

PARTIAL SITE PLAN (by others)

SCALE: 1/16 = 1'-0"

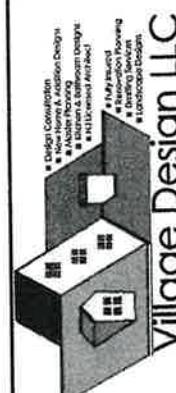
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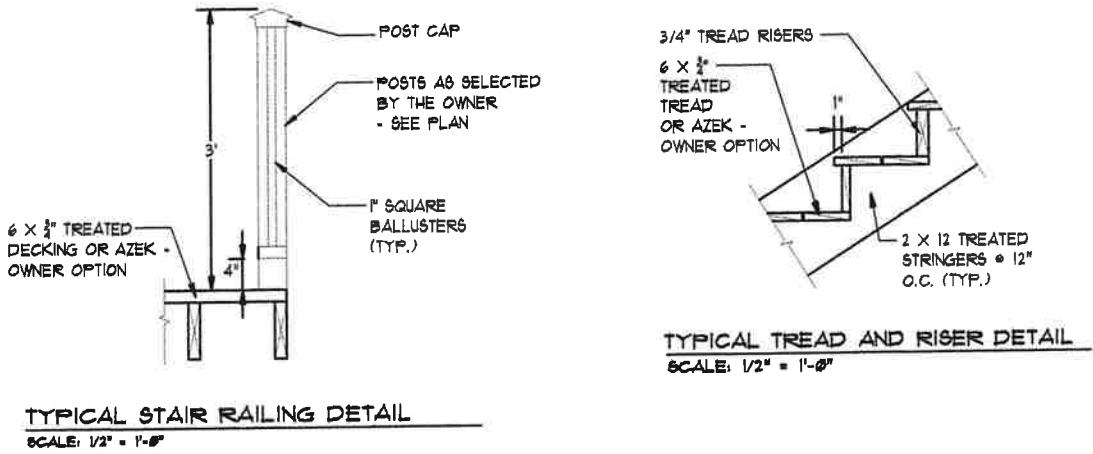
**S-1**

DRAWING TITLE	PROPOSED SITE PLAN
PROJECT NO.	38 (2024)
DATE	6/26/2024
DRAWN BY	JVC
PROJECT	Porch Addition at 12 Linden Lane South, Plainsboro, NJ 08536

*John*

Date: 6/26/24





### LOADING CRITERIA: (2021 & IRC)

ROOF - LL. = 28, DL. = 20, TL. = 45  
1ST FLOOR - LL. = 40, DL. = 20, TL. = 60  
WALLS AND ROOF WIND, 120 MPH, 3 SECOND GUST - 28  
PSF, HORIZONTAL LOAD, UPLIFT = 11 PSF

### ELECTRICAL NOTE:

THE AREA OF THE NEW ADDITION IS LESS THAN 25% OF THE EXISTING HOUSE TOTAL SF. THEREFORE, ALL SMOKE ALARMS IN THE HOME ARE NOT REQUIRED TO BE UPGRADED TO HARD WIRED WITH BATTERY BACK-UPS, ON EACH LEVEL, OUTSIDE SLEEPING ROOMS, AND INSIDE ALL SLEEPING ROOMS.

### APPLICABLE CODES

CONSTRUCTION CODE - NEW JERSEY REHABILITATION SUBCODE 5:23-6  
BUILDING SUBCODE - INTERNATIONAL RESIDENTIAL CODE 2021 - NJ EDITION  
PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING CODE 2021  
MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2021  
ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE (NFPA 70) 2020  
ENERGY SUBCODE - INTERNATIONAL ENERGY CONSERVATION CODE 2021

### PROJECT SUMMARY

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF A NEW FRONT VESTIBULE ADDITION AND FRONT STEPS. THE NEW ADDITION IS IN THE LOCATION OF THE EXISTING STAIRS THAT WILL BE REMOVED.

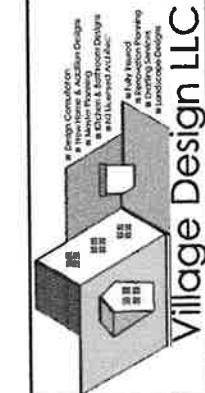
### BUILDING ANALYSIS

USE GROUP: 'R-3' RESIDENTIAL  
CONSTRUCTION TYPE: 5B  
ADDED FLOOR AREA: 1ST FLOOR = 100 SF  
STORIES: 2-STORY, NO CHANGE

