

PRELIMINARY AND FINAL SITE PLAN SUBMISSION

PRINCETON NURSERIES

PROPOSED RESIDENTIAL BUILDINGS - SITE EAST

BLOCK 102, LOTS 5 + 6

BLOCK 106, LOT 1

MIDDLESEX COUNTY, NEW JERSEY

PROJECT DATA	
BLOCK / LOT:	BLOCK 102, LOTS 5 + 6
ZONING DISTRICT:	BLOCK 106, LOT 1
PMUD:	PMUD
LOT AREA:	108.837 ACRES
BUILDING HEIGHT:	2-4 STORIES

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PLANNING BD. APPROVAL

PRELIMINARY AND FINAL SITE PLAN APPROVAL IS
HEREBY GRANTED TO THIS SITE PLAN BY THE
PLANNING BOARD OF PLAINSBORO TOWNSHIP,
NEW JERSEY,
THIS ____ DAY OF _____ 2025.

Board Chairman

Board Secretary

Board Engineer

PROJECT UNIT MIX - SITE EAST:

TOTAL PROJECT

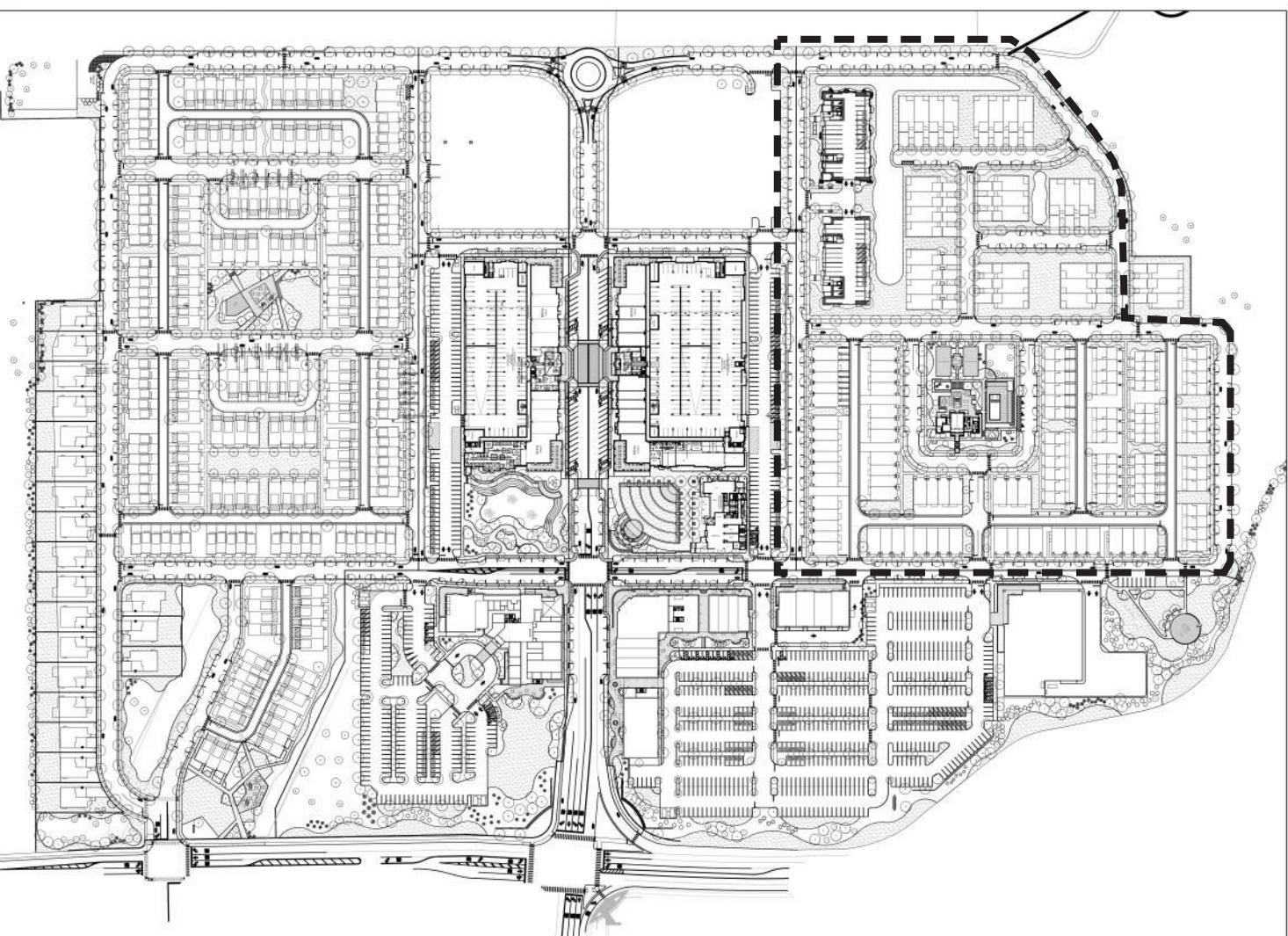
TRADITIONAL TOWNHOMES (20'):	18 UNITS	07%
TRADITIONAL TOWNHOMES (24'):	33 UNITS	12%
STACKED TOWNHOMES (26'):	48 UNITS	18%
STACKED TOWNHOMES (22'):	46 UNITS	17%
STACKED TOWNHOMES (AFFORDABLE):	20 UNITS	07%
FLATS (AGE-RESTRICTED):	72 UNITS	27%
CARRIAGE HOMES (AGE-RESTRICTED)	31 UNITS	12%
TOTAL:	268 UNITS	

MARKET RATE

MARKET RATE UNITS:	248 UNITS	93%
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AFFORDABLE

AFFORDABLE UNITS:	20 UNITS	07%
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LOCATION MAP

NTS



PREPARED BY:
MINNO WASKO
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TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 106, LOT 1

PREPARED FOR:
WRV NURSERIES PLAINSBORO OWNER, LLC

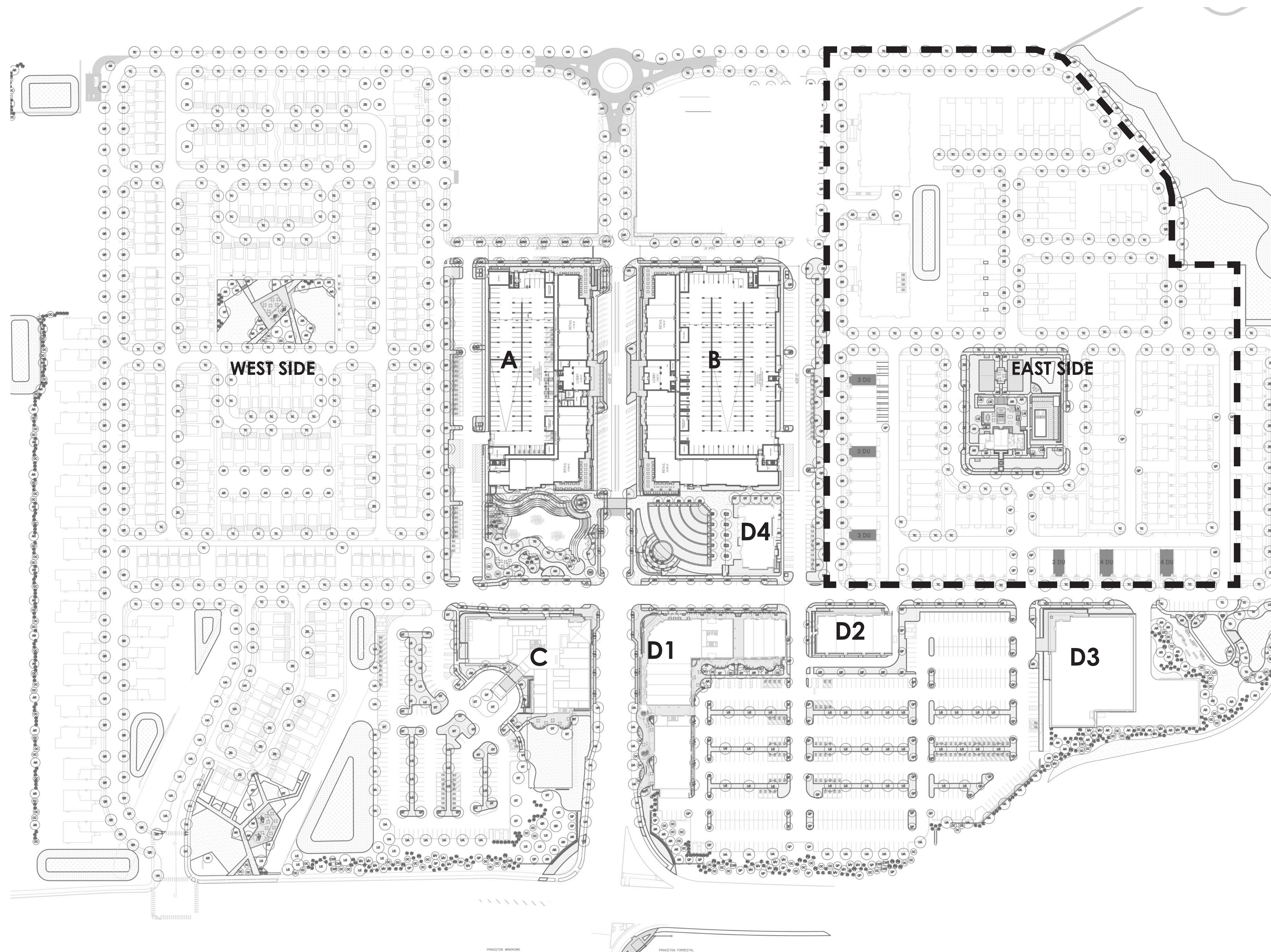
ISSUE:	
DATE:	
FOR:	
07-19-2024	PRELIM + FINAL SITE PLAN
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

C-01

COVER SHEET

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AFFORDABLE UNITS:
 1-BR AFFORDABLE STACKED TOWN HOME UNITS = 04 DU
 2-BR AFFORDABLE STACKED TOWN HOME UNITS = 12 DU
 3-BR AFFORDABLE STACKED TOWN HOME UNITS = 04 DU
 TOTAL AFFORDABLE STACKED TOWNHOME UNITS = 20 DU



01 - AFFORDABLE HOUSING SITE DIAGRAM
 SCALE: 1" = 100'-0"

PREPARED BY:
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 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

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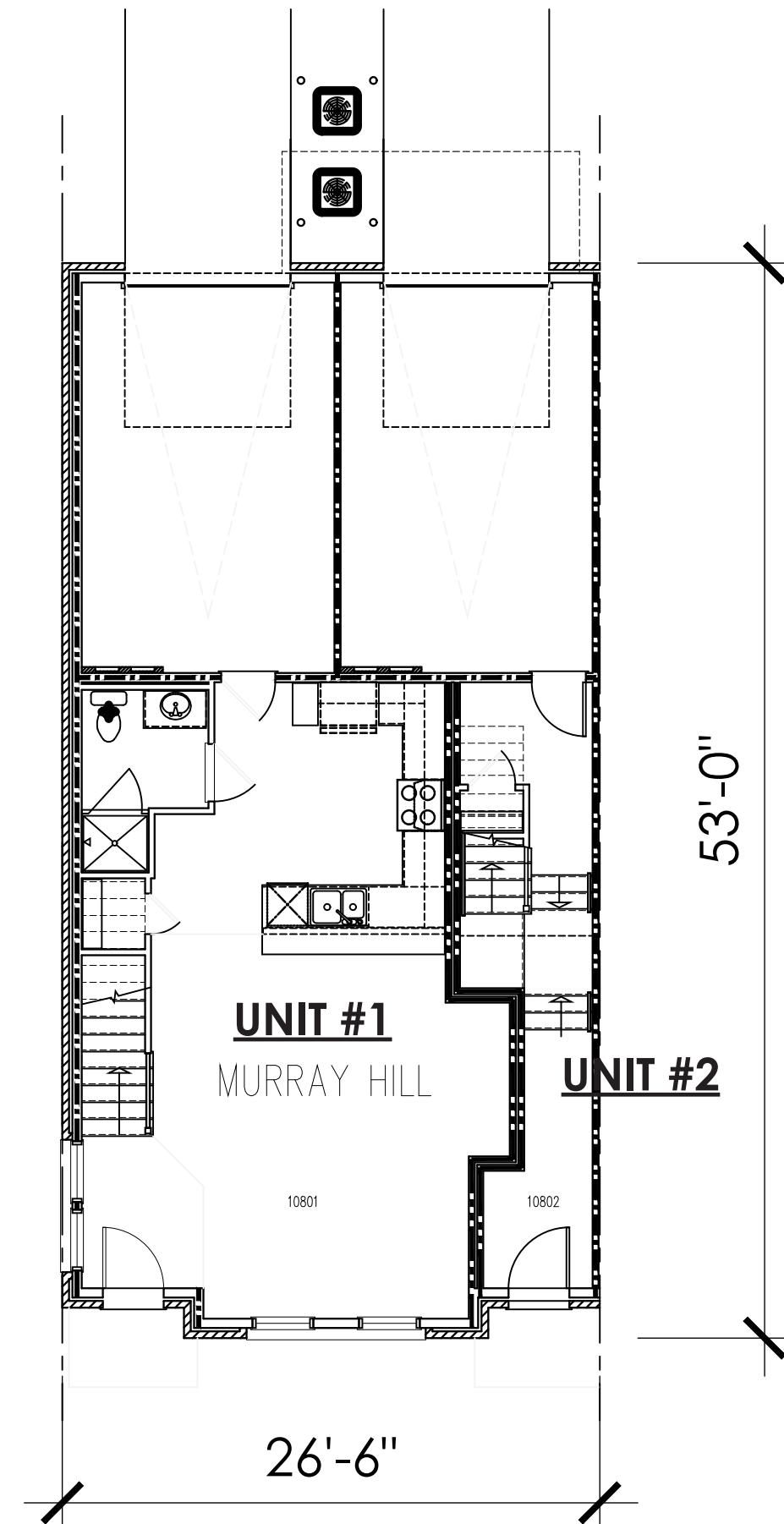
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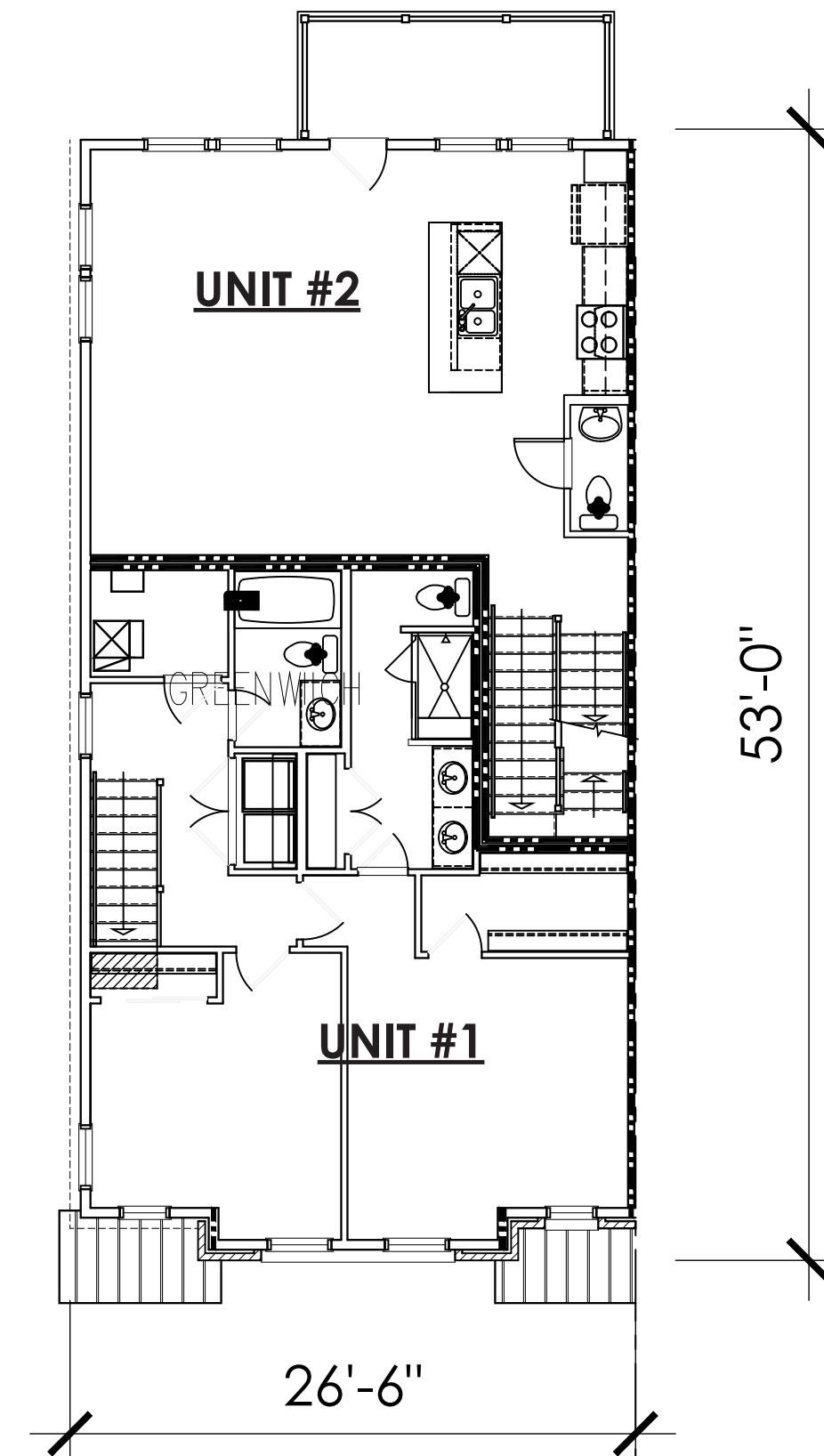
A-01
 ARCHITECTURAL SITE PLAN
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SITE NOTES:

