING.
7. MINIMUM OF 36" CLEAR WIDTH FOR STAIR

RADON VENTILATION REQUIRED BY TOWNSHIP IF THE LOCATION OF THE PROPERTY IS WITHIN THE RADON ZONES REQUIRING VENTING

RADON VENTILATION NOTES:

1. INSTALL A LENGTH OF 3" DIAMETER PERFORATED DRAIN PIPE HORIZONTALLY BENEATH THE SLAB AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
2. VENTILATE CRAWLSPACES IN CONFORMANCE WITH LOCAL CODES: VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT.
4. ALL SEAMS AT VAPOR BARRIER SHALL BE LAPPED A MINIMUM OF 12". ALL JOINTS IN FOUNDATION WALLS AND FLOOR SLABS SHALL BE SEALED WITH AN APPROVED RADON JOINT SEALANT AS PER N.J.A.C. 5:23-10.4.
5. ALL OPENINGS / PENETRATIONS OF ALL FOUNDATION WALLS SHALL BE SEALED WITH POLYURETHANE CAULK FOR RADON PROTECTION. TYPICAL.
6. RADON VENTING PLAN SHOWS LOCATION OF 'T' PIPE FITTING AND 3" DIAMETER PVC VENT PIPE COVERING 1500 SF OF PLAN AREA COMPLYING WITH U.C.C. SUBCHAPTER 10. VENT PIPES ARE VENTED THROUGH ROOF.
7. FLOORS OF CRAWL SPACE OR BASEMENTS W/ SLAB ON GRADE CONSTRUCTION SHALL BE PLACED OVER A BASE COURSE OF NOT LESS THAN 4" IN THICKNESS OF GRAVEL OR CRUSHED STONE CONTAINING NO MORE THAN 10% OF MATERIAL THAT PASSES THROUGH A #4 SIEVE. TYPICAL.
8. VENT PIPES SHALL BE LABELED AT INTERVALS OF NOT MORE THAN 25' IN CONCEALED LOCATIONS, NOT MORE THAN 50' IN EXPOSED LOCATIONS AND NOT LESS THAN ONCE IN ANY ROOM OR SPACE.

A-1

DRAWING TITLE
CODE INFORMATION,
TYPICAL NOTES AND
DETAIL

PROJECT NO.
38 (2024)

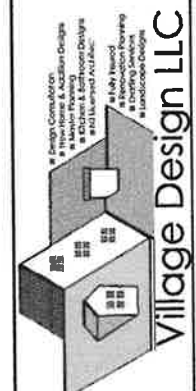
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Call Before You Dig!

Careless digging can damage underground utilities, causing disruption of vital services, property damage and even possible injury. Taking the proper steps to avoid damage can prevent expensive repairs, project delays and costly fines.



At least three business days, prior to outdoor construction or digging, contractors and property owners whoever is excavating must call New Jersey One Call at 811 or 800-272-1000 and take the following steps:

Wait for the site to be marked with paint, flags or stakes. Yellow indicates the presence of underground natural gas lines. Respect the marks and dig with care. Hand dig within two feet of buried piping and facilities. Be mindful that inclement weather may wash away the painted markings.

Know what's below and call before you dig # 811 or 800-272-1000.

It's FREE and it's the LAW.