### GENERAL PROJECT NOTES:

1. ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING DRAWINGS TO THE BUILDING DEPARTMENT FOR PERMITTING. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (7) DAYS PRIOR SUBMISSION. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHANGE IN CONTRACT PRICE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES OUTLINED IN AGREEMENT WITH OWNER, ONLY IF SUCH A COMPLETION DATE IS AGREED TO IN THE CONTRACT.
4. DETAILS NOTED TYPICAL "TYP" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
5. ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION.
6. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR.
7. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL GOOD BUILDING PRACTICES, INCLUDING THE LATEST CONSTRUCTION INDUSTRY STANDARDS AND ALL ITEMS RELATED TO I.C.C., THE INTERNATIONAL CODE COUNCIL.
8. ARCHITECT CONTRACTED TO FURNISH CONSTRUCTION "PERMIT DRAWINGS" THAT MEET THE APPROVAL OF THE BUILDING DEPARTMENT FOR ISSUANCE OF A BUILDING PERMIT FOR THE PROJECT ONLY. ARCHITECT NOT CONTRACTED TO PERFORM ADDITIONAL SERVICES AFTER THE ISSUANCE OF THE BUILDING PERMIT, OR CONSTRUCTION ADMINISTRATION.
9. FAILED INSPECTIONS DUE TO UNAPPROVED CHANGES IN THE FIELD BY THE "CONTRACTOR" ARE THE RESPONSIBILITY OF THE "CONTRACTOR" TO CORRECT. IF ADDITIONAL DRAWINGS (FOR AS-BUILT) OR SERVICES BY THE ARCHITECT ARE REQUESTED BECAUSE OF A CHANGE FROM THE DOCUMENTS, IT WILL BE AT THE CONTRACTOR'S EXPENSE.
10. ALL WIRING SHALL BE NM.
11. ELECTRIC LAYOUT, LIGHTING LAYOUT, AND PANEL SCHEDULE TO BE PROVIDED BY LICENSED ELECTRICIAN.
12. ALL NEW LIGHTING FIXTURES TO UTILIZE EXISTING CIRCUITS AND ONLY NEW LIGHTING FIXTURES AND OUTLETS ARE SHOWN.
13. NEW WINDOWS ARE TO BE ANDERSON 400 SERIES, EQUAL OR BETTER, WINDOWS AS SUPPLIED BY GC AND TO HAVE INSECT SCREENS AS WELL AS HIGH PERFORMANCE LOW-E GLASS. EXISTING OPENINGS AND WINDOWS ARE TO BE FIELD VERIFIED FOR REPLACEMENT IN LIKE SIZE IF REQUESTED TO BE REPLACED BY THE OWNER (TYP.)
14. WINDOWS LOWER THAN 20" FROM FLOOR AND W/ IN 4' OF AN OPENING DOOR NEEDS TO BE TEMPERED GLASS.
15. CONTRACTORS ARE RESPONSIBLE FOR UTILITY SITE MARK-OUT, OR 'CALL BEFORE YOU DIG' PRIOR TO THE START OF ANY SITE WORK TO DETERMINE EXISTING UNDERGROUND UTILITY LOCATIONS.
16. IF REQUIRED BY TOWN, THE GENERAL CONTRACTOR SHALL INSTALL RADON SYSTEM IN CRAWL SPACE PER CODE AND INSTALLATION NOTES ON THIS SHEET.

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*John*  
Date: 6/26/24

DRAWING TITLE  
CODE INFORMATION, TYPICAL NOTES AND DETAIL.

PROJECT NO.  
38 (2024)

DATE  
6/25/2024

DRAWN BY  
JVC

PROJECT  
Porch  
Addition at  
12 Linden Lane  
South,  
Plainsboro,  
NJ 08536

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Call Before You Dig!

Careless digging can damage underground utilities, causing disruption of vital services, property damage and even possible injury. Taking the proper steps to avoid damage can prevent expensive repairs, project delays and costly fines.

At least three business days, prior to outdoor construction or digging, contractors and property owners whoever is excavating must call New Jersey One Call at 811 or 800-272-1000 and take the following steps:

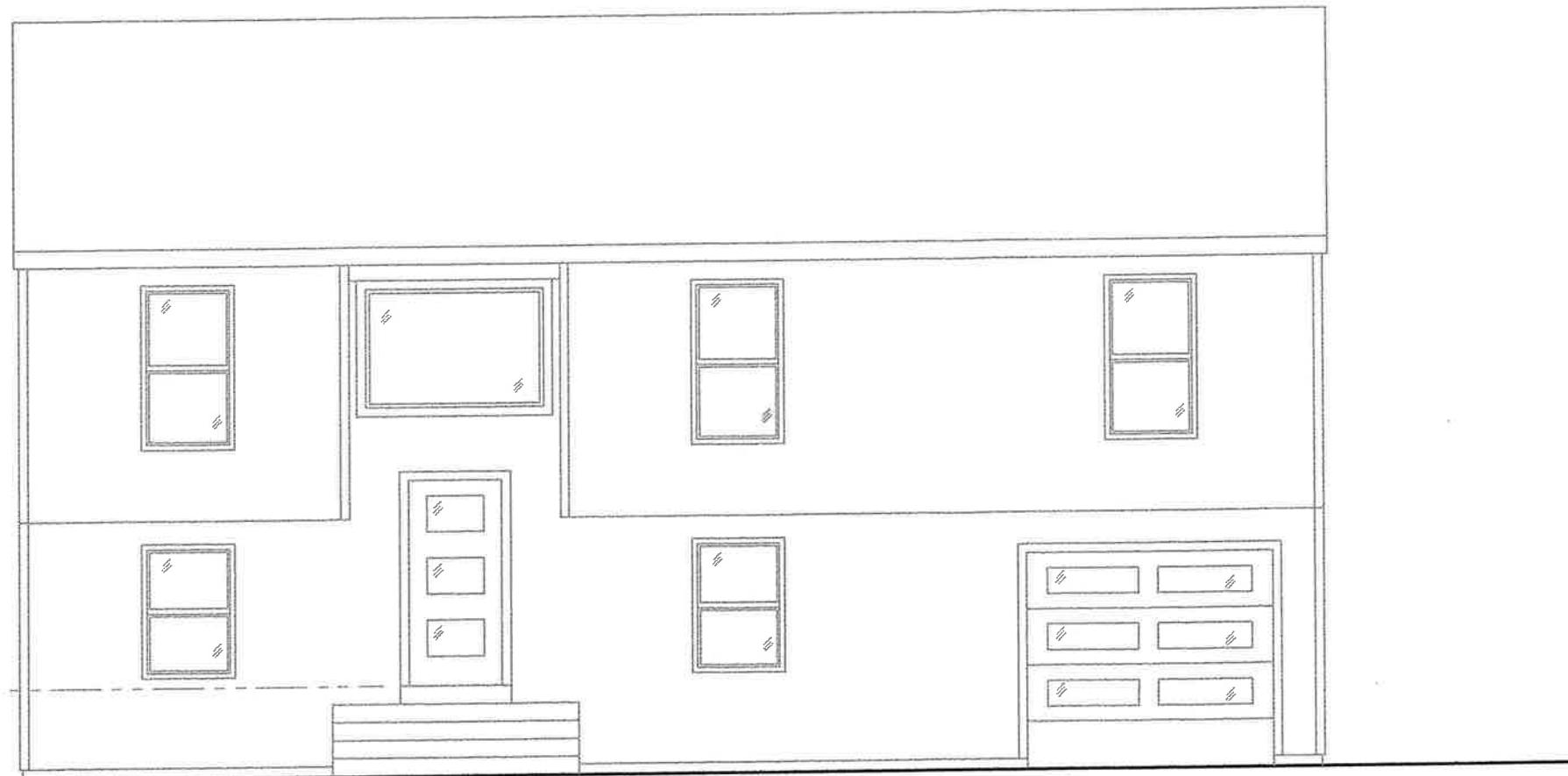
Wait for the site to be marked with paint, flags or stakes. Yellow indicates the presence of underground natural gas lines. Respect the marks and dig with care. Hand dig within two feet of buried piping and facilities. Be mindful that inclement weather may wash away the painted markings.

Know what's below and call before you dig # 811 or 800-272-1000.

It's FREE and it's the LAW.

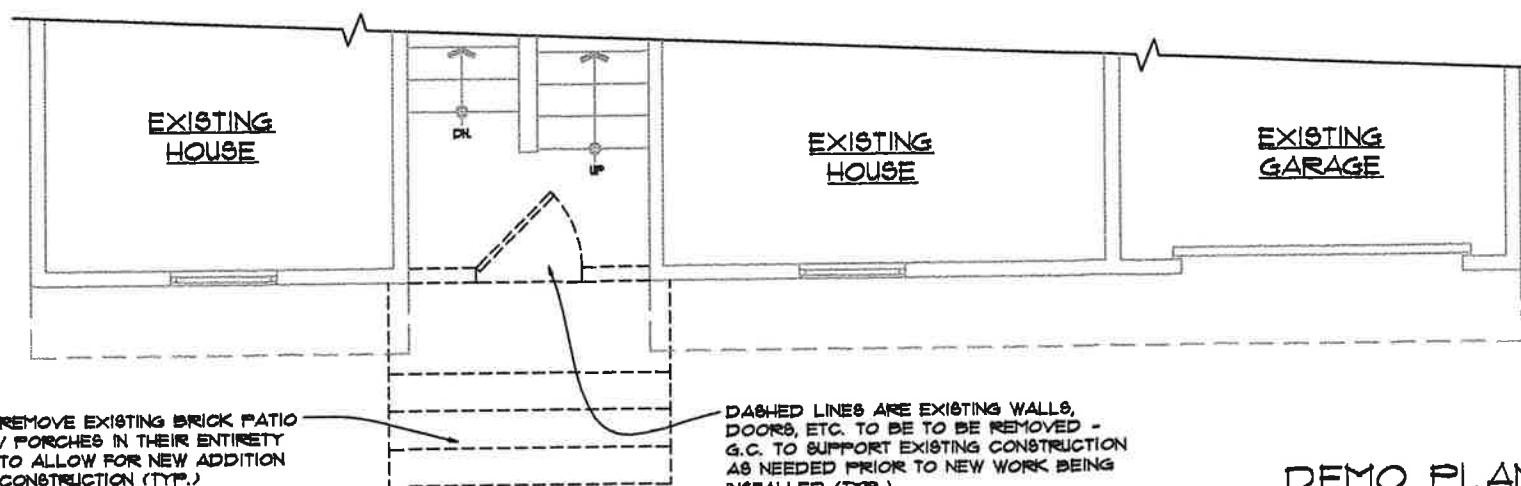
LEGEND:

	EXISTING WALLS TO REMAIN
	WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED - SEE NOTES ON DEMO PLAN (TYP.)