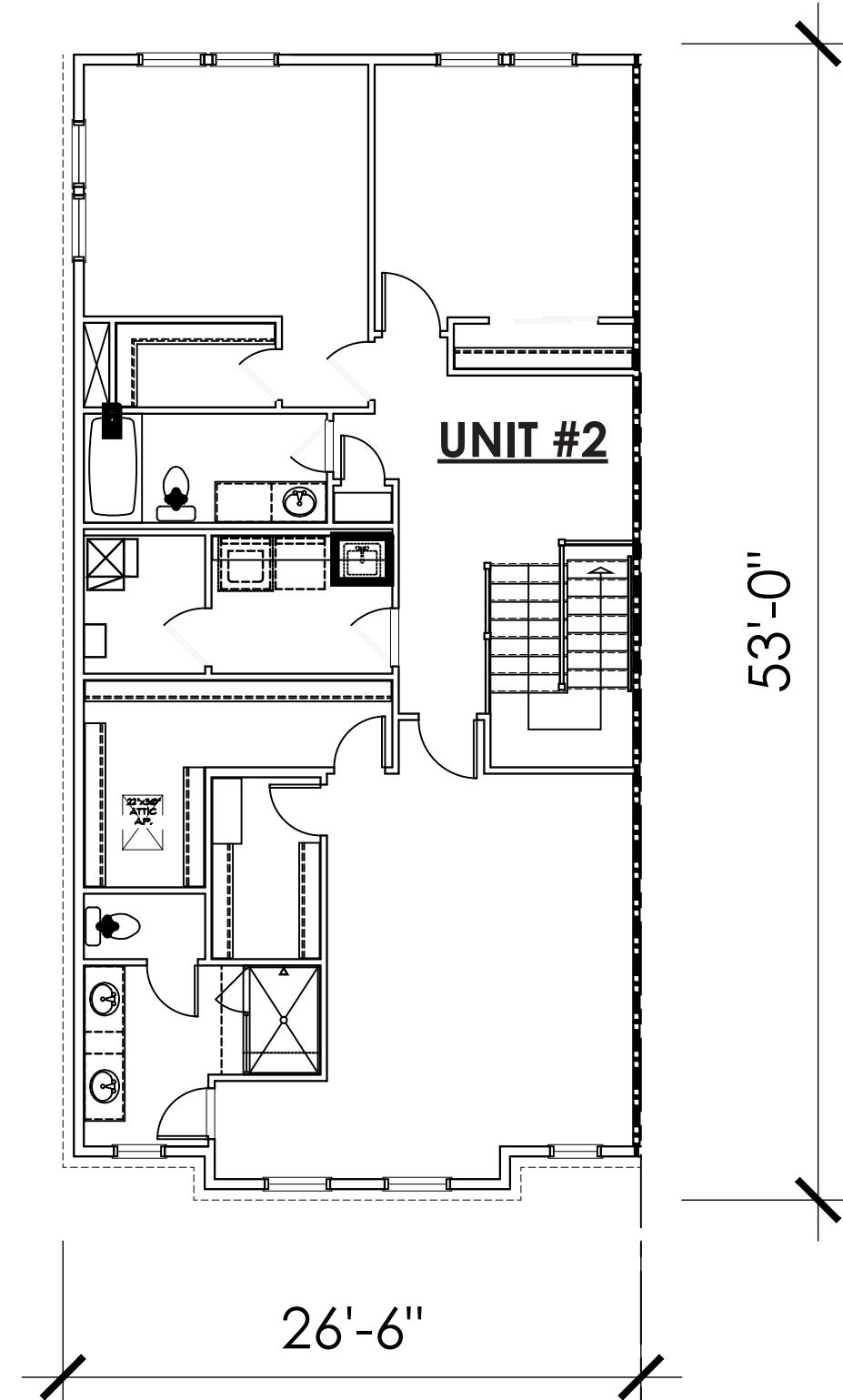
1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

MARKET RATE 26'-6" END STACKED TOWNHOME LAYOUT - TWO UNITS

01 - GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



02 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



03 - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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BLOCK 106, LOT 1

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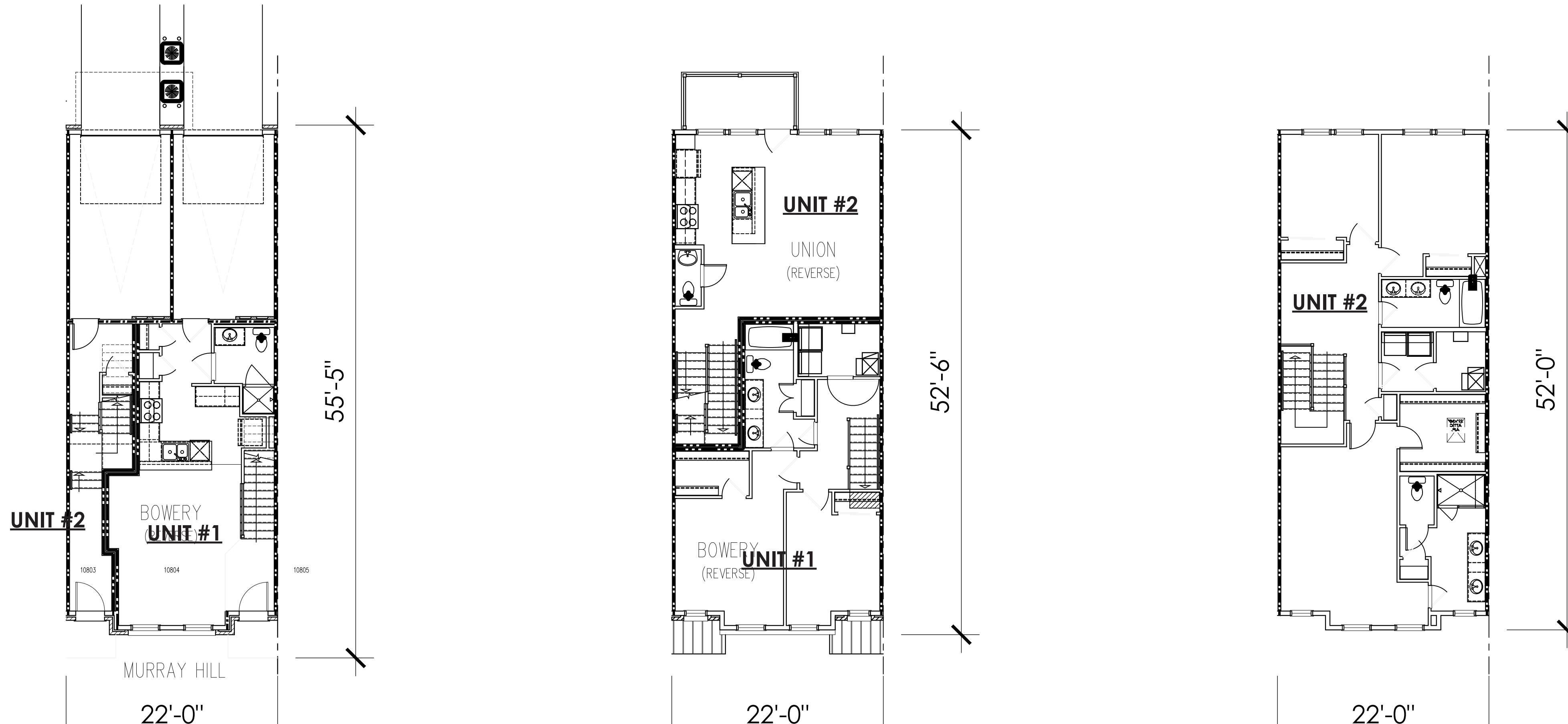
A-02

STACKED TH BUILDING PLAN

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SITE NOTES:

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3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

MARKET RATE 22'-0" INTERIOR STACKED TOWNHOME LAYOUT - TWO UNITS**01 - GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**02 - SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**03 - THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

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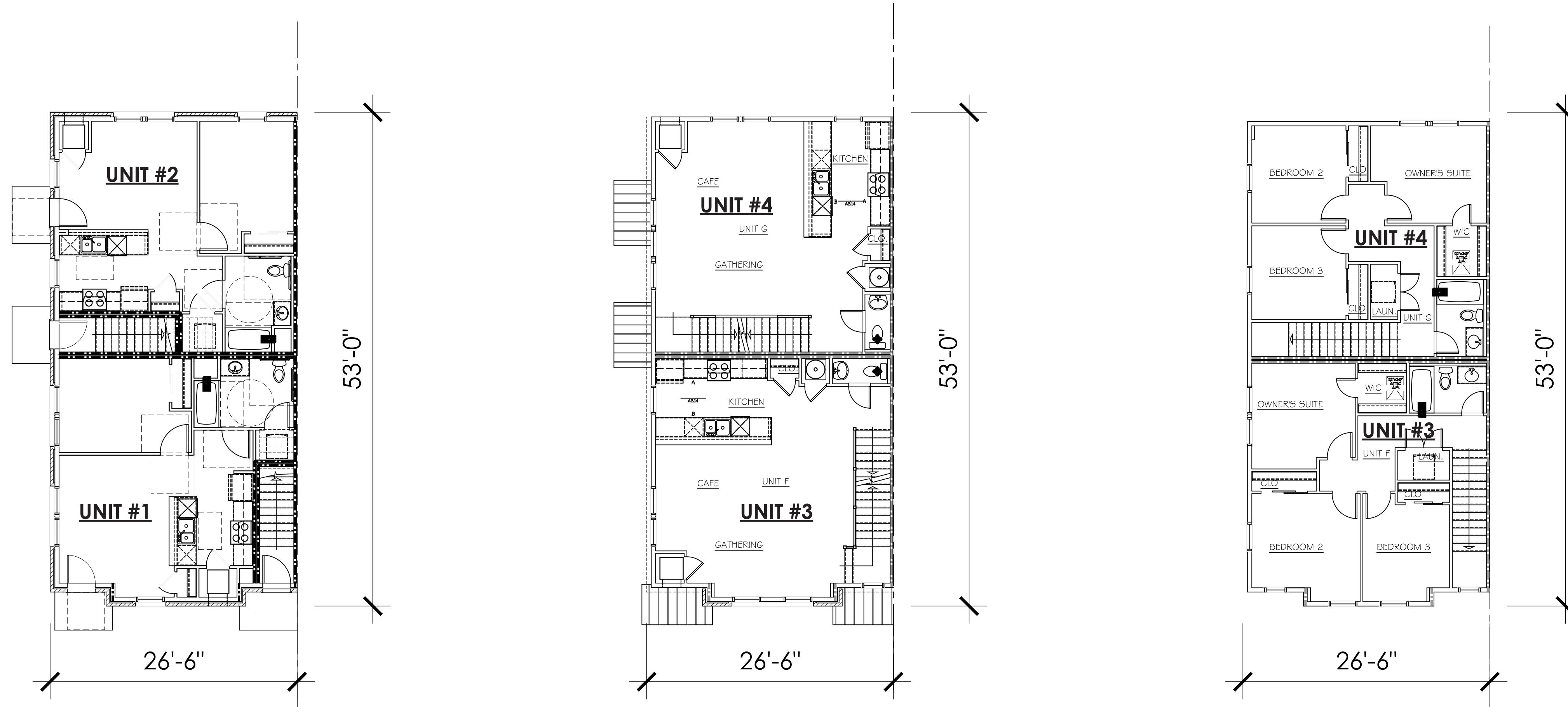
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STACKED TH BUILDING PLAN

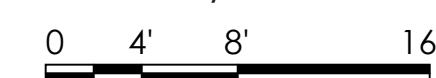
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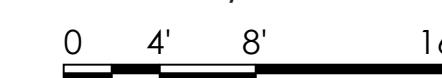
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AFFORDABLE 26'-6" END STACKED TOWNHOME LAYOUT - FOUR UNITS**01 - GROUND FLOOR PLAN**

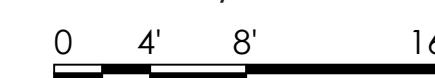
SCALE: 1/8" = 1'-0"