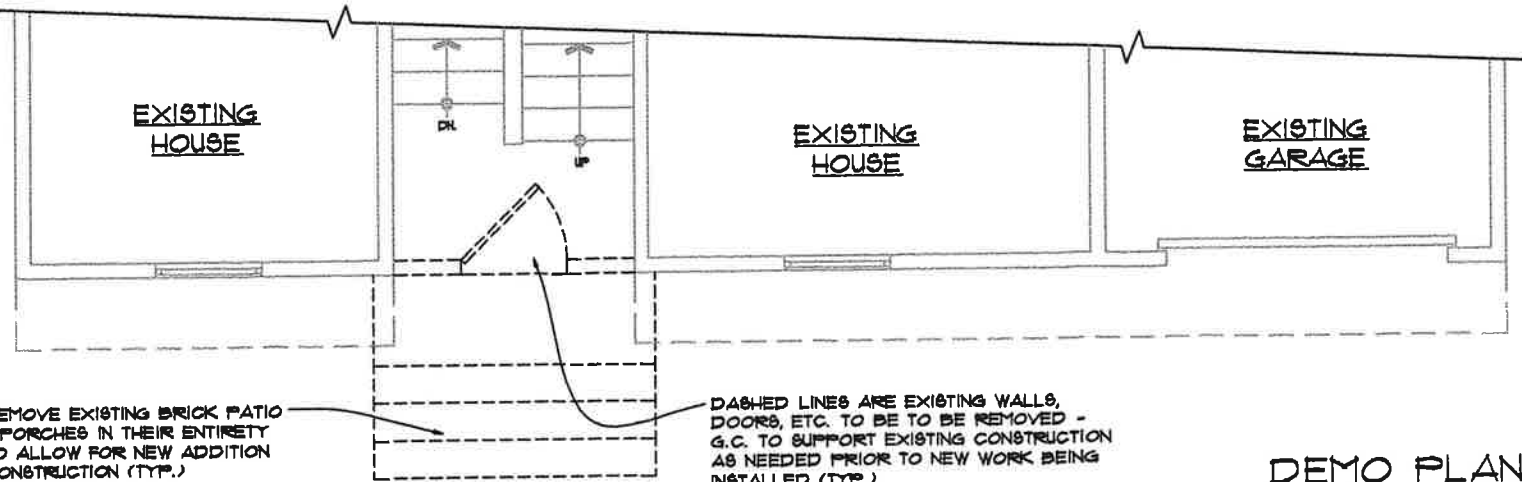
LEGEND:

-  EXISTING WALLS TO REMAIN
-  WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED - SEE NOTES ON DEMO PLAN (TYP.)



EXISTING ELEVATION

SCALE: 3/16" = 1'-0"



DEMO PLAN

SCALE: 3/16" = 1'-0"

FRAMING LUMBER:

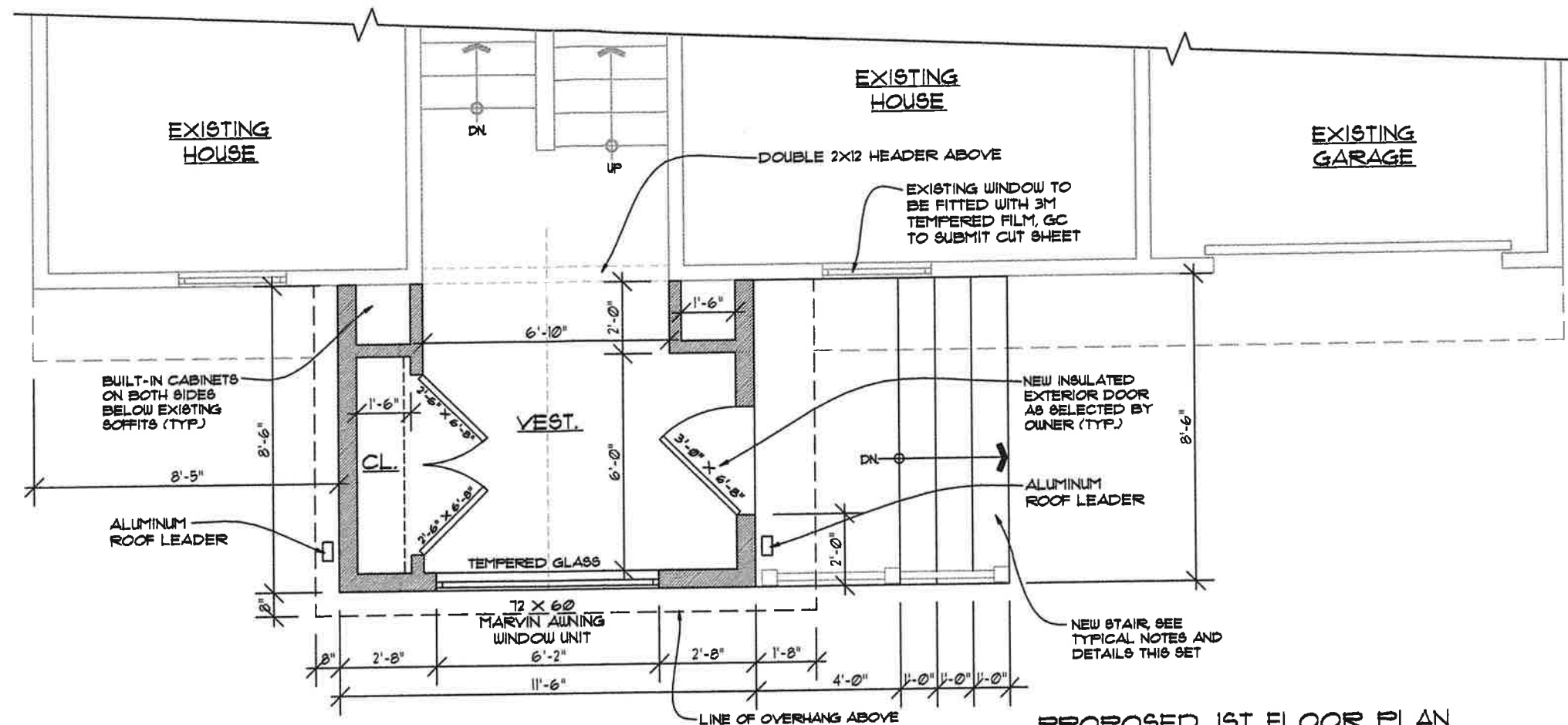
1. JOISTS AND RAFTERS SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER AS GRADED BY WCLIB OR WUPA.
2. STUDS SHALL BE EQUAL TO HEM FIR CONSTRUCTION GRADE OR BETTER AS GRADED BY WCLIB OR WUPA.
3. ALL CONNECTORS, NAILS, LAG BOLTS, THRU-BOLTS BEING USED IN CONTACT WITH ALKALINE COPPER QUATERNARY (ACQ) TREATED LUMBER ARE TO BE HOT-DIPPED ZINC GALVANIZED, TRIPLE ZINC-COATED (ELECTROPLATED) OR STAINLESS STEEL.
4. PARALAM, LVL, GLULAM, ETC. SHALL BE Fb=2,800 PSI (MIN.), E=2.0X10⁶ PSI (MIN.). TYPICAL.
5. DEFLECTION FOR FLOOR JOIST SHALL BE $\Delta = L/480$, FOR LIVE LOADS, AND $L/360$ FOR TOTAL LOADS. TYPICAL.

PLYWOOD SHEATHING:

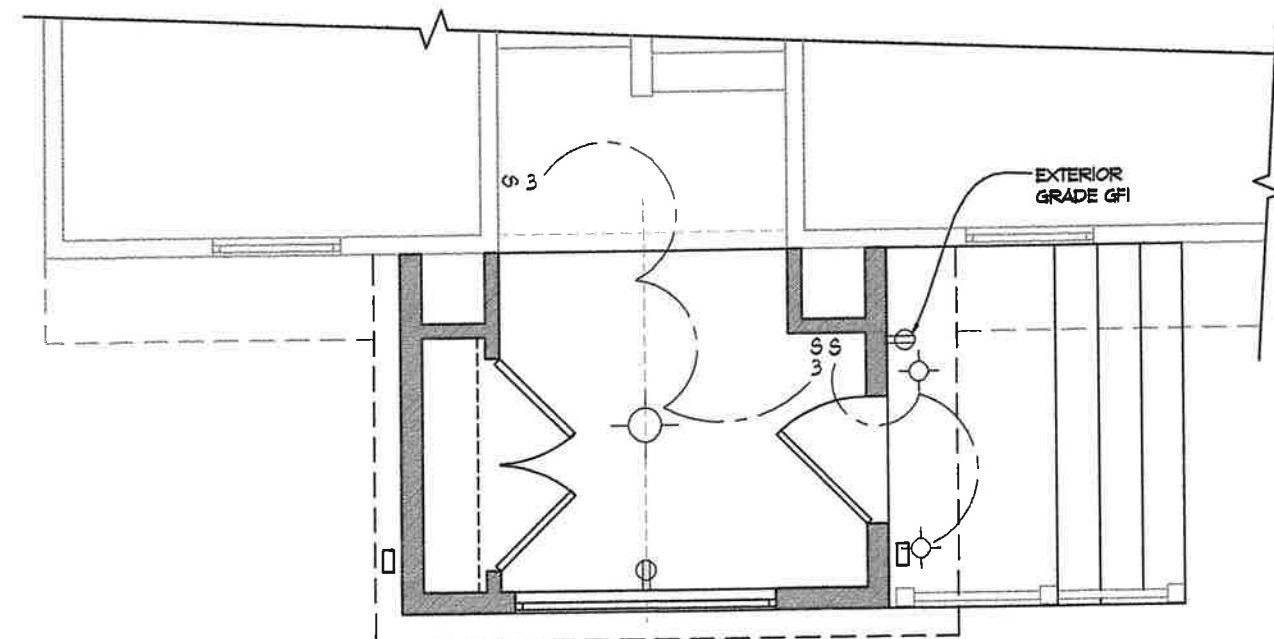
1. ALL PLYWOOD SHEATHING SHALL COMPLY WITH APA. PLYWOOD SHALL MEET C-D INTERIOR APA, STRUCTURAL I AND II C-D INTERIOR APA, OR STRUCTURAL I AND II C-D EXTERIOR APA.
2. ROOF SHEATHING: 1/2" THICK
3. WALL SHEATHING: 1/2" THICK
5. ATTACHMENT TO BE IN ACCORDANCE WITH IBC 2021 W/ NJ MODIFICATION REQUIREMENTS.
6. ALL PLYWOOD TO HAVE EXTERIOR GLUE.

LEGEND:

- EXISTING WALLS TO REMAIN
- NEW INTERIOR WALLS, 2X4 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD. ON BOTH SIDES (TYP.)
- NEW EXTERIOR WALLS, 2X6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD., ON INTERIOR, R21 BATT, 1/2" PLYWOOD, AND SIDING TO MATCH EXISTING IN ALL RESPECTS.
- GFI GFI DUPLEX OUTLET
- DUPLEX OUTLET
- LIGHT FIXTURE, WALL OR CEILING
- S SWITCH, 3-WAY SWITCHES AS NOTED



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED ELECTRICAL LAYOUT
NOT TO SCALE

A-3

DRAWING TITLE
PROPOSED PLAN,
SPECIFICATIONS,
NOTES AND
DETAILS

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Village Design LLC
Design/Construction/Interior Design
• Kitchen & Bathroom Design
• Kitchen Remodeling
• Bath Remodeling
• Home Addition/Remodeling
• Landscaping/Retaining Walls
• Foundation Repairs