EXISTING ELEVATION

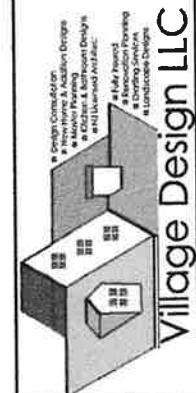
SCALE: 3/16" = 1'-0"



DEMO PLAN

SCALE: 3/16" = 1'-0"

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DRAWING TITLE  
EXISTING PLANS.  
ELEVATION  
DEMO NOTES

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Porch  
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NJ 08536

Date: 6/26/24

A-3

DRAWING TITLE  
PROPOSED PLAN,  
SPECIFICATIONS,  
NOTES AND  
DETAILS

PROJECT NO.  
38 (2024)

DATE  
6/26/2024

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Porch  
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FRAMING LUMBER:

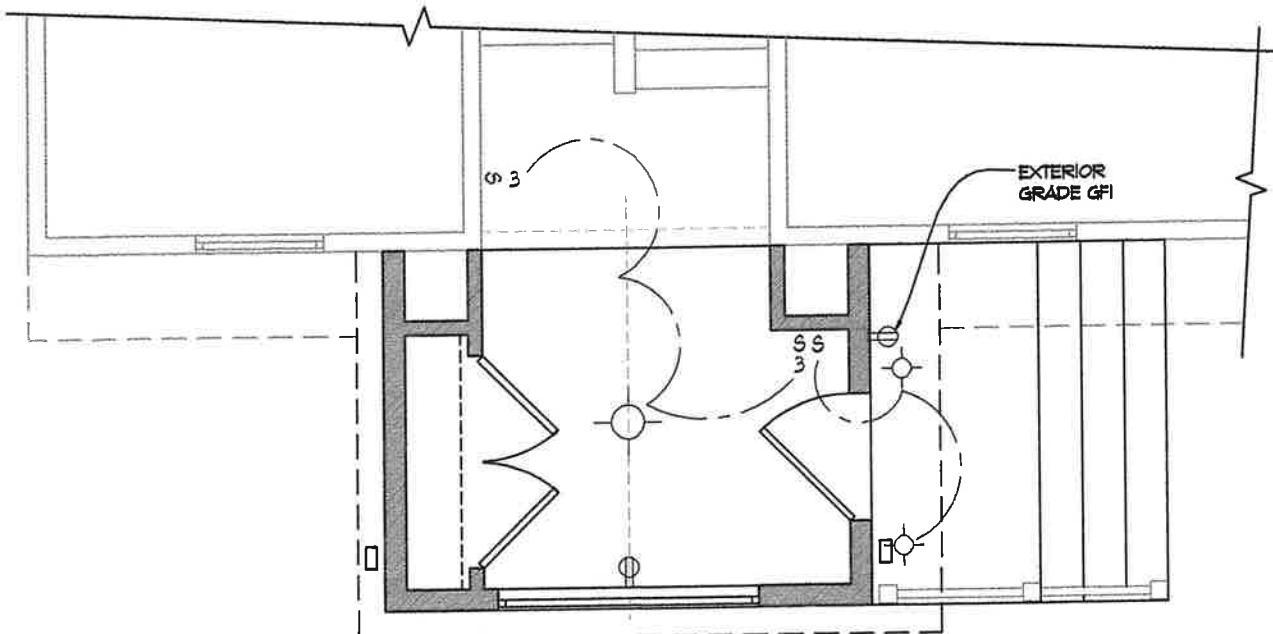
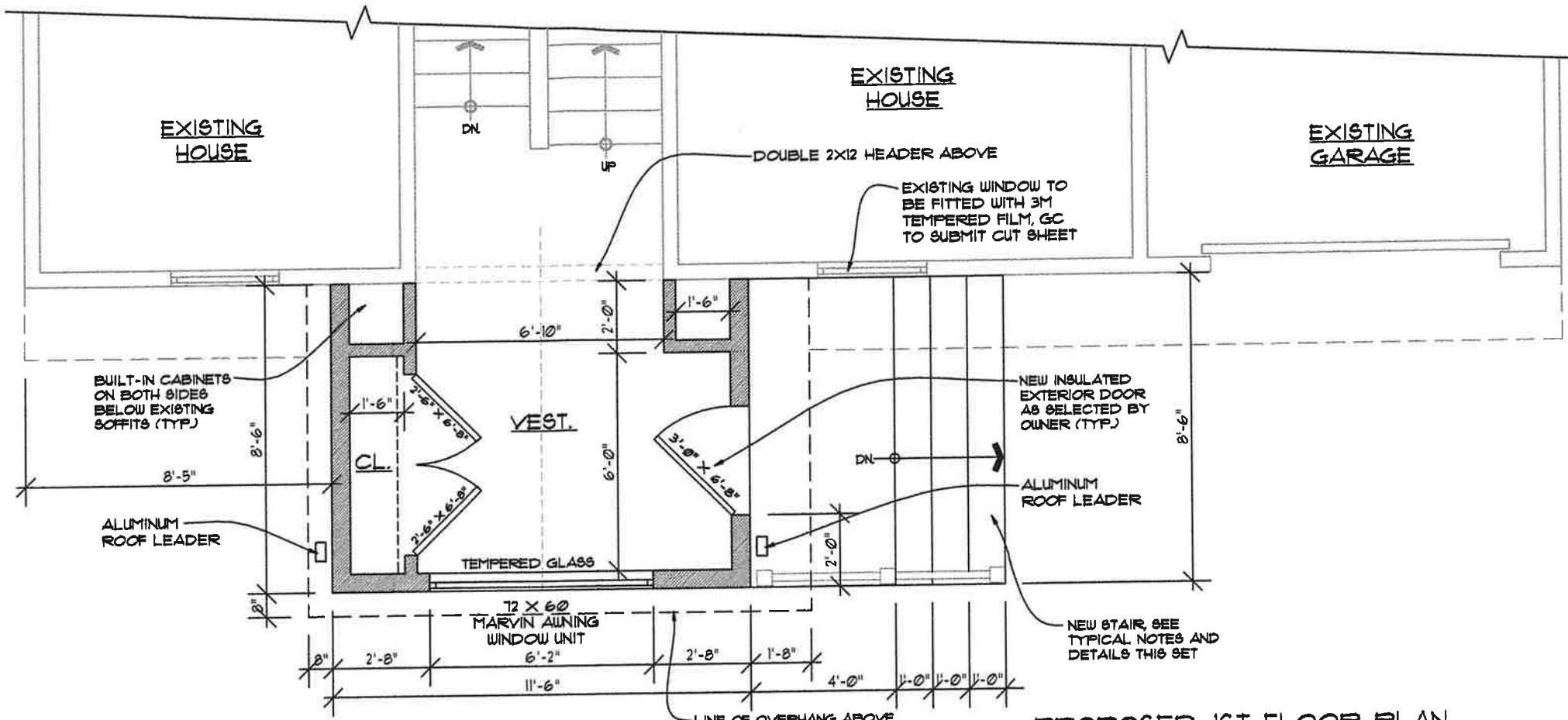
1. JOISTS AND RAFTERS SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER AS GRADED BY WCLIB OR WUPA.
2. STUDS SHALL BE EQUAL TO HEM FIR CONSTRUCTION GRADE OR BETTER AS GRADED BY WCLIB OR WUPA.
3. ALL CONNECTORS, NAILS, LAG BOLTS, THRU-BOLTS BEING USED IN CONTACT WITH ALKALINE COPPER QUATERNARY (ACQ) TREATED LUMBER ARE TO BE HOT-DIPPED ZINC GALVANIZED, TRIPLE ZINC-COATED (ELECTROPLATED) OR STAINLESS STEEL.
4. PARALAM, LVL, GLULAM, ETC. SHALL BE  $F_b = 2,800$  PSI (MIN),  $E = 2,0 \times 10^6$  PSI (MIN). TYPICAL.
5. DEFLECTION FOR FLOOR JOIST SHALL BE  $\Delta = L/480$  FOR LIVE LOADS, AND  $L/360$  FOR TOTAL LOADS. TYPICAL.