**02 - SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**03 - THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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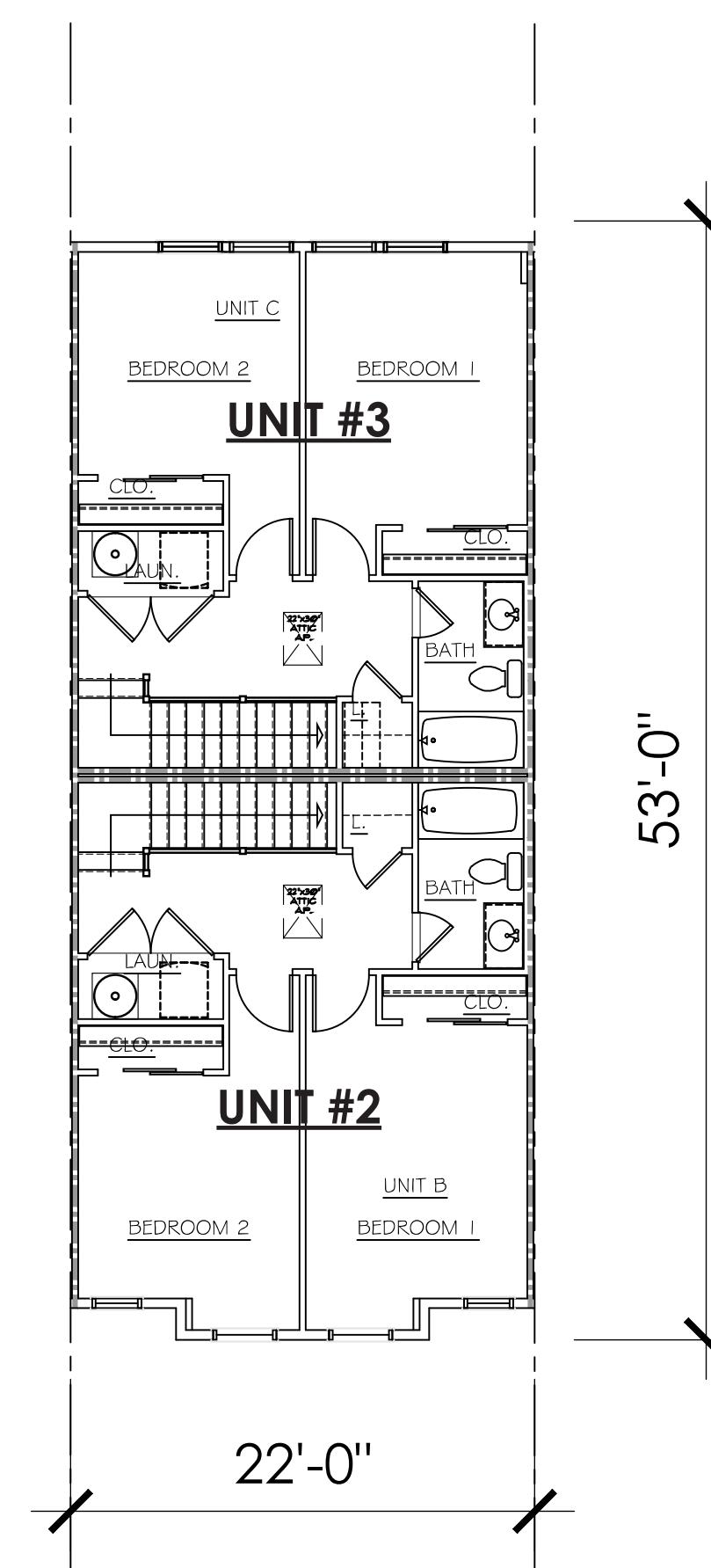
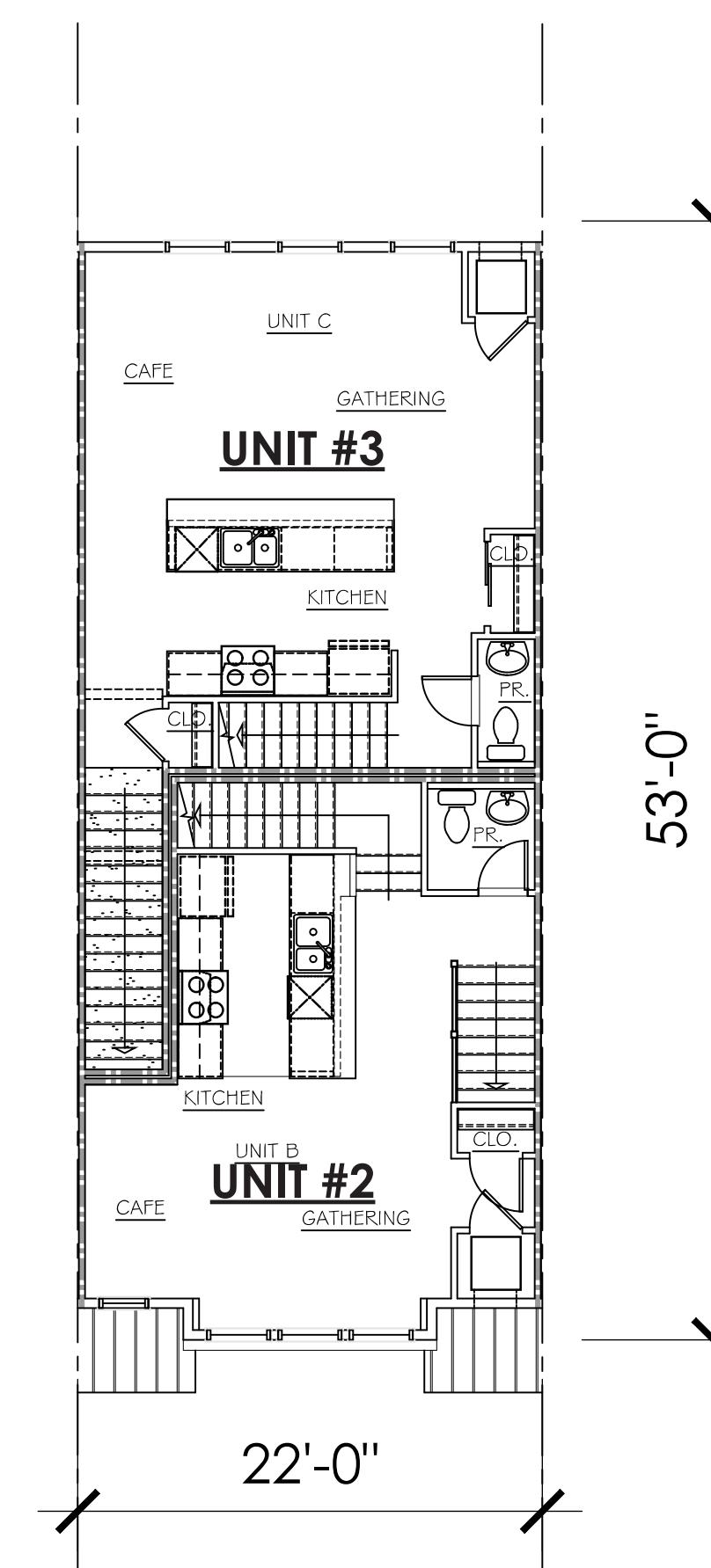
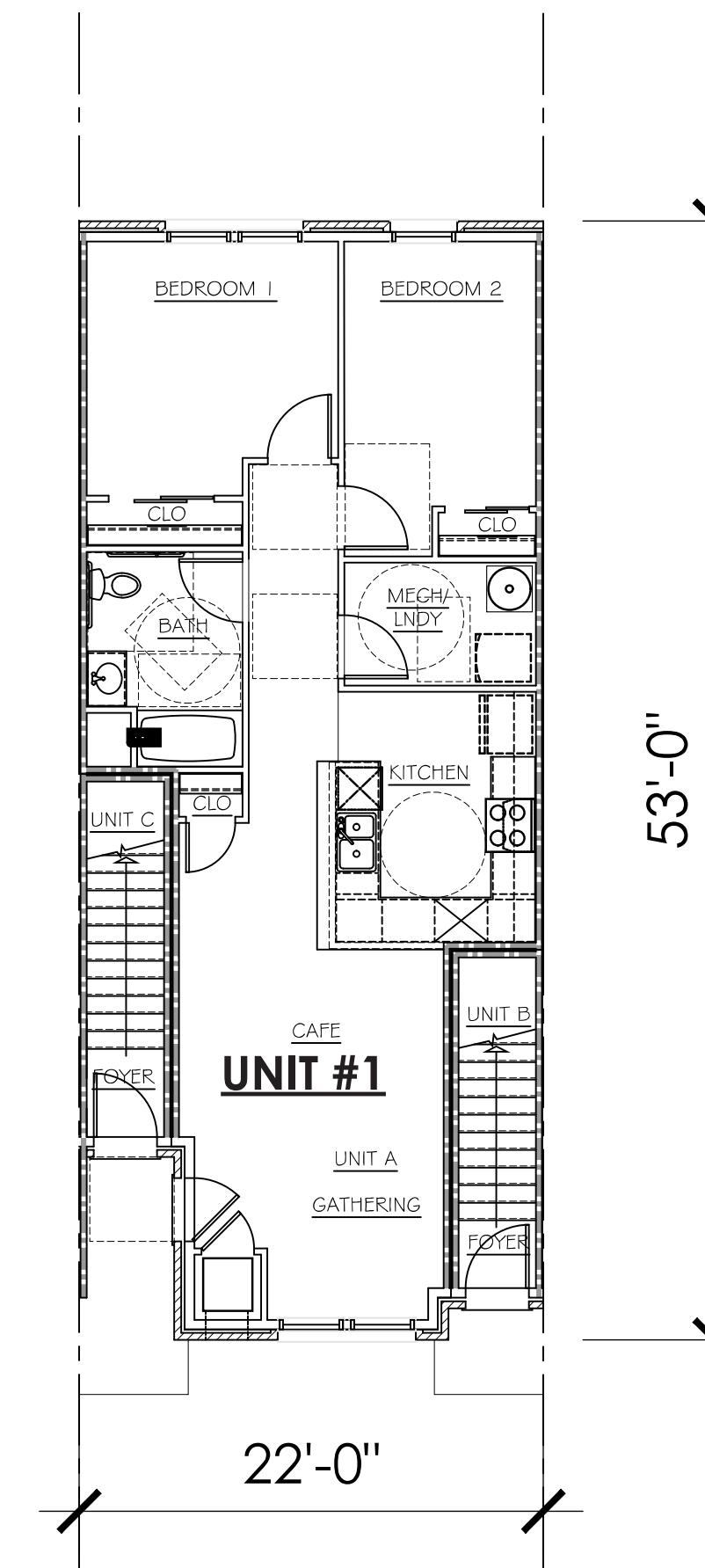
A-04

STACKED TH COAH BUILDING PLAN

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SITE NOTES:

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AFFORDABLE 22'-0" INTERIOR STACKED TOWNHOME LAYOUT - THREE UNITS

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PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

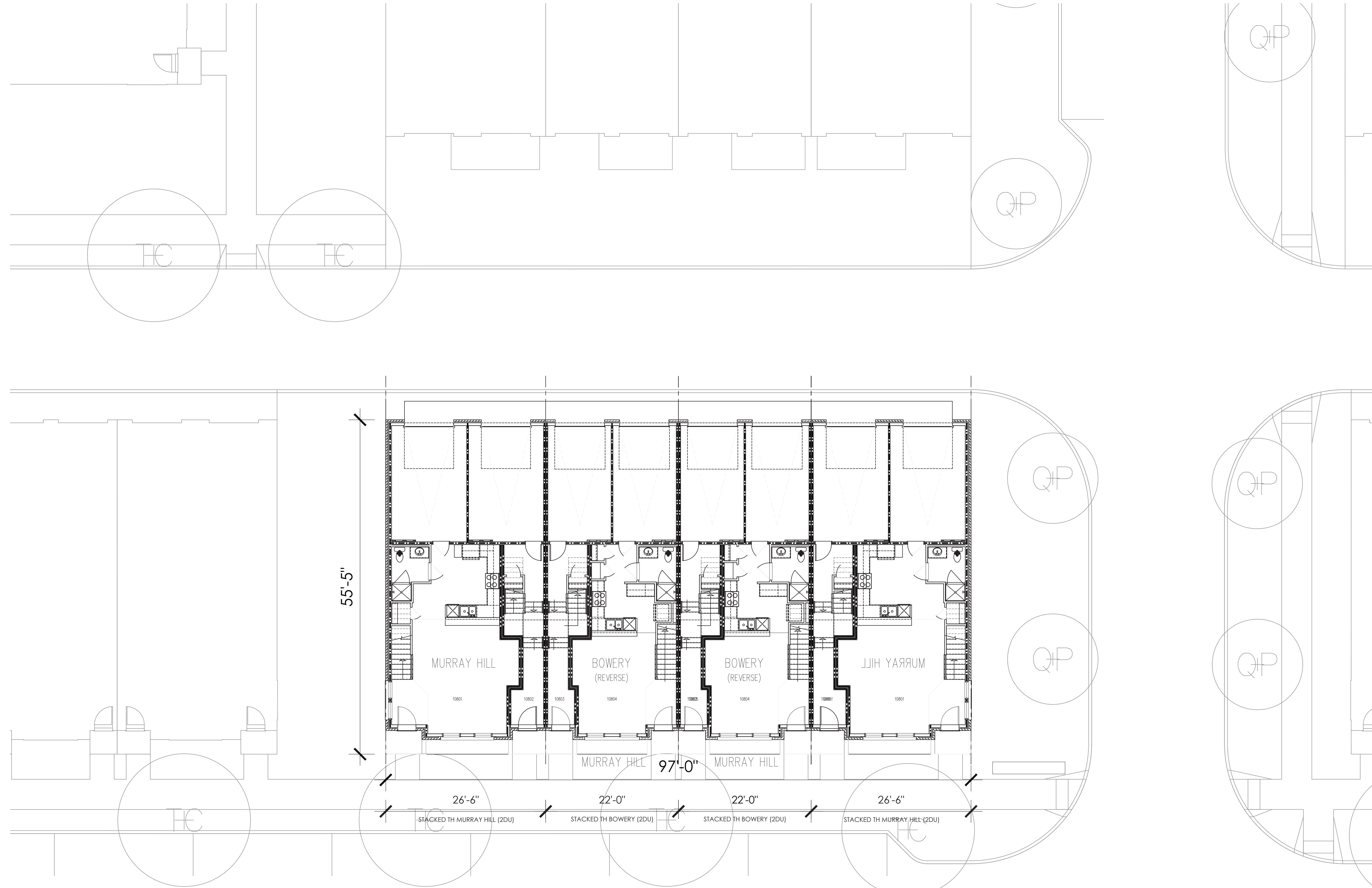
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A-05

STACKED TH COAH BUILDING PLAN

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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



01 - 8 UNIT STACKED TOWNHOME - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

PREPARED BY:
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PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

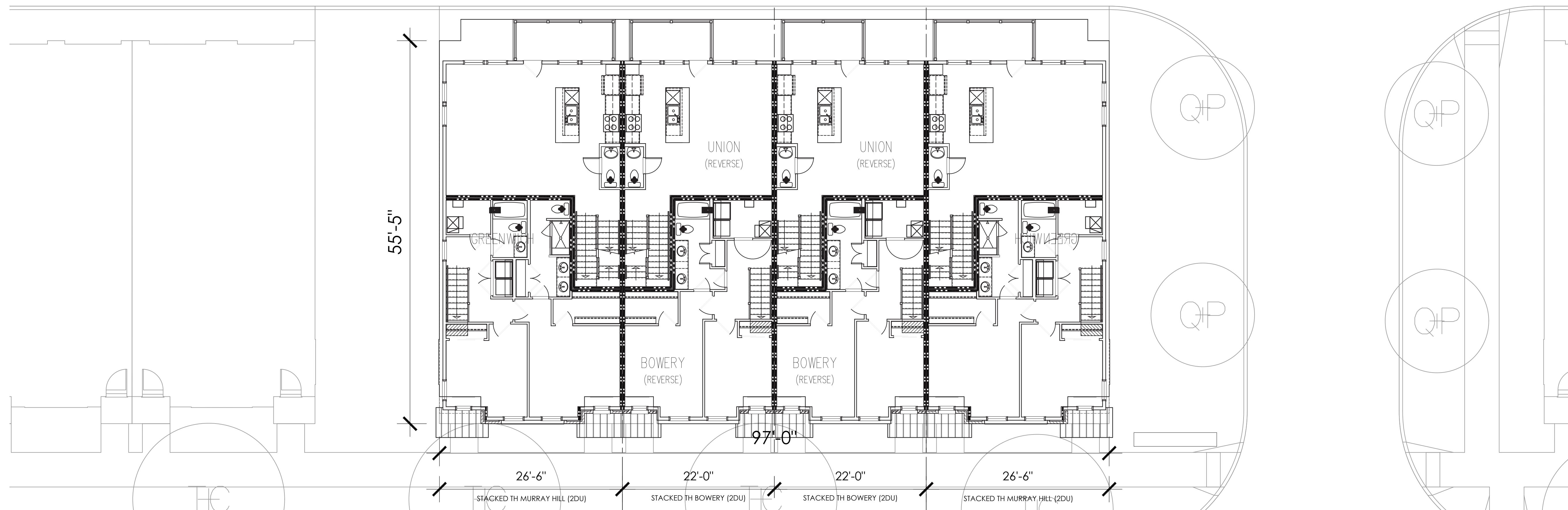
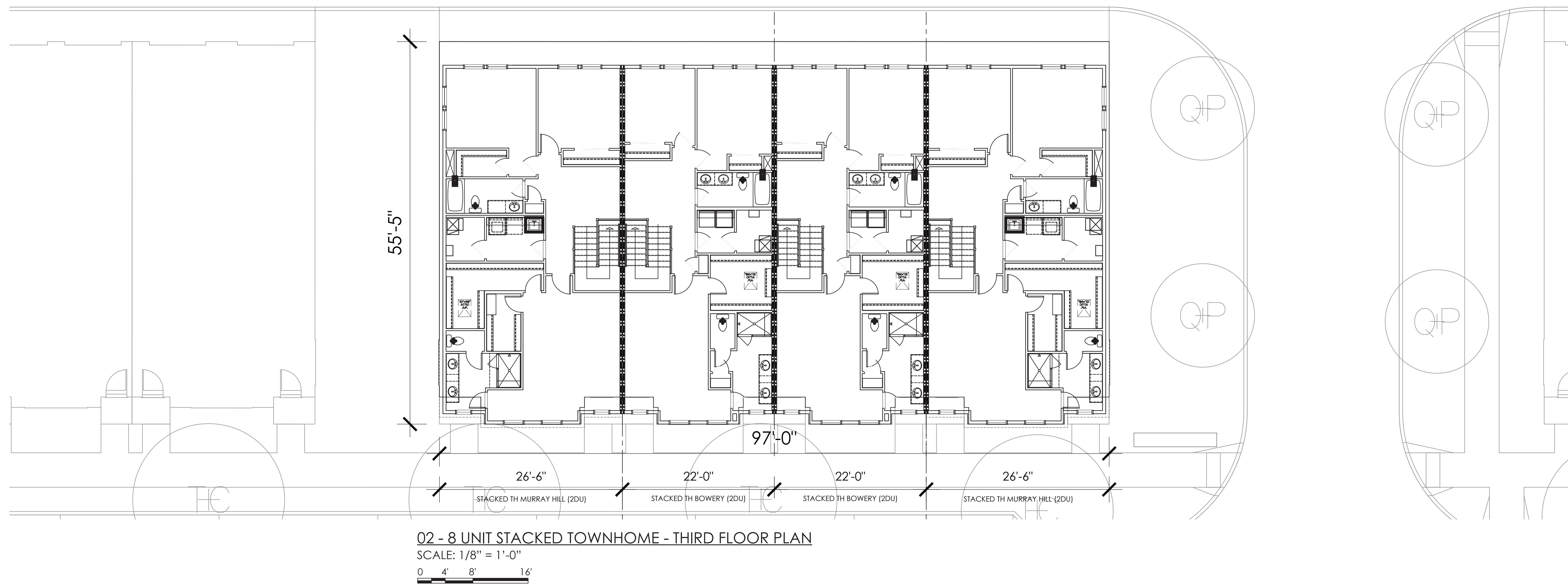
PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-06
 8 UNIT BUILDING
 STACKED TH BUILDING PLAN