CAST-IN-PLACE CONCRETE

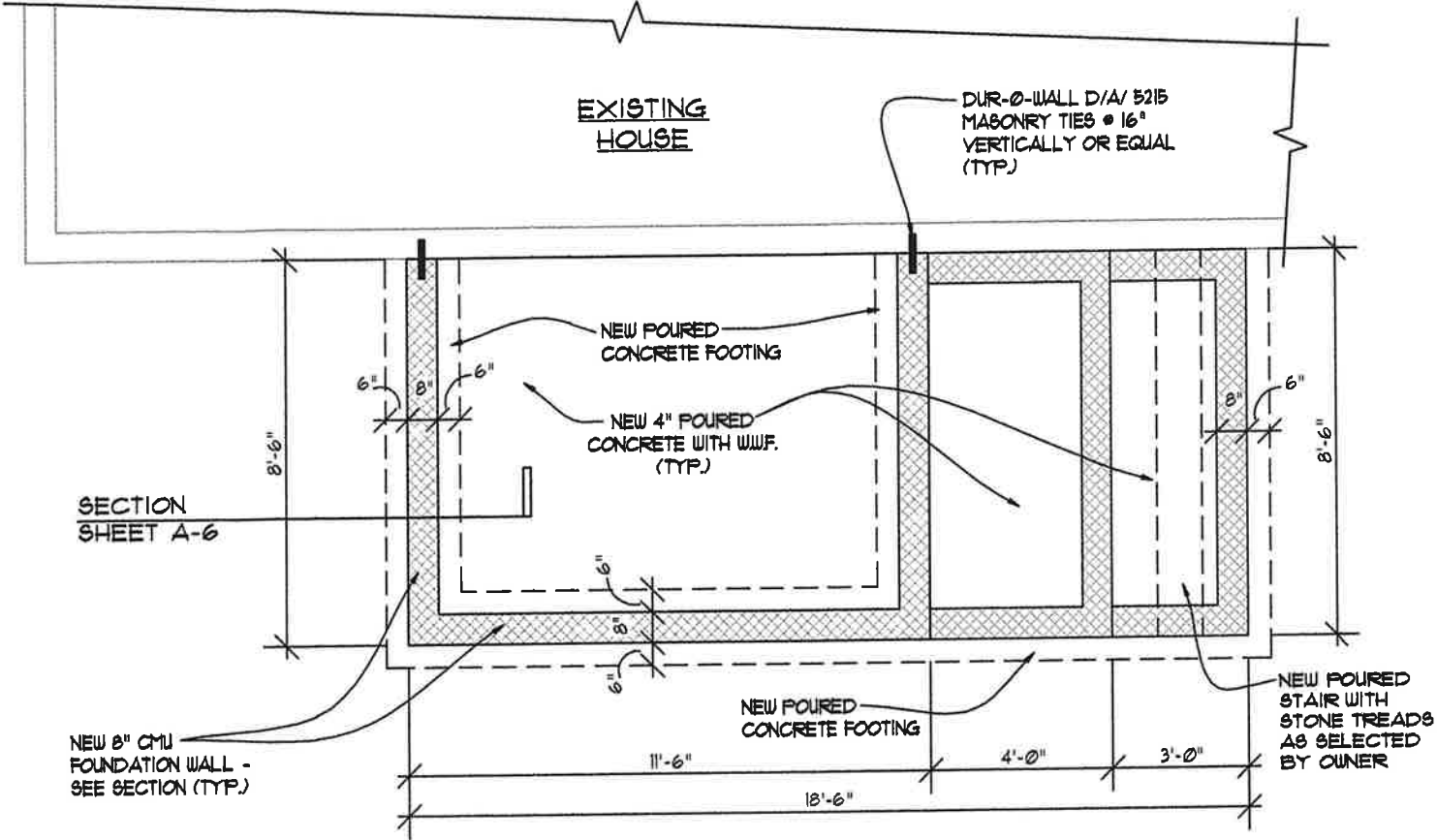
1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.
2. ALL CONCRETE, EXCEPT SLABS ON GRADE, SHALL ATTAIN 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE FOR SLABS ON GRADE SHALL ATTAIN 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
3. READY MIX:
A. COMPLY WITH ACI-301, ACI-304 AND ASTM C-94.
B. MAXIMUM TIME BETWEEN INTRODUCTION OF WATER AND PLACING TO BE 1-1/2 HOURS.
C. MINIMUM CEMENT CONTENT SHALL BE 410 POUNDS PER CUBIC YARD FOR 3000 PSI CONCRETE, AND 520 POUNDS PER CUBIC YARD FOR 3500 PSI CONCRETE.
D. MAXIMUM WATER CEMENT RATIO SHALL BE 0.51 FOR 3000 PSI CONCRETE, AND 0.47 FOR 3500 PSI CONCRETE.
E. MAXIMUM SLUMP OF CONCRETE SHALL BE 4 INCHES AS DETERMINED BY ASTM C-143. MAXIMUM SLUMP OF CONCRETE SHALL BE 3 INCHES, AND 8" AFTER ADDITION OF HRWR TO SITE VERIFIED 3" SLUMP FOR CONCRETE CONTAINING HRWR ADMIXTURE AS DETERMINED BY ASTM C-143.
F. ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4-5% AS DETERMINED BY ASTM C-231 OR C-173.
G. DO NOT LOAD TRUCKS ABOVE RATED CAPACITY.
H. HIGH-RANGE WATER-REDUCING ADMIXTURE (SUPER PLASTICIZER) SHALL CONFORM TO ASTM C-494, TYPE F OR G AND CONTAIN NOT MORE THAN 0.1 PERCENT CHLORIDE IONS.
4. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
5. THROUGHOUT CONSTRUCTION THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
6. ALL MATERIALS SHALL BE STORED TO PROTECT THEM AGAINST THE ELEMENTS.