PLYWOOD SHEATHING:

1. ALL PLYWOOD SHEATHING SHALL COMPLY WITH APA. PLYWOOD SHALL MEET C-D INTERIOR APA, STRUCTURAL I AND II C-D INTERIOR APA, OR STRUCTURAL I AND II C-D EXTERIOR APA.
2. ROOF SHEATHING: 1/2" THICK
3. WALL SHEATHING: 1/2" THICK
5. ATTACHMENT TO BE IN ACCORDANCE WITH IBC 2021 W/ NJ MODIFICATION REQUIREMENTS.
6. ALL PLYWOOD TO HAVE EXTERIOR GLUE.

LEGEND:

- Existing walls to remain
- New interior walls, 2x4 wood studs at 16" O.C. with 1/2" GYP. BD. on both sides (TYP.)
- New exterior walls, 2x6 wood studs at 16" O.C. with 1/2" GYP. BD., on interior, R21 BATT, 1/2" PLYWOOD, and siding to match existing in all respects.
- GFI: GFI DUPLEX OUTLET
- DUPLEX OUTLET
- LIGHT FIXTURE, WALL OR CEILING
- S: SWITCH, 3-WAY SWITCHES AS NOTED



PROPOSED ELECTRICAL LAYOUT

NOT TO SCALE

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FOUNDATION PLAN,  
NOTES AND DETAILSPROJECT NO.  
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6/26/2024DRAWN BY  
JVCPROJECT  
Porch  
Addition at  
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## CAST-IN-PLACE CONCRETE