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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



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PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
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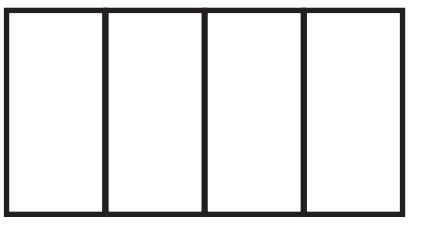
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-07
 8 UNIT BUILDING
 STACKED TH BUILDING PLAN

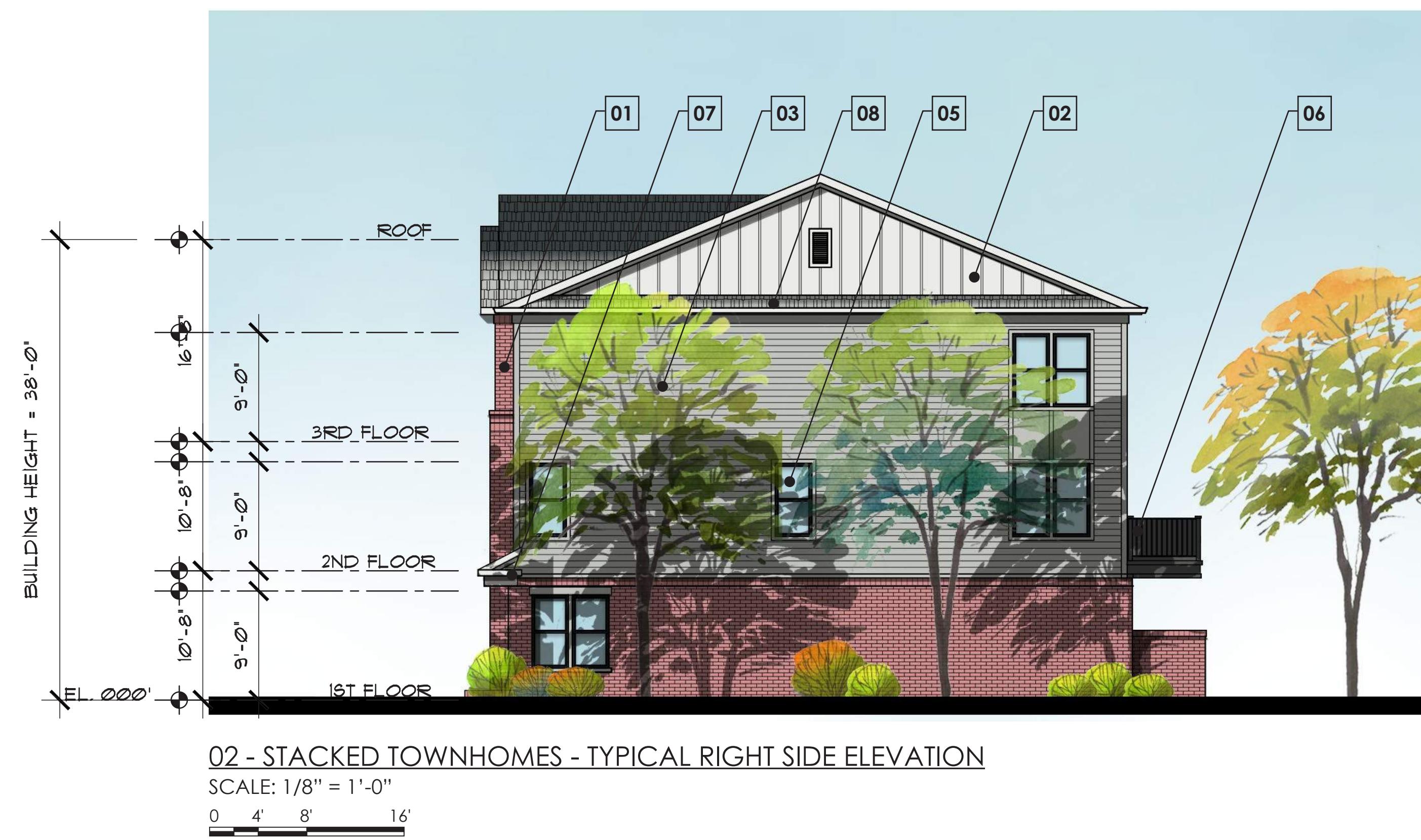
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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE

KEY PLAN:



A-08
02



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.



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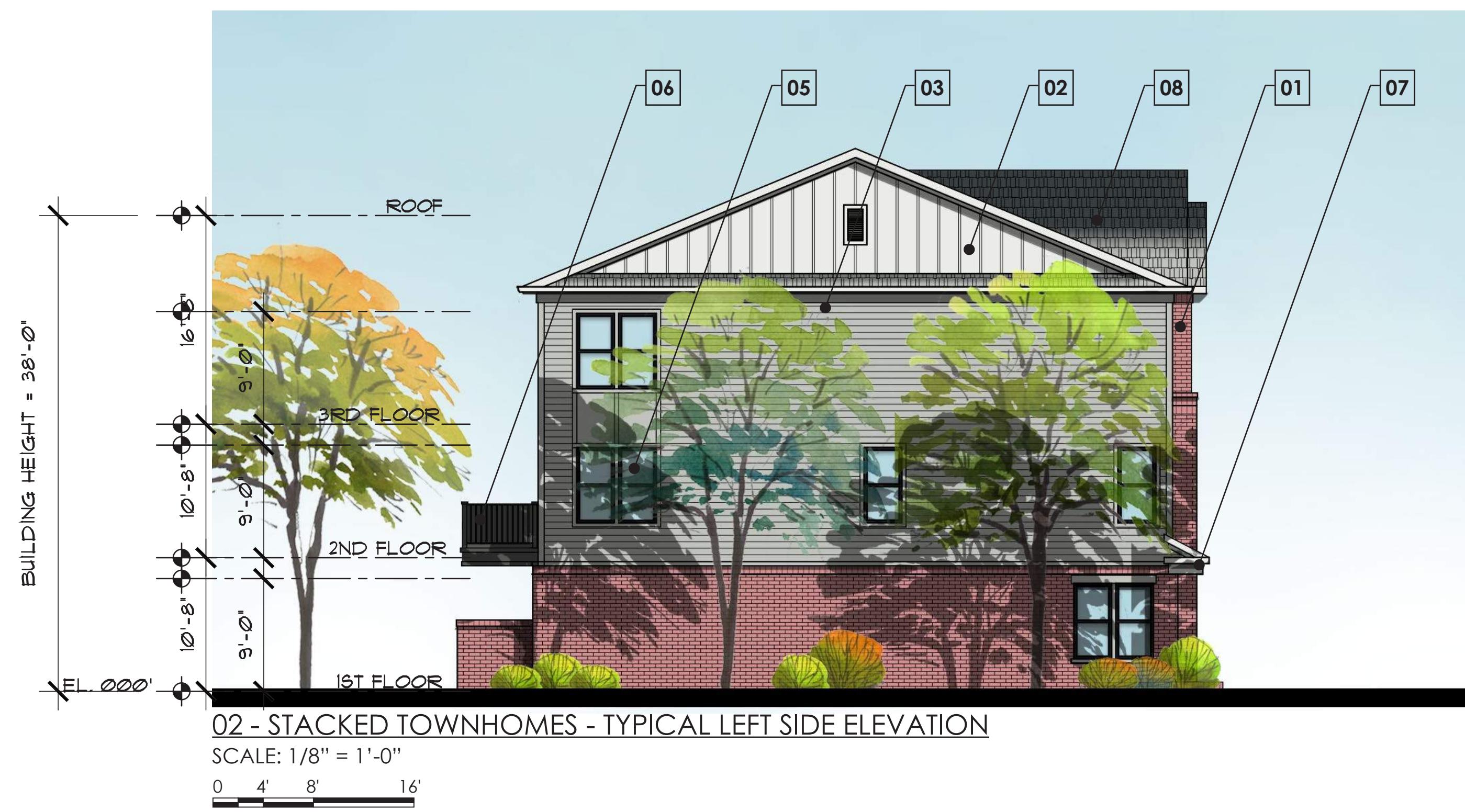
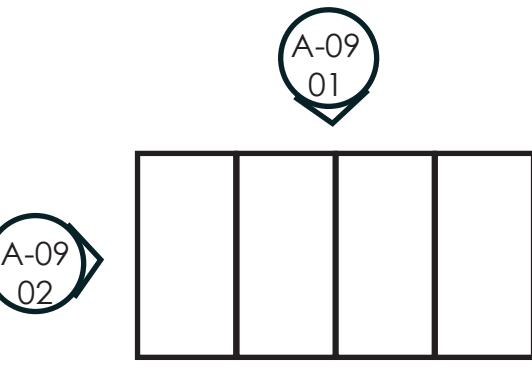
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A-08
8 UNIT BUILDING
STACKED T ELEVATIONS

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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE

KEY PLAN:



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

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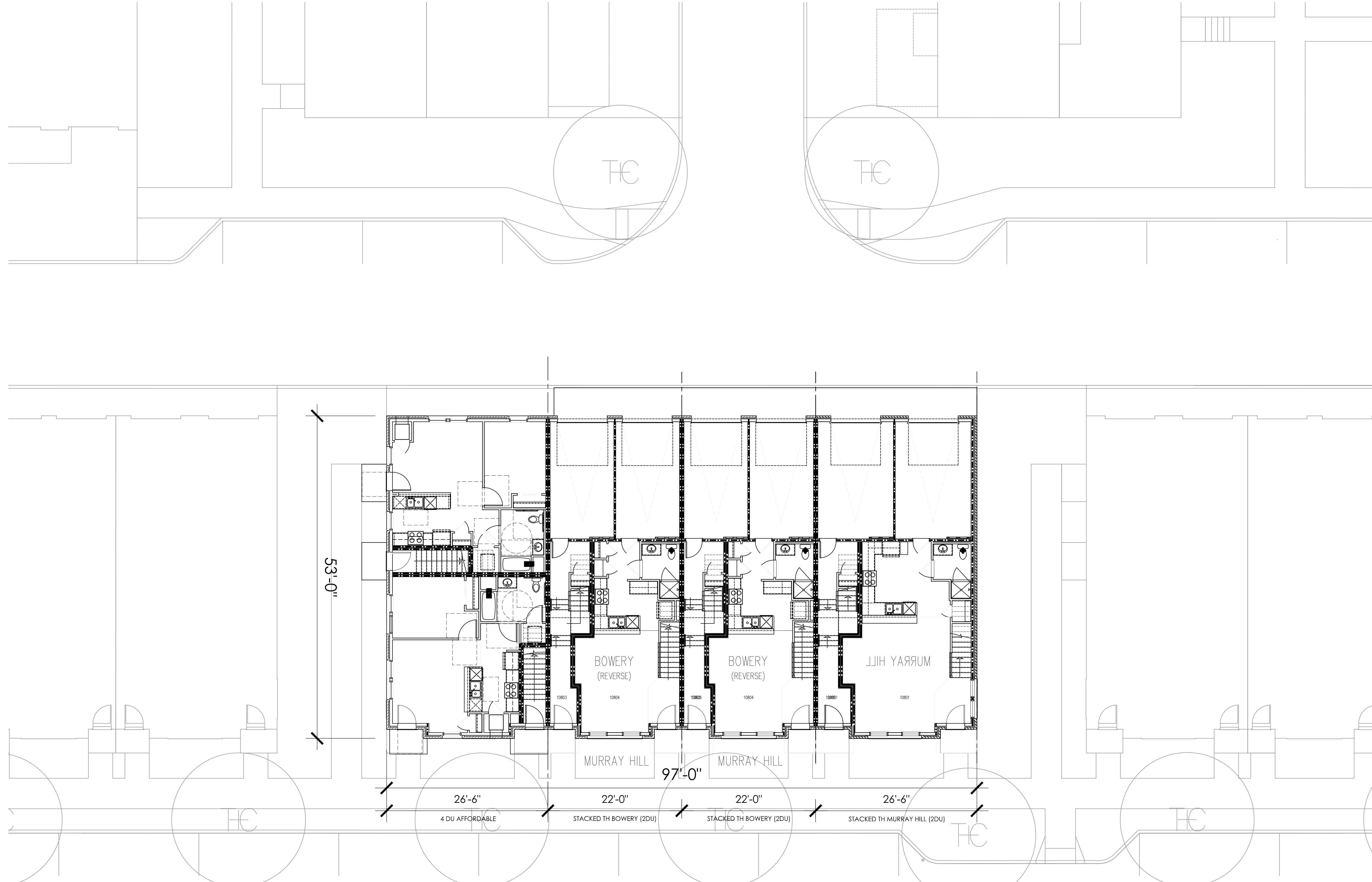
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A-09
8 UNIT BUILDING
STACKED TH ELEVATIONS

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10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)



01 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

A-10
10 UNIT BUILDING (4 AFFORDABLE UNITS)
STACKED TH COAH BUILDING PLAN

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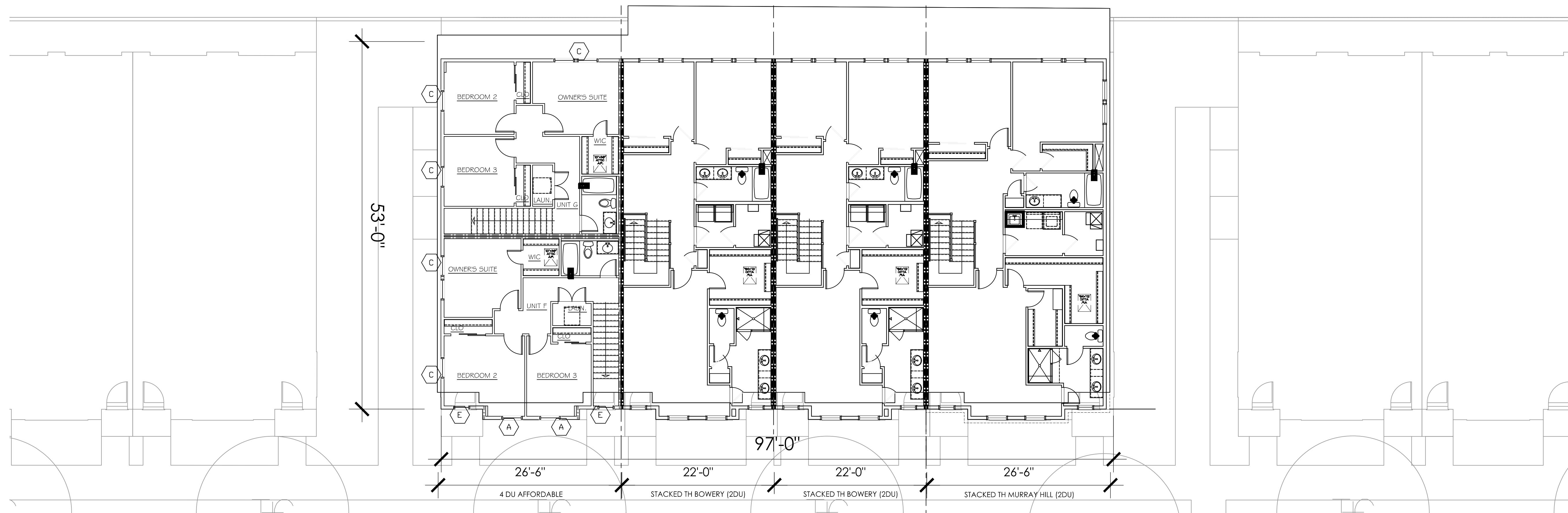
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TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 106, LOT 1