FOUNDATION

1. ALL FOOTINGS SHALL BEAR ON SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1.5 TONS PER SQUARE FOOT. CONFIRM IN FIELD PRIOR TO PLACING FOOTINGS.
2. ELEVATIONS GIVEN CORRESPOND TO THE COMPUTED BOTTOM OF FOOTINGS AND ARE MINIMUM DEPTHS WHICH ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE DEPTH REQUIRED TO REACH GOOD BEARING.
3. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. AFTER FOOTINGS ARE PLACED THEY SHALL BE PROTECTED AGAINST FROST.
4. FILL AND BACKFILL MATERIAL SHALL BE FREE OF DELETERIOUS ORGANIC MATTER.

MASONRY

1. ALL BLOCK WORK SHALL BE IN ACCORDANCE WITH IRC 'CURRENT' EDITION AND OTHER APPLICABLE CODES.
2. ALL BLOCK SHALL BE LIGHTWEIGHT AGGREGATE AND CONFORM TO ASTM C 90.
3. MORTAR SHALL BE ASTM C 270, TYPE M FOR BELOW GRADE AND TYPE M OR S FOR ABOVE GRADE WORK.
4. WHERE BLOCK FILL IS CALLED FOR ON DRAWINGS, USE TYPE M MORTAR OR CONCRETE WITH A COMPRESSIVE STRENGTH OF 2500 PSI IN ACCORDANCE WITH ASTM C 476, AND INSTALLED IN ACCORDANCE WITH ACI-531 FOR HIGH OR LOW LIFT PROCEDURES.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

GENERAL HANGAR SCHEDULE

WHERE APPLIES	TYPE OF SIMPSON STRONG TIE HANGAR
ROOF FRAMING TO TOP OF WALLS	H 25 A
2X10 JOISTS TO BEAM OR LEDGER	LUS 210
2X8 JOISTS TO BEAM OR LEDGER	LUS 28
2X6 JOISTS TO BEAM OR LEDGER	LU 26
2X6 JOISTS TO BEAM OR LEDGER	LUS 24
DOUBLE 2X10 JOISTS TO BEAM / WALL	LUS 210-2
DOUBLE 2X8 JOISTS TO BEAM / WALL	LUS 28-2

A-4

DRAWING TITLE

FOUNDATION PLAN, NOTES AND DETAILS

PROJECT NO.