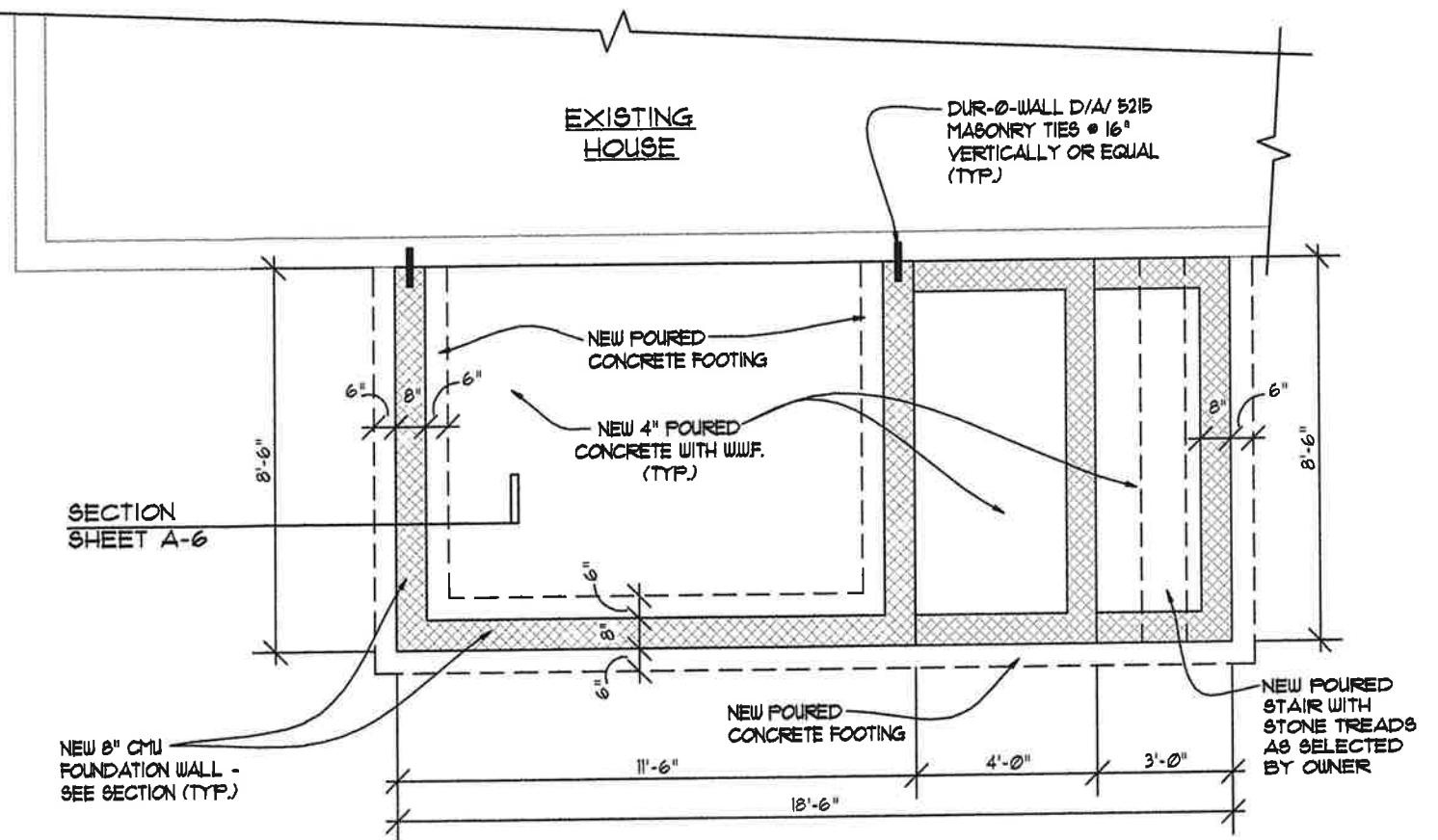
- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.
- ALL CONCRETE, EXCEPT SLABS ON GRADE, SHALL ATTAIN 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE FOR SLABS ON GRADE SHALL ATTAIN 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- READY MIX:**
  - COMPLY WITH ACI-301, ACI-304 AND ASTM C-94.
  - MAXIMUM TIME BETWEEN INTRODUCTION OF WATER AND PLACING TO BE 1-1/2 HOURS.
  - MINIMUM CEMENT CONTENT SHALL BE 410 POUNDS PER CUBIC YARD FOR 3000 PSI CONCRETE, AND 520 POUNDS PER CUBIC YARD FOR 3500 PSI CONCRETE.
  - MAXIMUM WATER CEMENT RATIO SHALL BE 0.51 FOR 3000 PSI CONCRETE, AND 0.41 FOR 3500 PSI CONCRETE.
  - MAXIMUM SLUMP OF CONCRETE SHALL BE 4 INCHES AS DETERMINED BY ASTM C-143. MAXIMUM SLUMP OF CONCRETE SHALL BE 3 INCHES, AND 2" AFTER ADDITION OF HRUR TO SITE VERIFIED 3" SLUMP FOR CONCRETE CONTAINING HRUR ADMIXTURE AS DETERMINED BY ASTM C-143.
  - ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4-5% AS DETERMINED BY ASTM C-231 OR C-113.
  - DO NOT LOAD TRUCKS ABOVE RATED CAPACITY.
  - HIGH-RANGE WATER-REDUCING ADMIXTURE (SUPER PLASTICIZER) SHALL CONFORM TO ASTM C-494, TYPE F OR G AND CONTAIN NOT MORE THAN 0.1 PERCENT CHLORIDE IONS.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
- THROUGHOUT CONSTRUCTION THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
- ALL MATERIALS SHALL BE STORED TO PROTECT THEM AGAINST THE ELEMENTS.

## FOUNDATION

- ALL FOOTINGS SHALL BEAR ON SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 15 TONS PER SQUARE FOOT. CONFIRM IN FIELD PRIOR TO PLACING FOOTINGS.
- ELEVATIONS GIVEN CORRESPOND TO THE COMPUTED BOTTOM OF FOOTINGS AND ARE MINIMUM DEPTHS WHICH ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE DEPTH REQUIRED TO REACH GOOD BEARING.
- NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. AFTER FOOTINGS ARE PLACED THEY SHALL BE PROTECTED AGAINST FROST.
- FILL AND BACKFILL MATERIAL SHALL BE FREE OF DELETERIOUS ORGANIC MATTER.