PREPARED FOR:
WRV NURSERIES PLAINSBORO OWNER, LLC

ISSUE:	FOR:
DATE:	
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

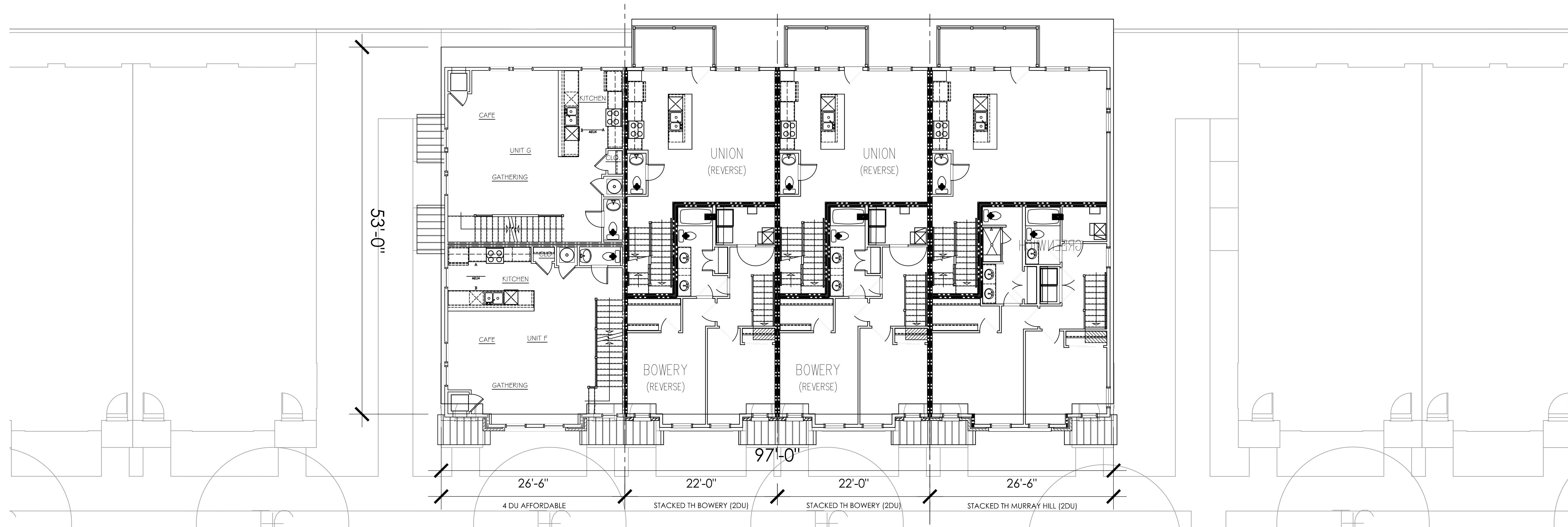
10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)



02 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



01 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

PREPARED BY:
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

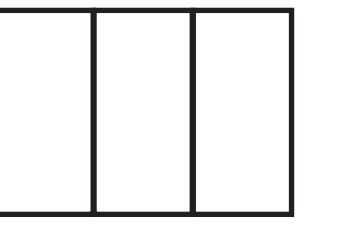
A-11

10 UNIT BUILDING (4 AFFORDABLE UNITS)
 STACKED TH COAH BUILDING PLAN

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10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)

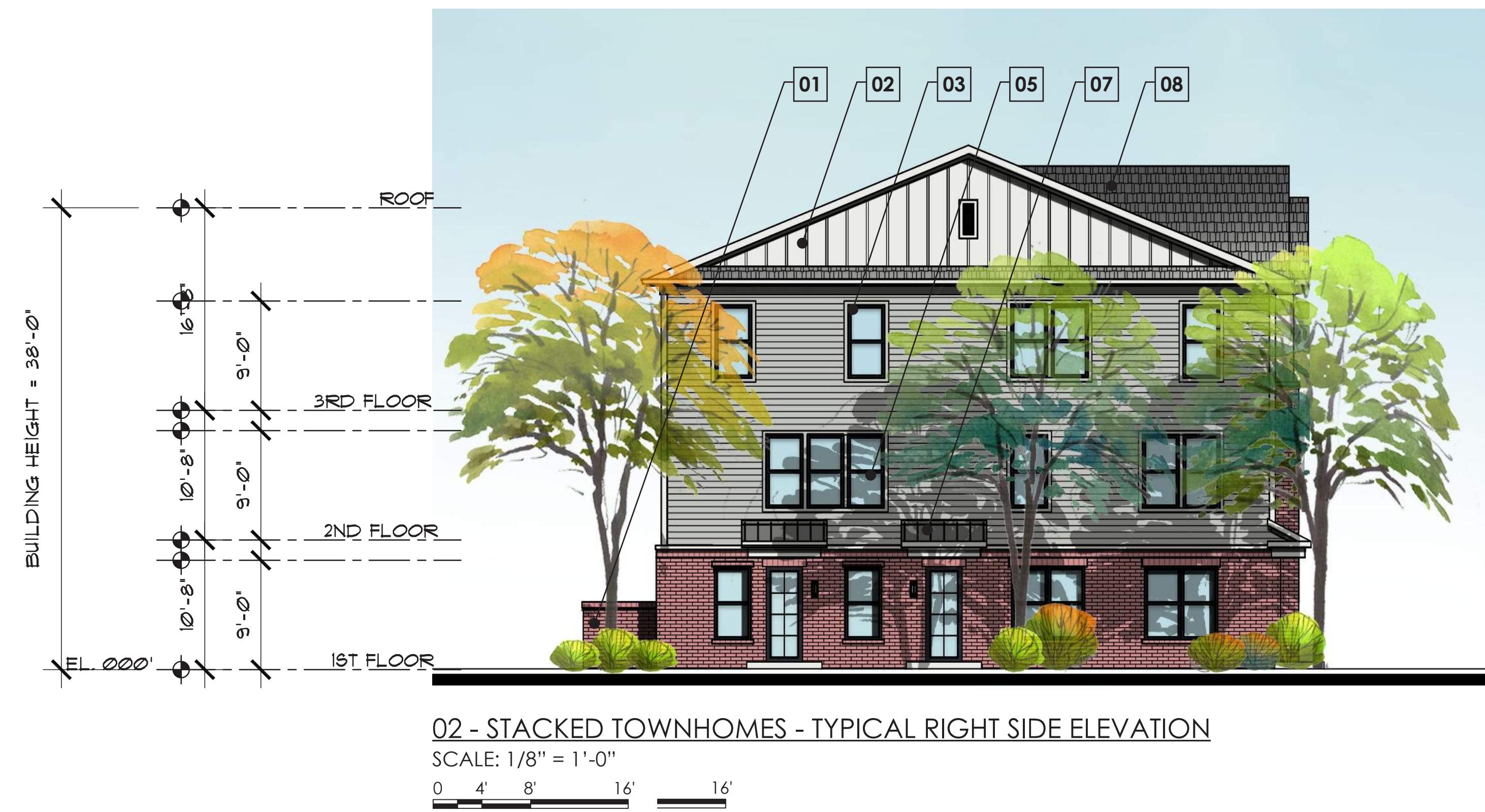
KEY PLAN:



A-12
02



A-12
01



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

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SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.



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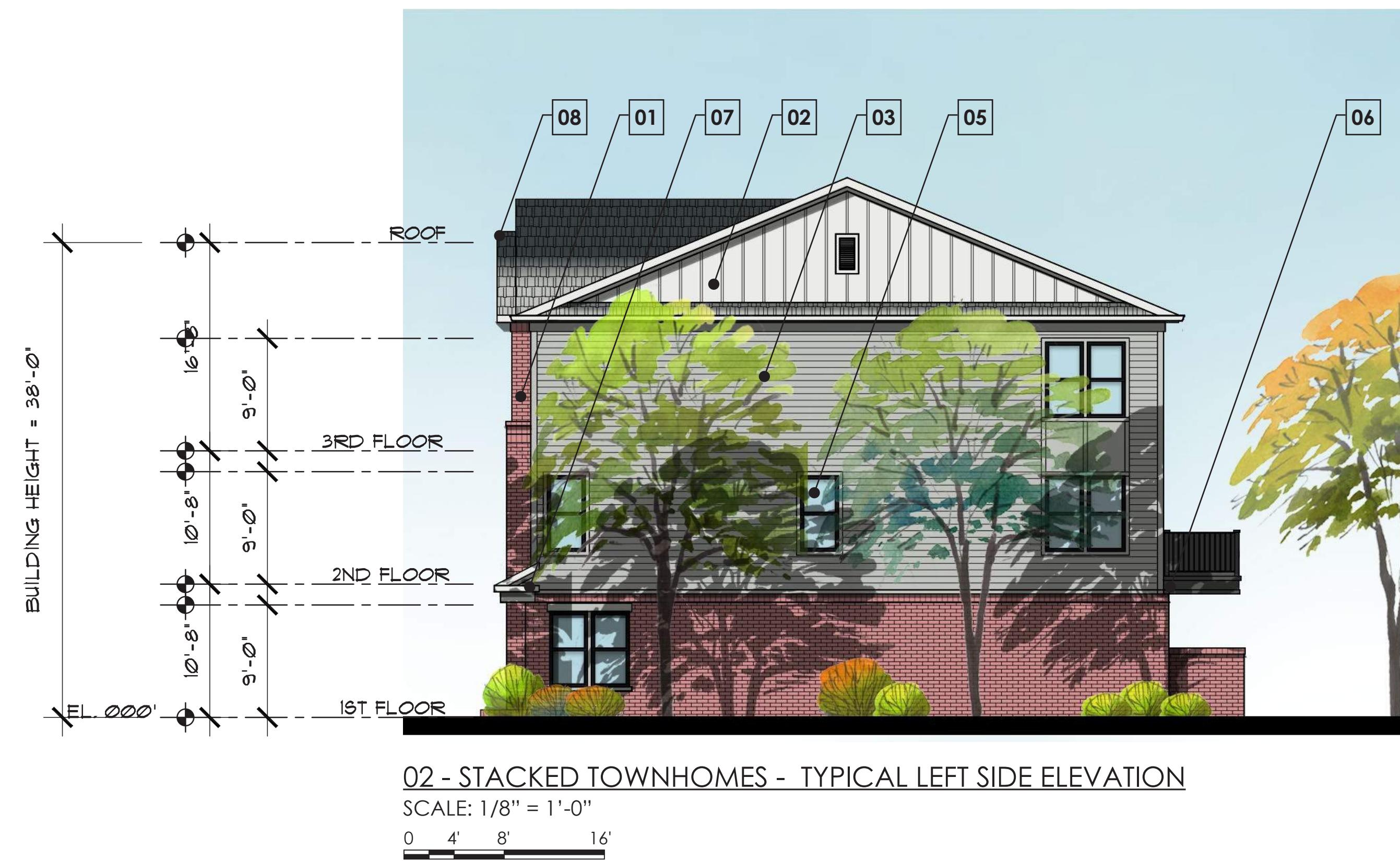
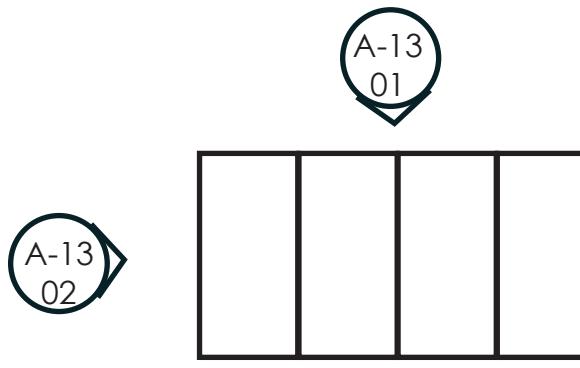
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05-22-2025		PRELIM + FINAL SITE PLAN REV 4

A-12
10 UNIT BUILDING (4 AFFORDABLE UNITS)
STACKED TH ELEVATIONS

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10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)

KEY PLAN:



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

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 BLOCK 106, LOT 1

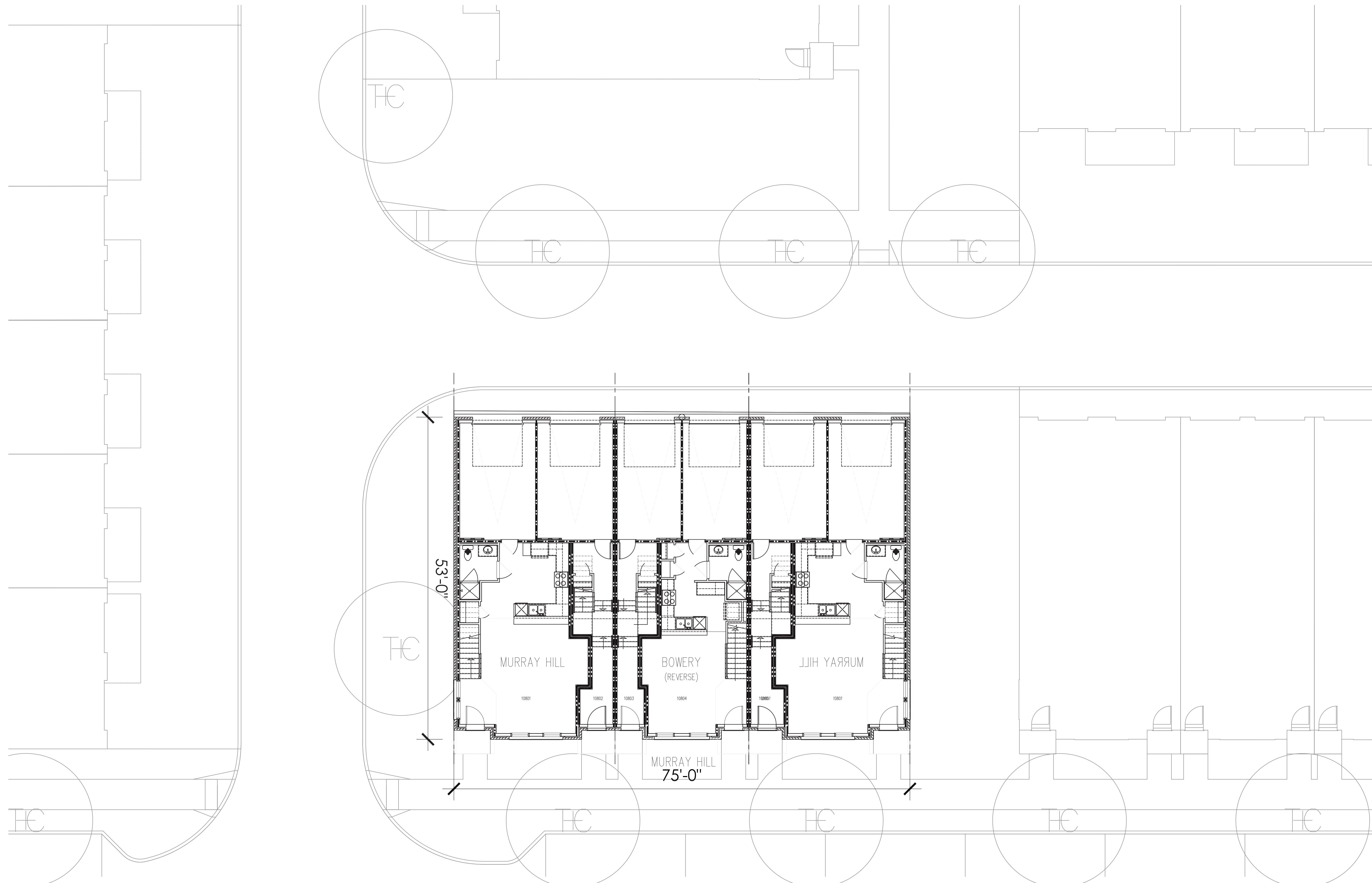
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05-22-2025		PRELIM + FINAL SITE PLAN REV 4

A-13
 10 UNIT BUILDING (4 AFFORDABLE UNITS)
 STACKED TH ELEVATIONS

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6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



01 - 6 UNIT STACKED TOWNHOME BUILDING - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