38 (2024)

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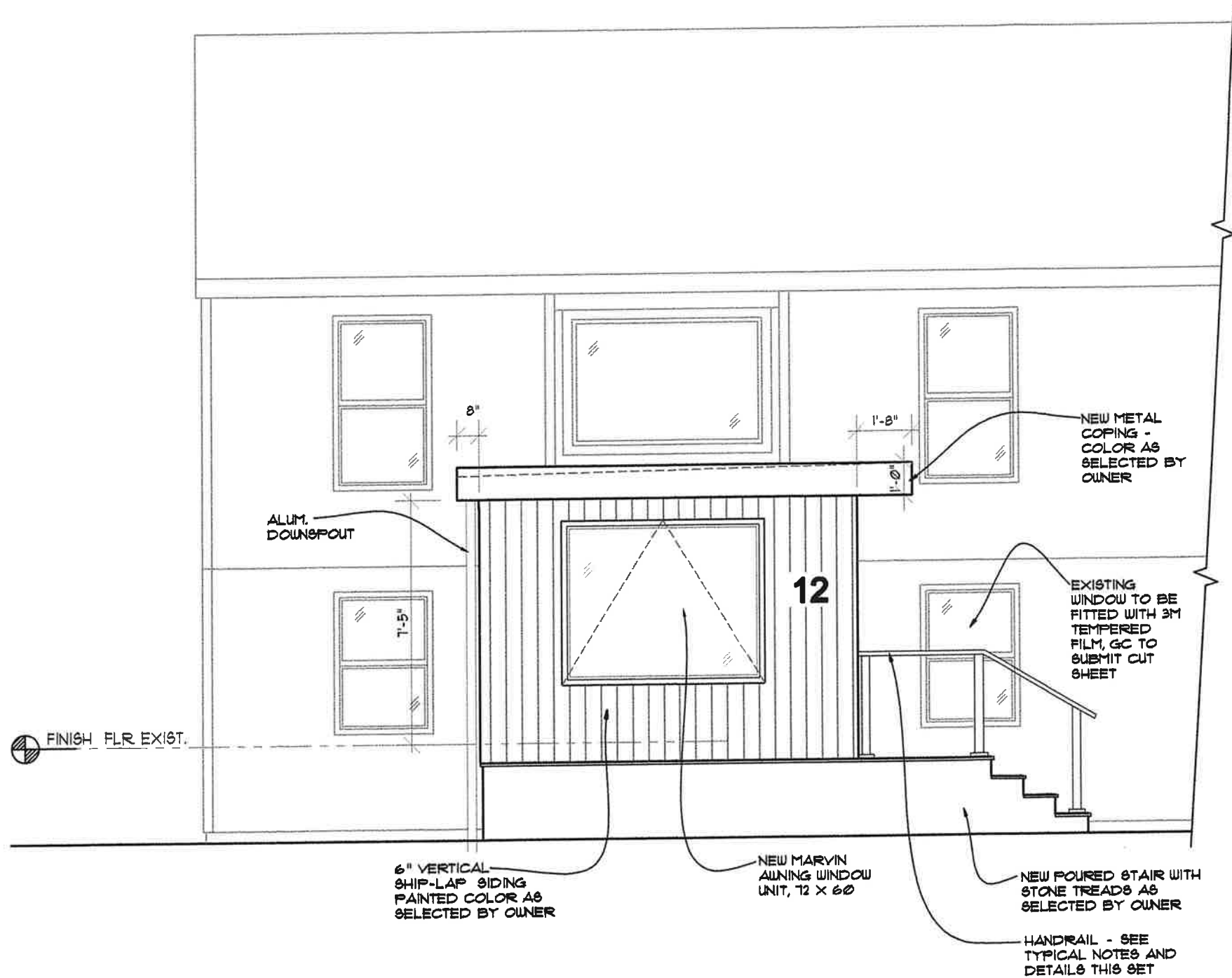
PROJECT