## MASONRY

- ALL BLOCK WORK SHALL BE IN ACCORDANCE WITH IRC 'CURRENT' EDITION AND OTHER APPLICABLE CODES.
- ALL BLOCK SHALL BE LIGHTWEIGHT AGGREGATE AND CONFORM TO ASTM C 90.
- MORTAR SHALL BE ASTM C 270, TYPE M FOR BELOW GRADE AND TYPE M OR S FOR ABOVE GRADE WORK.
- WHERE BLOCK FILL IS CALLED FOR ON DRAWINGS, USE TYPE M MORTAR OR CONCRETE WITH A COMPRESSIVE STRENGTH OF 2500 PSI IN ACCORDANCE WITH ASTM C 416, AND INSTALLED IN ACCORDANCE WITH ACI-331 FOR HIGH OR LOW LIFT PROCEDURES.



## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

## GENERAL HANGAR SCHEDULE

WHERE APPLIES	TYPE OF SIMPSON STRONG TIE HANGAR
ROOF FRAMING TO TOP OF WALLS	H 25 A
2X10 JOISTS TO BEAM OR LEDGER	LUS 210
2X8 JOISTS TO BEAM OR LEDGER	LUS 28
2X6 JOISTS TO BEAM OR LEDGER	LU 26
2X6 JOISTS TO BEAM OR LEDGER	LUS 24
DOUBLE 2X10 JOISTS TO BEAM / WALL	LUS 210-2
DOUBLE 2X8 JOISTS TO BEAM / WALL	LUS 28-2

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## WOOD LOOSE LINTEL SCHEDULE

ROUGH OPENING	LINTEL SIZE
UP TO 3'-0"	(2) 2 x 6's
3'-1" TO 4'-0"	(2) 2 x 8's
4'-1" TO 6'-0"	(2) 2 x 10's
6'-1" TO 8'-0"	(2) 2 x 12's
OVER 8'-0"	MICRO - LAM