PREPARED BY:
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PRINCETON NURSERIES
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 BLOCK 102, LOTS 5 + 6
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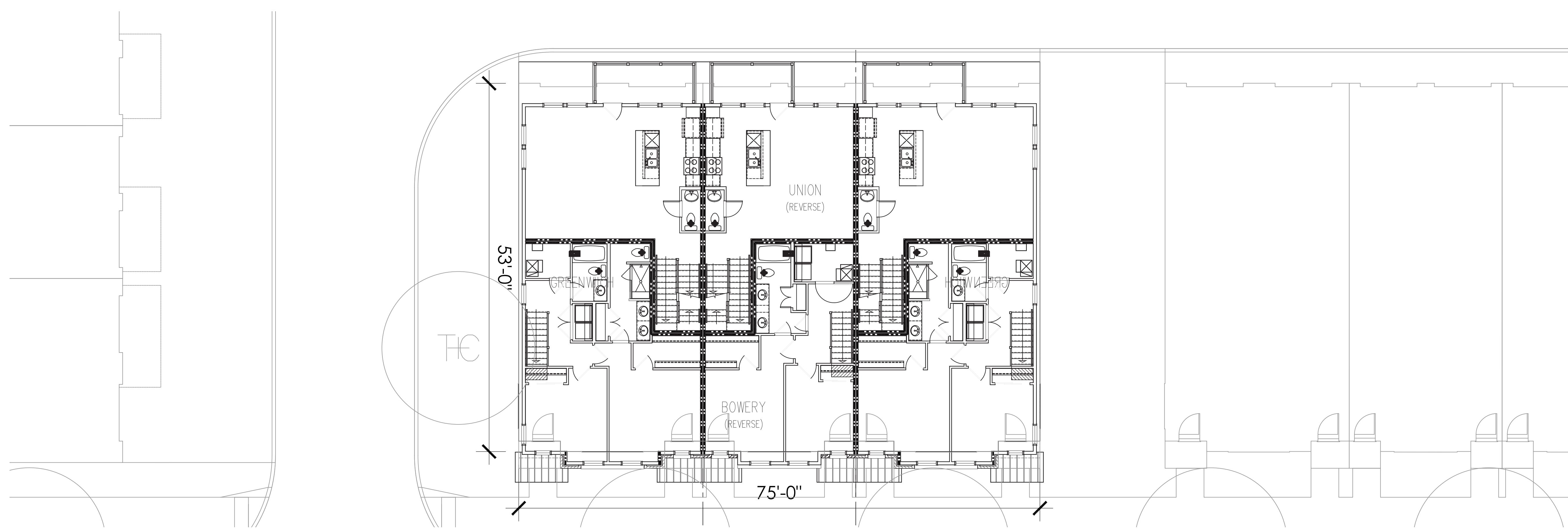
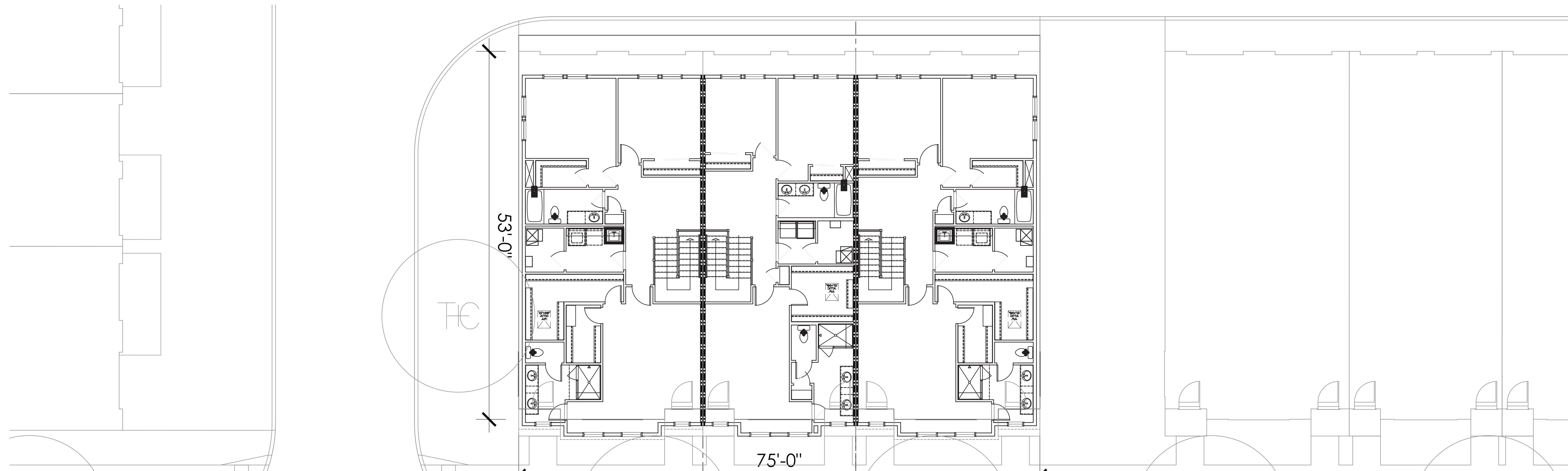
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-14
 6 UNIT BUILDING
 STACKED TH BUILDING PLAN

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6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



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PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
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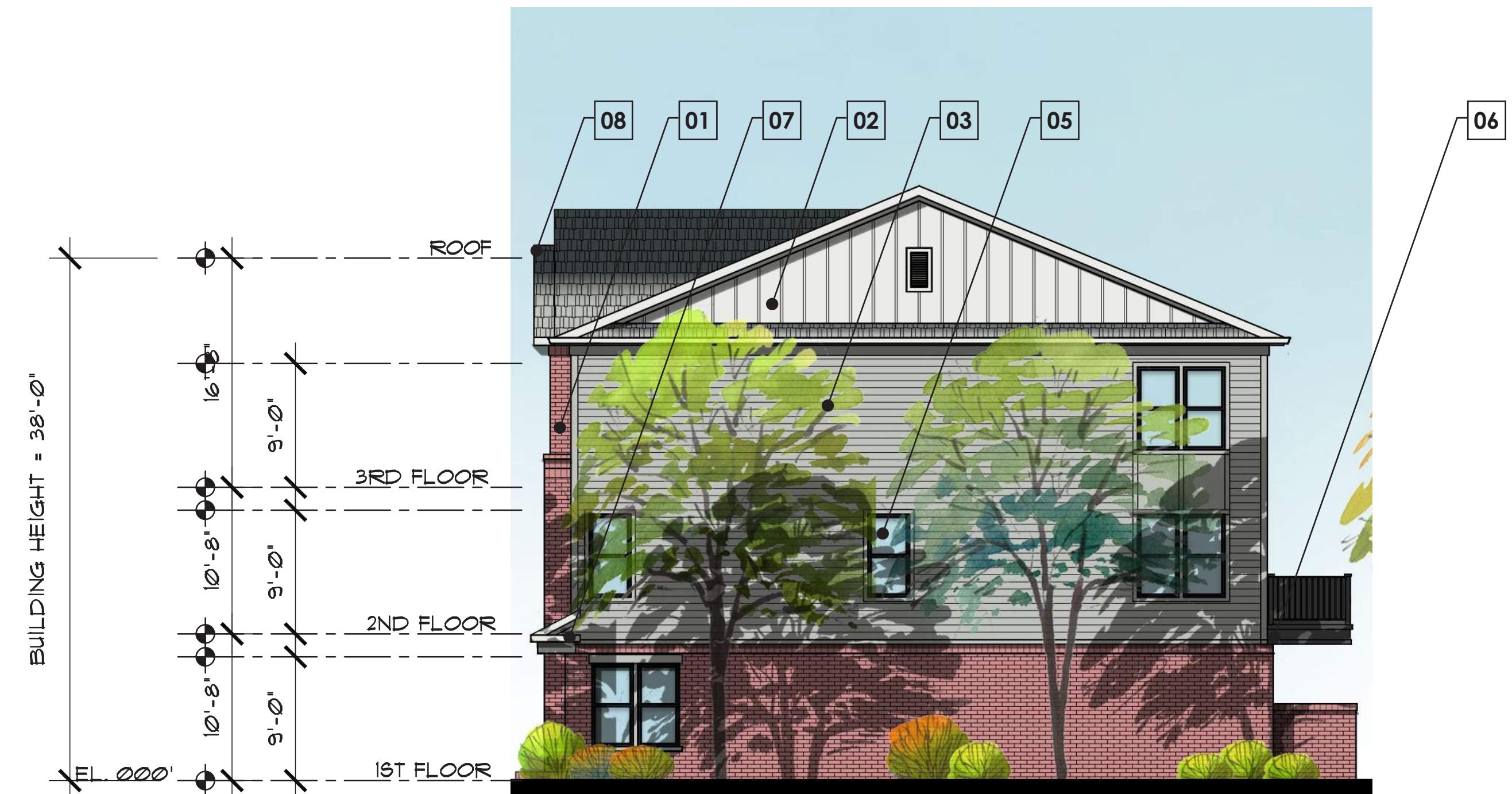
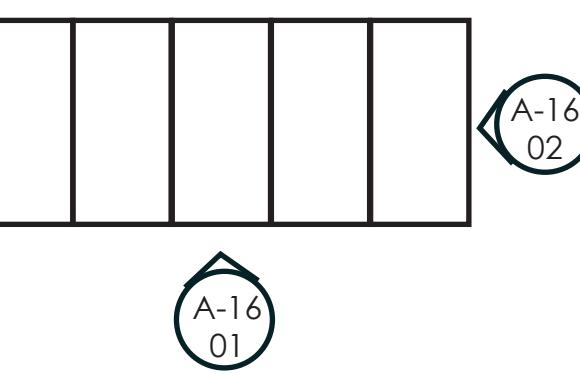
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-15
 6 UNIT BUILDING
 STACKED TH BUILDING PLAN

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6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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02 - STACKED TOWNHOMES - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



01 - STACKED TOWNHOMES - TYPICAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"



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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-16
6 UNIT BUILDING
STACKED TH ELEVATIONS

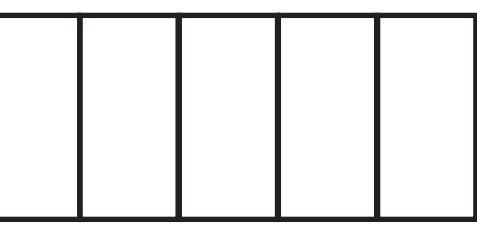
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6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE

KEY PLAN:

A-17
01

A-17
02



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

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02 - STACKED TOWNHOMES - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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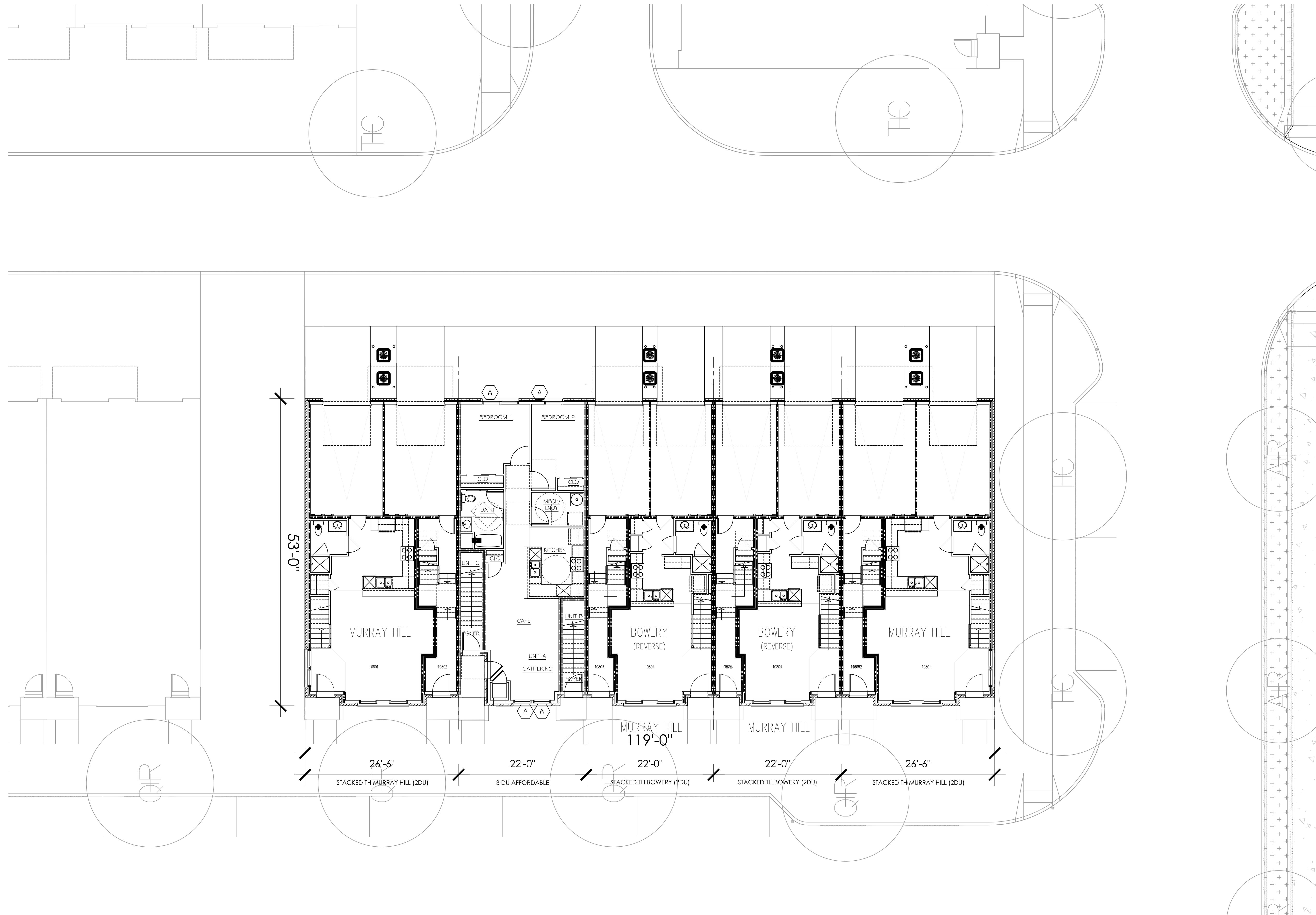
01 - STACKED TOWNHOMES - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"
0 4' 8' 16'

A-17
6 UNIT BUILDING
STACKED TH ELEVATIONS

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11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)