Porch Addition at 12 Linden Lane South, Plainsboro, NJ 08536

[Signature]
Date: 6/26/24

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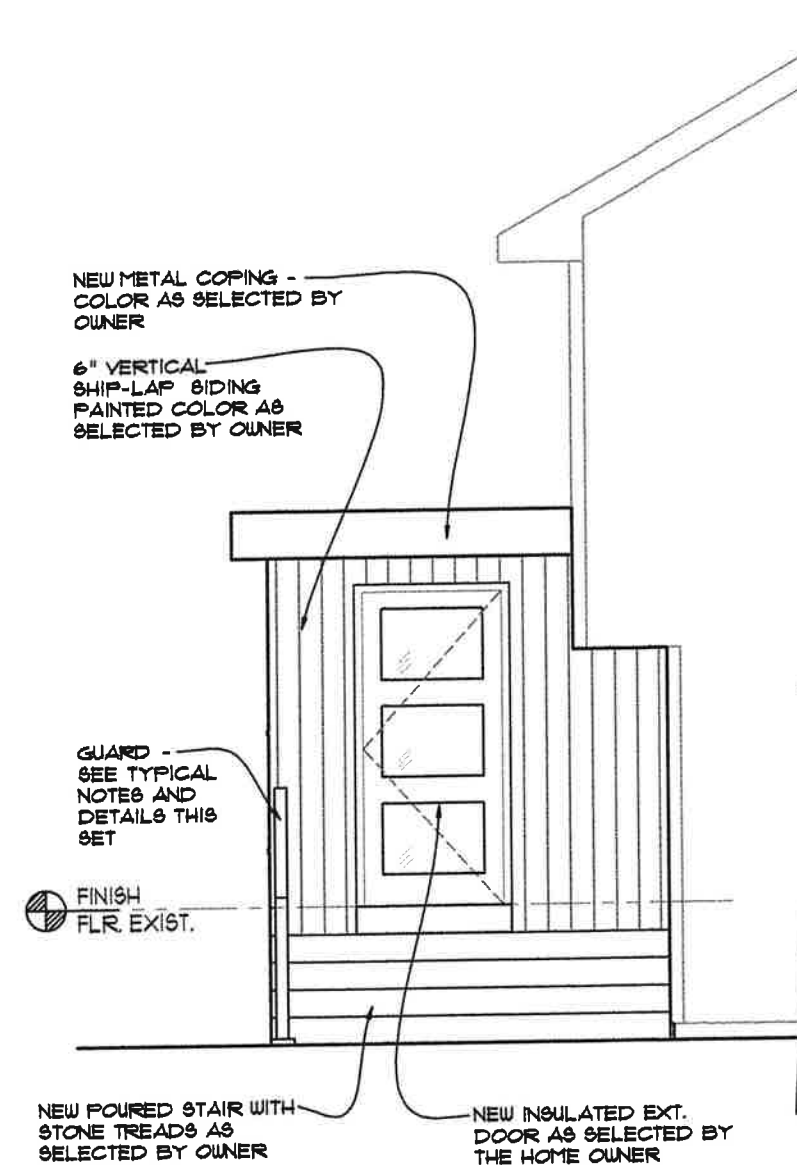
Village Design LLC
Design Consultation
• Free Home & Addition Designs
• Kitchen & Bathroom Designs
• Full Licensed Architect
• Fully Insured
• Drafting Services
• Construction Documents



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

WOOD LOOSE LINTEL SCHEDULE	
ROUGH OPENING	LINTEL SIZE
UP TO 3'-0"	(2) 2 x 6's
3'-1" TO 4'-0"	(2) 2 x 8's
4'-1" TO 6'-0"	(2) 2 x 10's
6'-1" TO 8'-0"	(2) 2 x 12's
OVER 8'-0"	MICRO - LAM

NOTES:
1. PROVIDE (1) JACK STUD FOR SPANS LESS THAN 4 ft., AND (2) FOR SPANS GREATER THAN 4 ft.



PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

A-5

DRAWING TITLE
ELEVATIONS, NOTES
AND DETAILS

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