DRAWING TITLE  
ELEVATIONS, NOTES  
AND DETAILS

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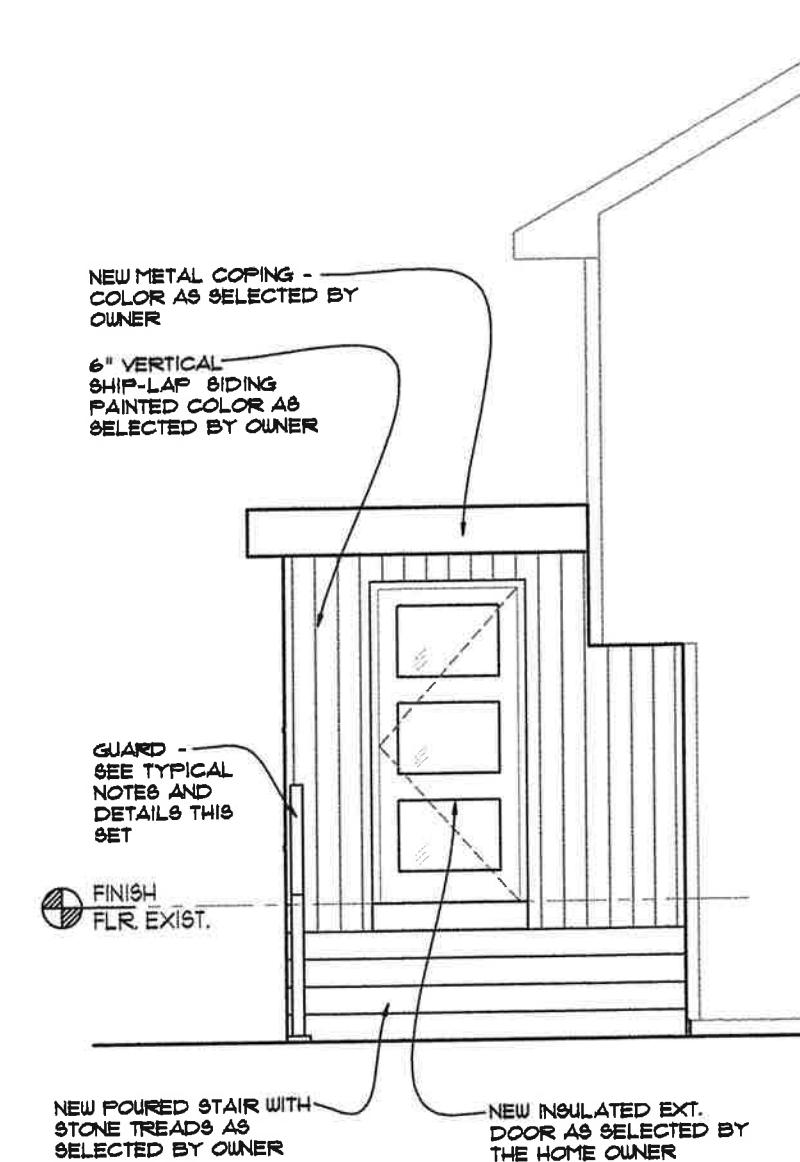
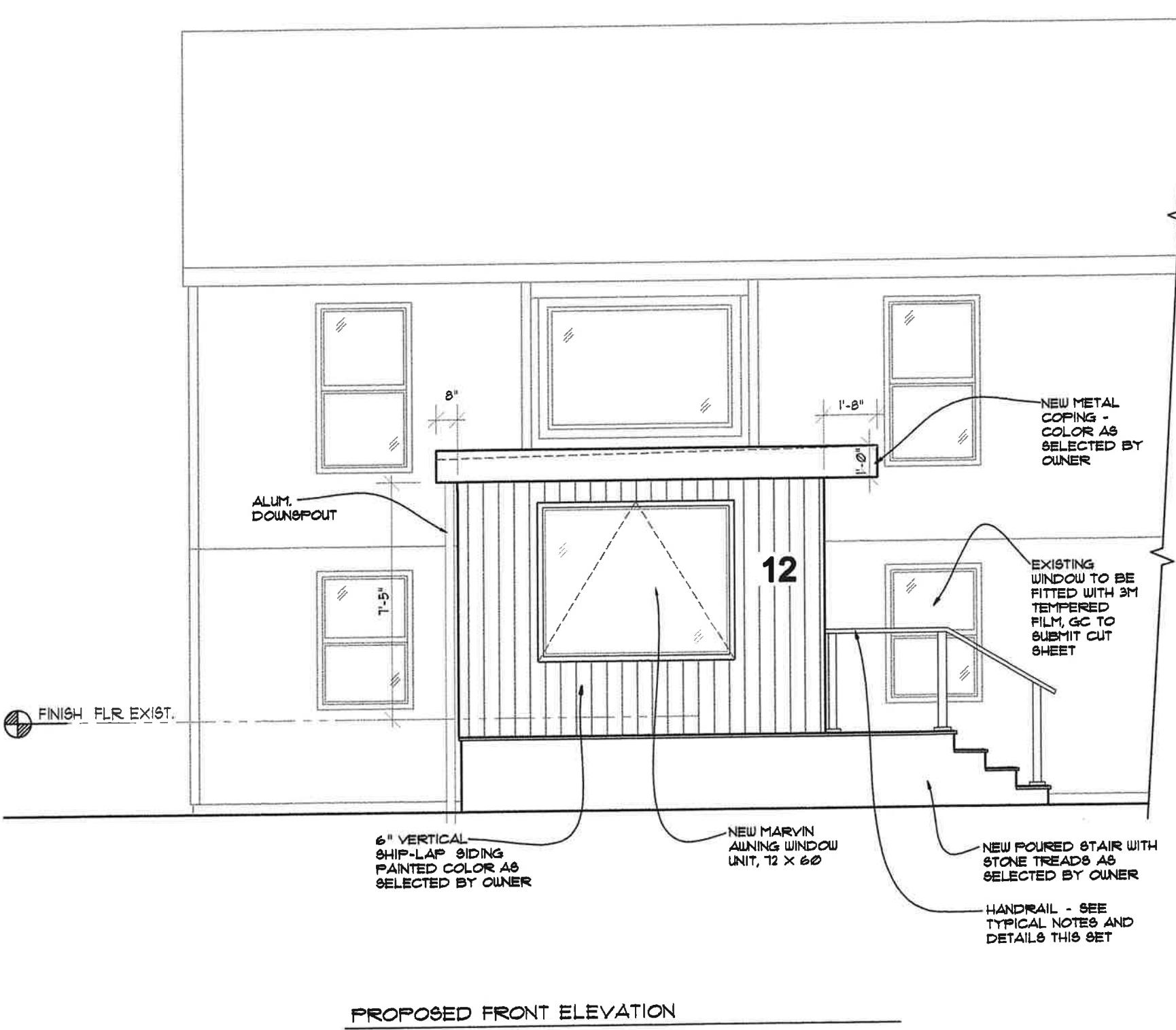
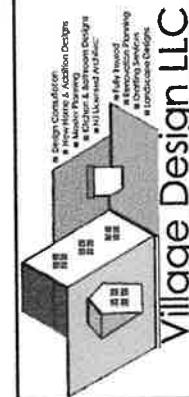
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*John*  
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A-6

## **DRAWING TITLE**

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**PROJECT  
Porch  
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Date: 6/26/24

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This detailed architectural section drawing illustrates the construction of a building's exterior and foundation. The drawing shows a cross-section from the ground level up to the roofline, highlighting various materials and structural components. Key features include:

- Foundation:** New poured concrete footings with (2) continuous 4" rebar. The foundation is filled with 2" R-14 closed cell rigid insulation XPS and porous stone fill.
- Exterior Wall:** CMU walls with 8" fill cores, solid with grout, and 3/8" cement parging on all sides. The finished grade is at the bottom.
- Roof:** Slope 1/4" = 1'-0". 2x8 roof framing at 16" O.C. - sloped to drain. EPDM roofing membrane, new roof drain with strainer, and Simpson Strong Tie hurricane clips at all rafters.
- Interior:** Vestibule (CL.) with 1" gypsum board ceiling, 2x blocking at interior side to create flat ceiling below sloped roof, and 1/2" gypsum board ceiling. Below the vestibule is a 4" poured concrete slab with 1 1/2" sleepers anchored to the slab.
- Exterior Finishes:** Metal soffit, new siding as selected by owner, and metal fascia with extension.
- Accessories:** Aluminum downspout, guard rail, and capping stones.
- Dimensions:** Various dimensions are provided throughout the drawing, including 1'-0", 1'-8", 1'-10", 1'-12", and 1'-15".
- Notes:** Specific notes include fluid applied water-proofing system, continuous 4" rebar, and various insulation and sheathing requirements.

SECTION  
SCALE: 1/2" = 1'-0"