01 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

A-18
11 UNIT BUILDING (3 AFFORDABLE UNITS)
STACKED TH COAH BUILDING PLAN

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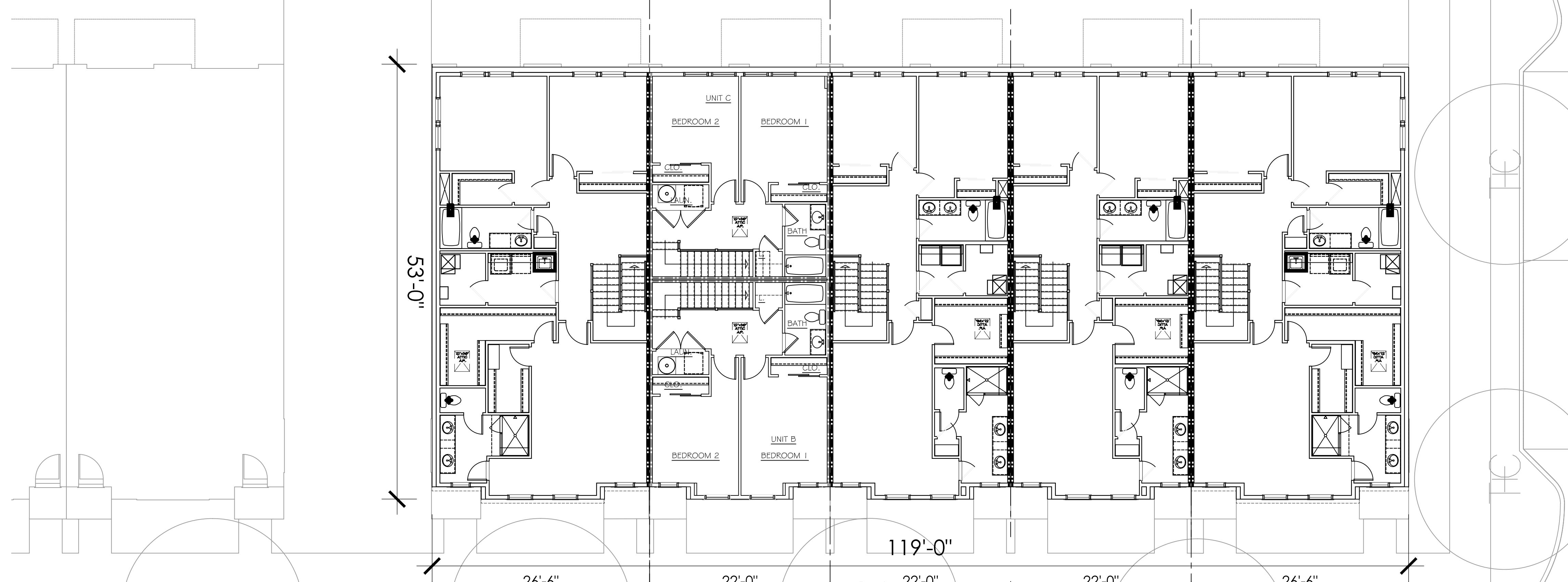
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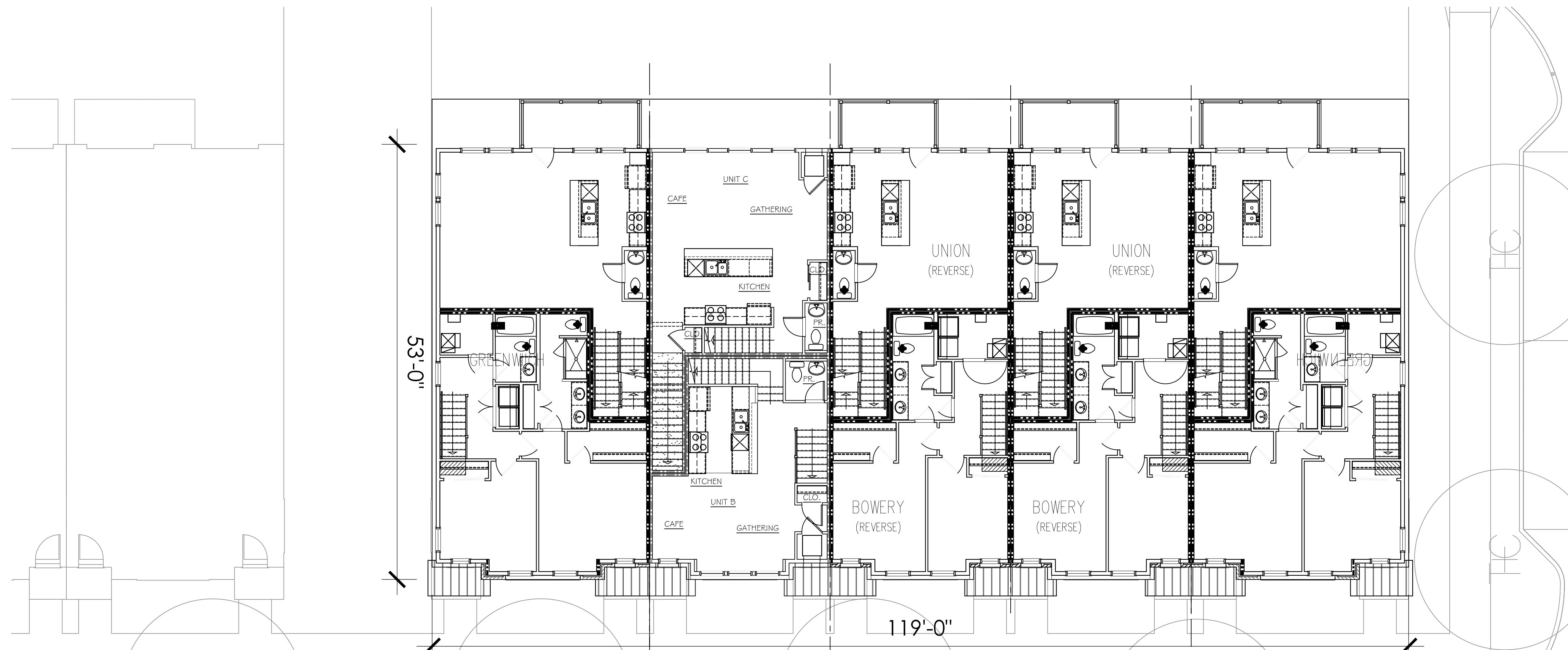
11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)



02 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



01 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-19

11 UNIT BUILDING (3 AFFORDABLE UNITS)
 STACKED TH COAH BUILDING PLAN

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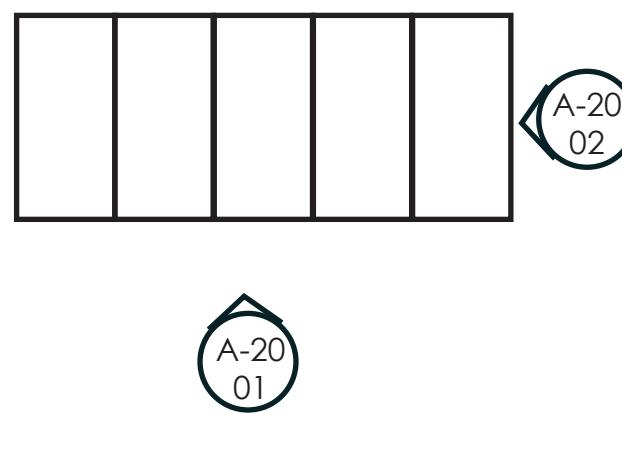
11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)

KEY PLAN:



02 - STACKED TOWNHOMES - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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01 - STACKED TOWNHOMES - TYPICAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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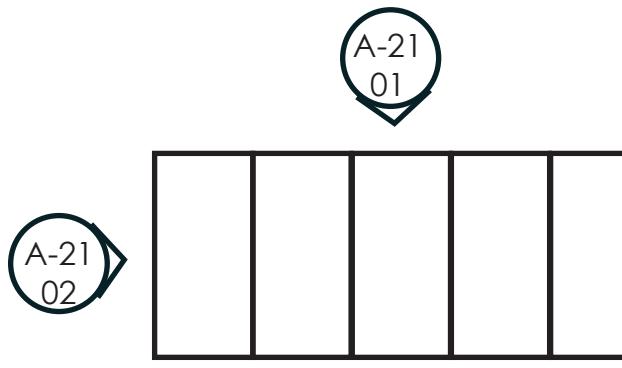
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11 UNIT BUILDING (3 AFFORDABLE UNITS)
STACKED TH ELEVATIONS

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11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)

KEY PLAN:



02 - STACKED TOWNHOMES - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
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01 - STACKED TOWNHOMES - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



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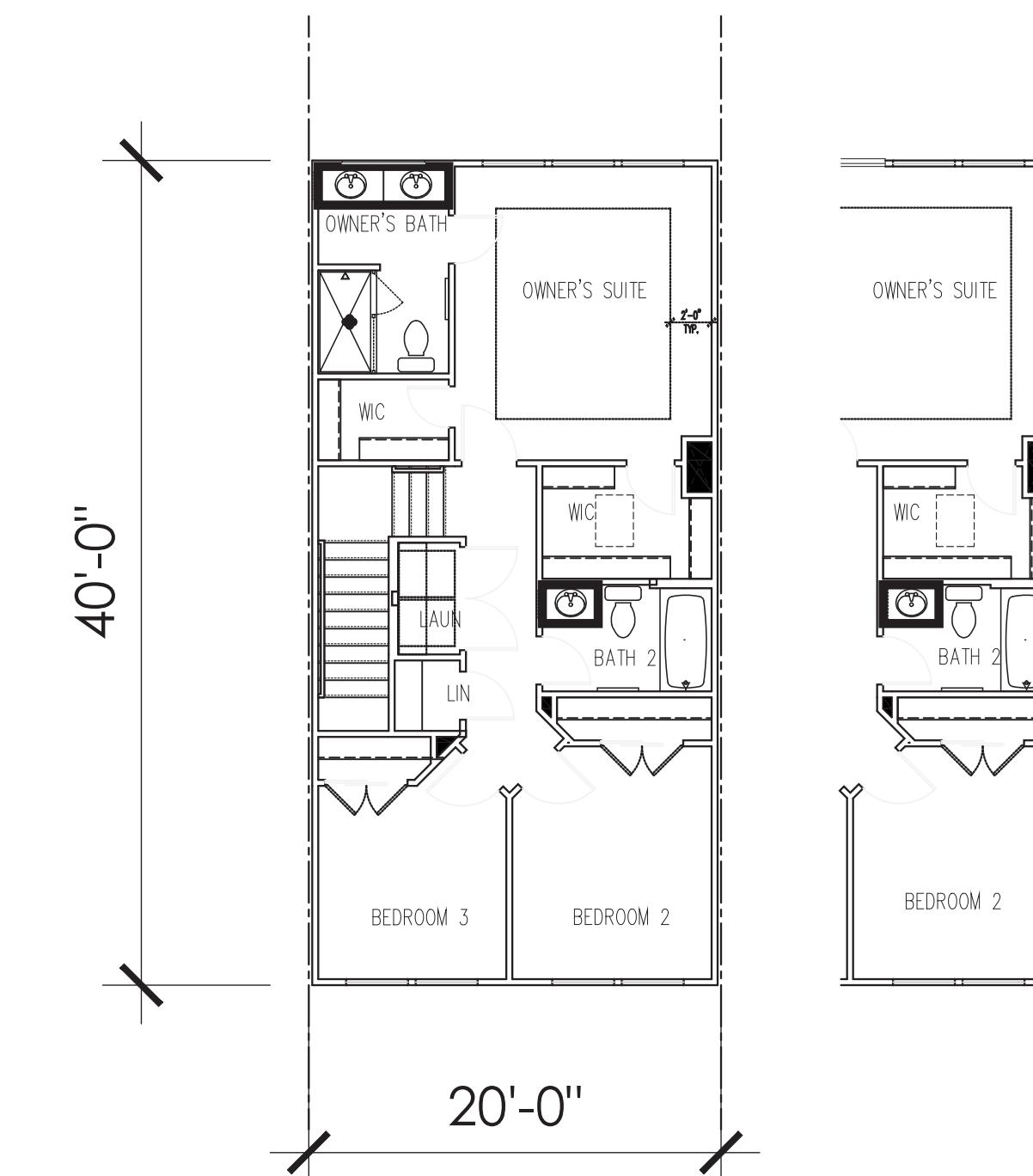
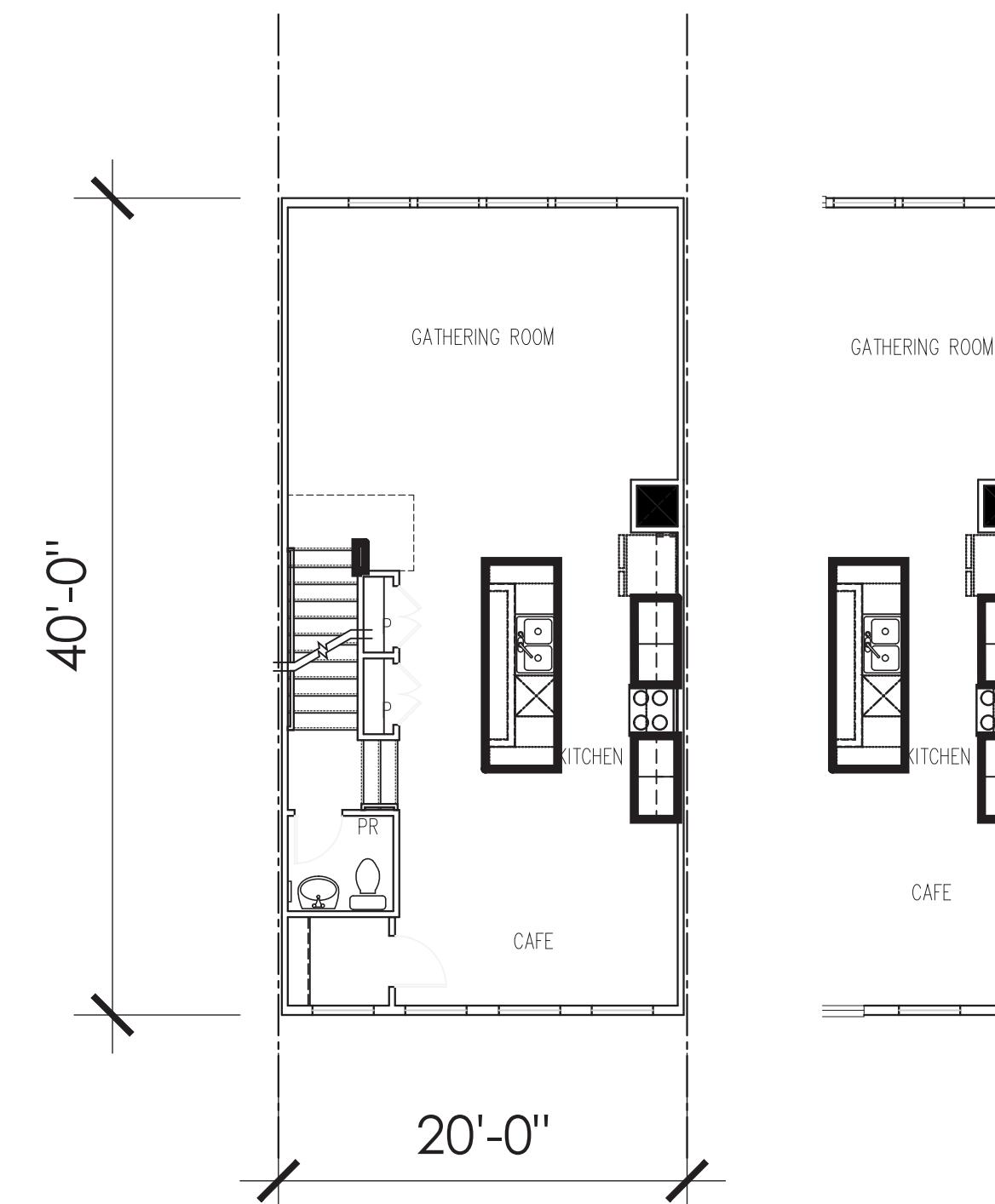
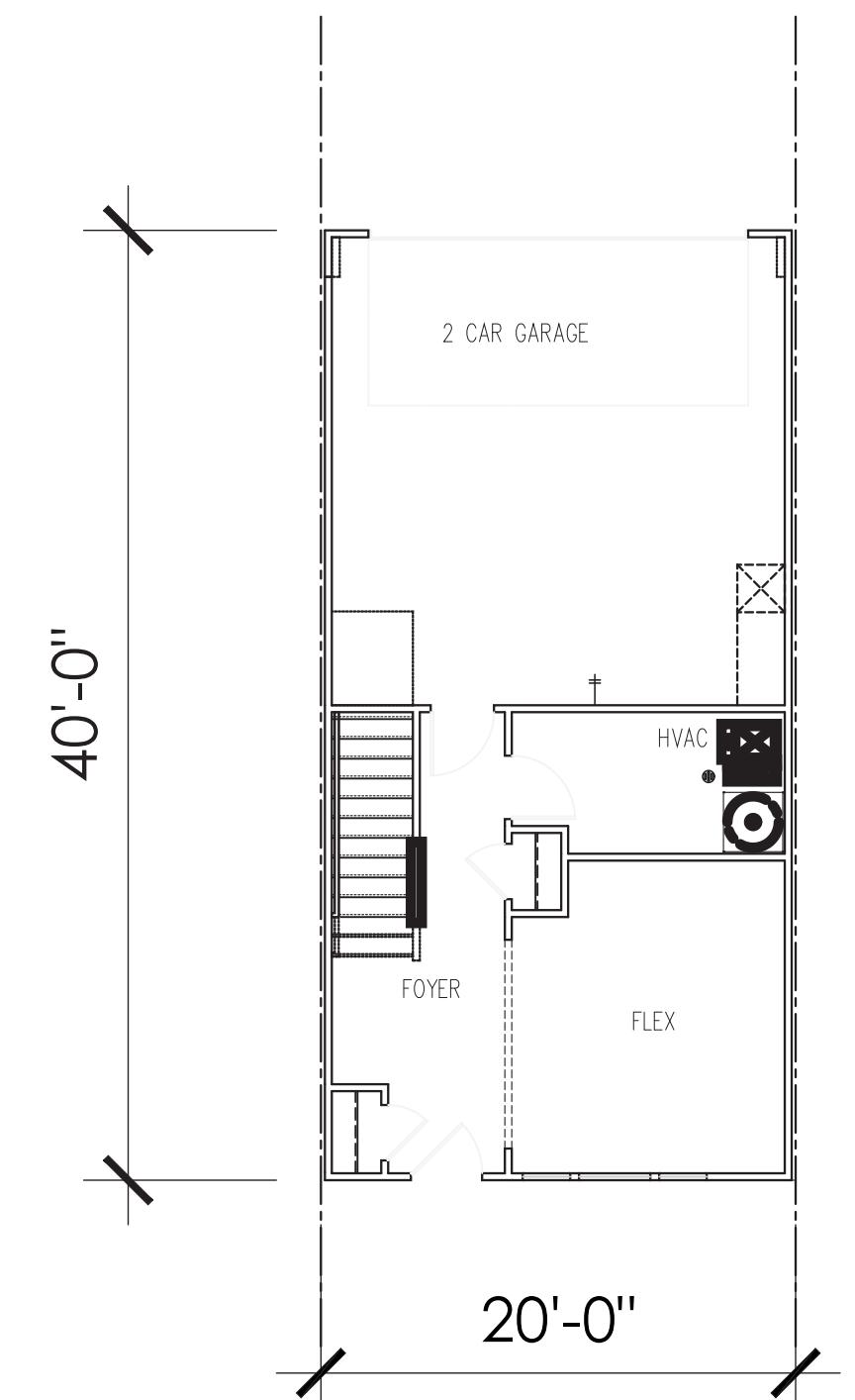
A-21

11 UNIT BUILDING (3 AFFORDABLE UNITS)
STACKED TH ELEVATIONS

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SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

MARKET RATE 20'-0" TRADITIONAL TOWNHOME LAYOUT**01 - GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

02 - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

03 - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

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 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

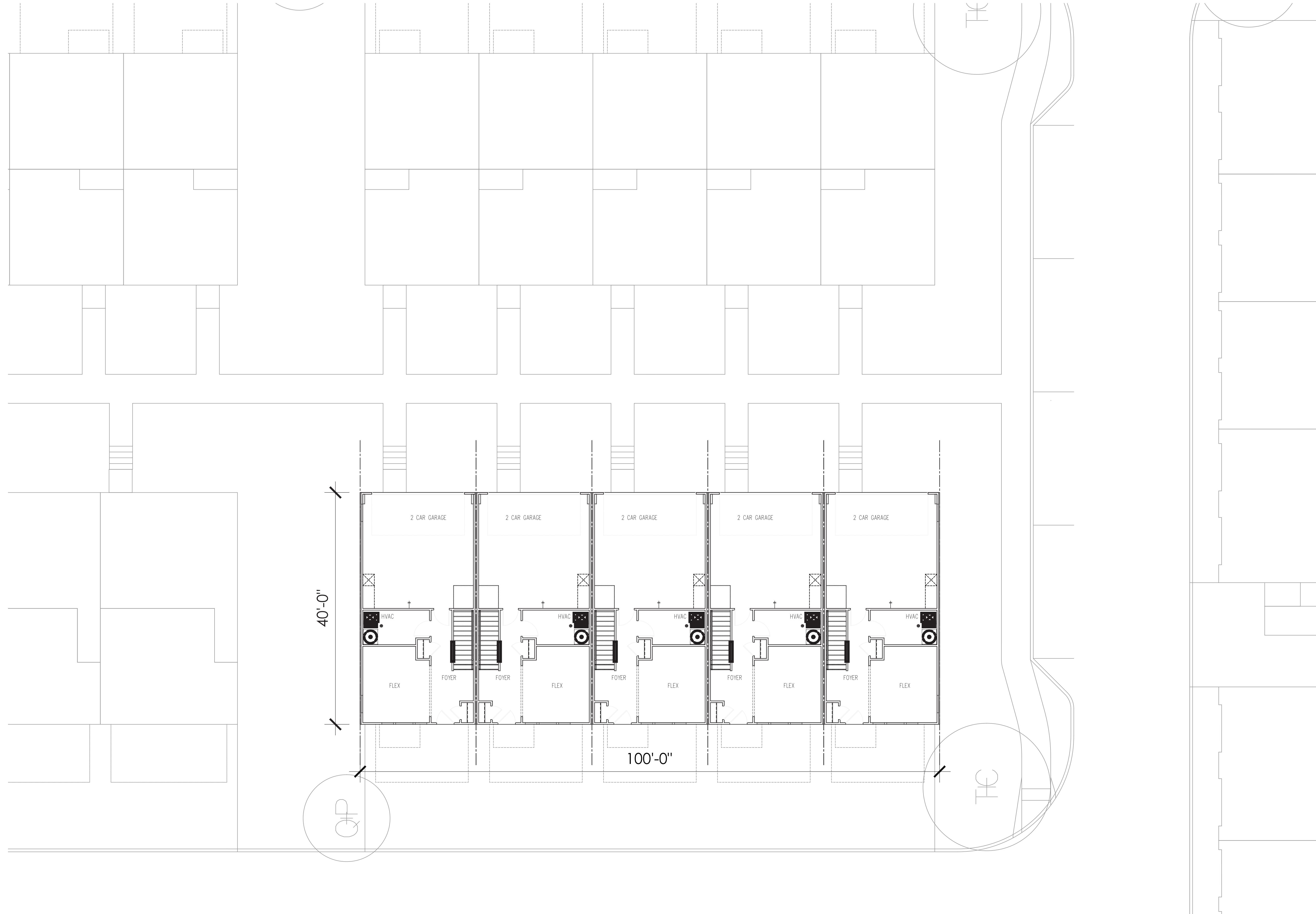
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04-18-2025		PRELIM + FINAL SITE PLAN REV 3
05-22-2025		PRELIM + FINAL SITE PLAN REV 4

A-22

20' TH BUILDING PLAN

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5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'



01 - 5 UNIT (20' TOWNHOMES) - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

A-23

20' TH BUILDING PLAN

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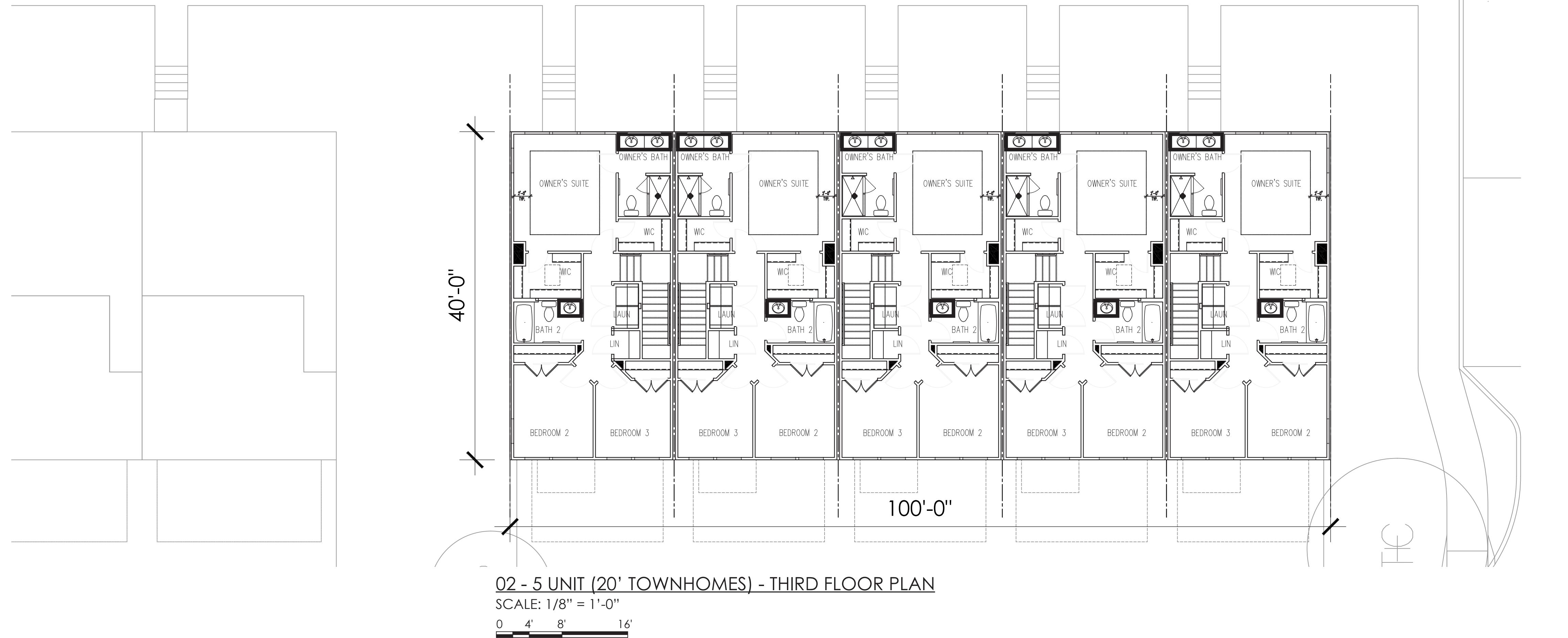
PREPARED BY:
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 80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

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05-22-2025		PRELIM + FINAL SITE PLAN REV 4

5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'



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 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

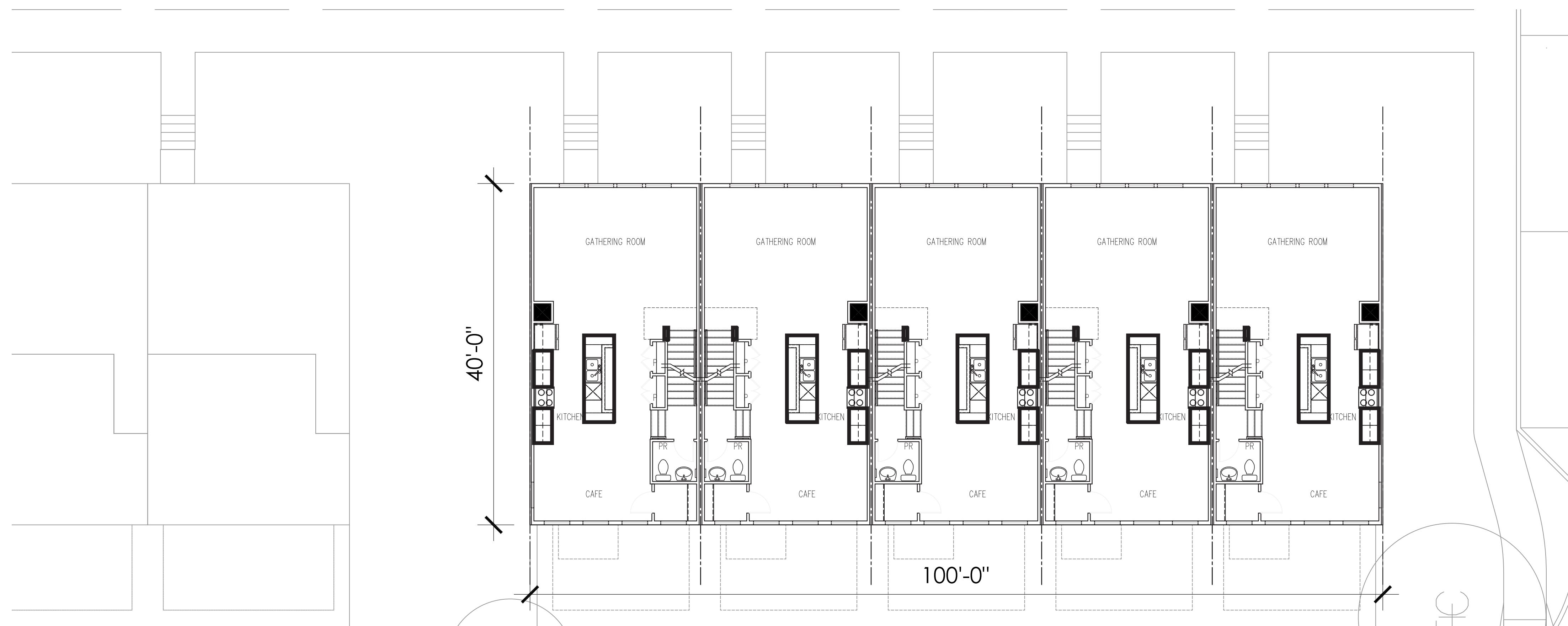
A-24

20' TH BUILDING PLAN

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01 - 5 UNIT (20' TOWNHOMES) - SECOND FLOOR PLAN

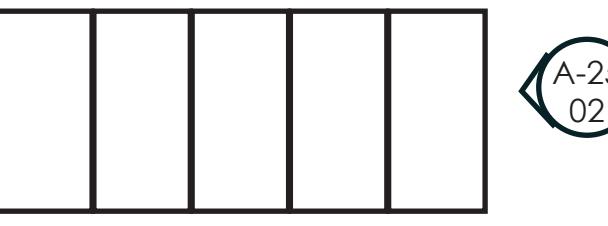
SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'

KEY PLAN:



02 - 20' TRADITIONAL TH REAR LOADED - TYPICAL RIGHT SIDE ELEVATION
SCALE: 1/16" = 1'-0"
0 4' 8' 16'

MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.



01 - 20' TRADITIONAL TH REAR LOADED - TYPICAL FRONT ELEVATION
SCALE: 1/16" = 1'-0"
0 4' 8' 16'

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PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

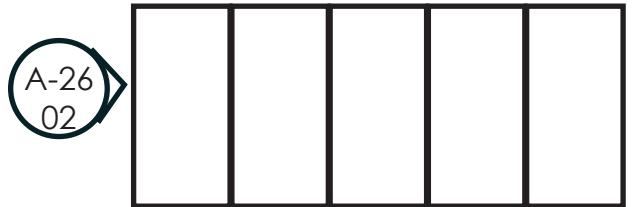
A-25

20' TH ELEVATIONS

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5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'

KEY PLAN:



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

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 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

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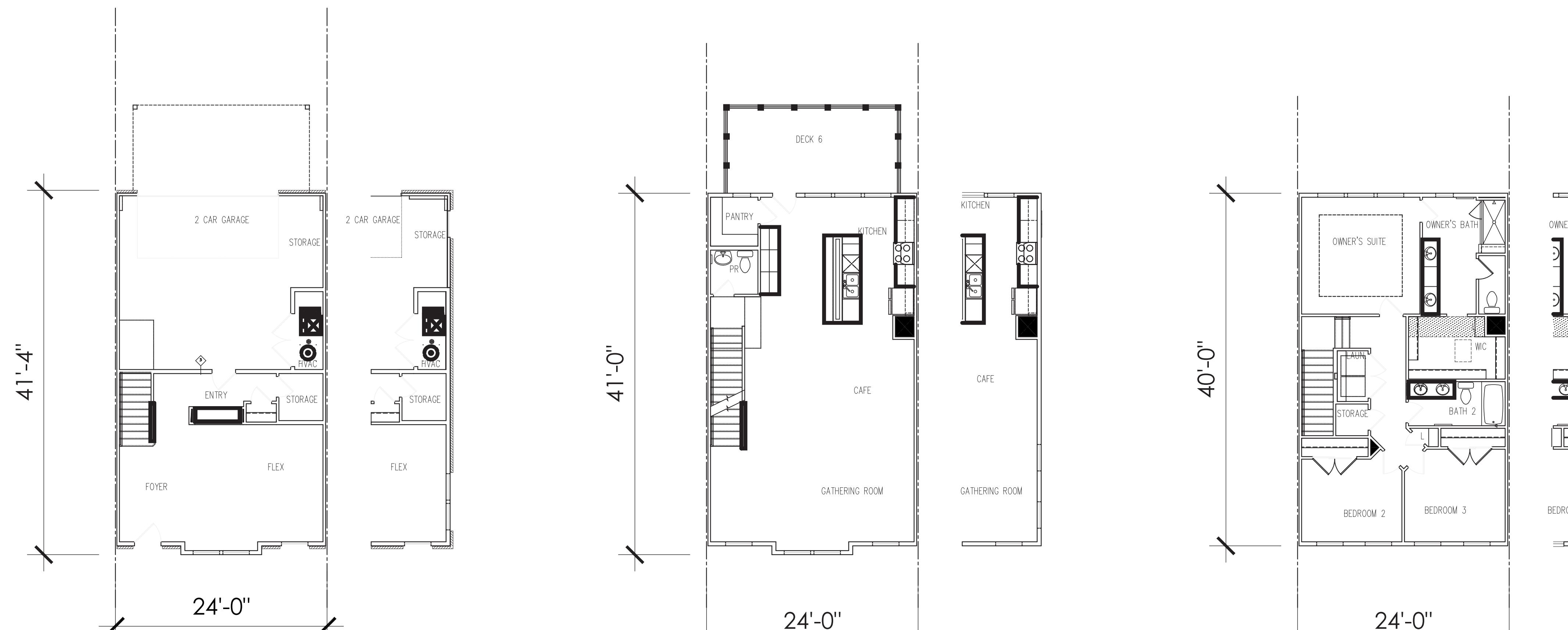
A-26

20' TH ELEVATIONS

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SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

MARKET RATE 24'-0" TRADITIONAL TOWNHOME LAYOUT

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PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 102

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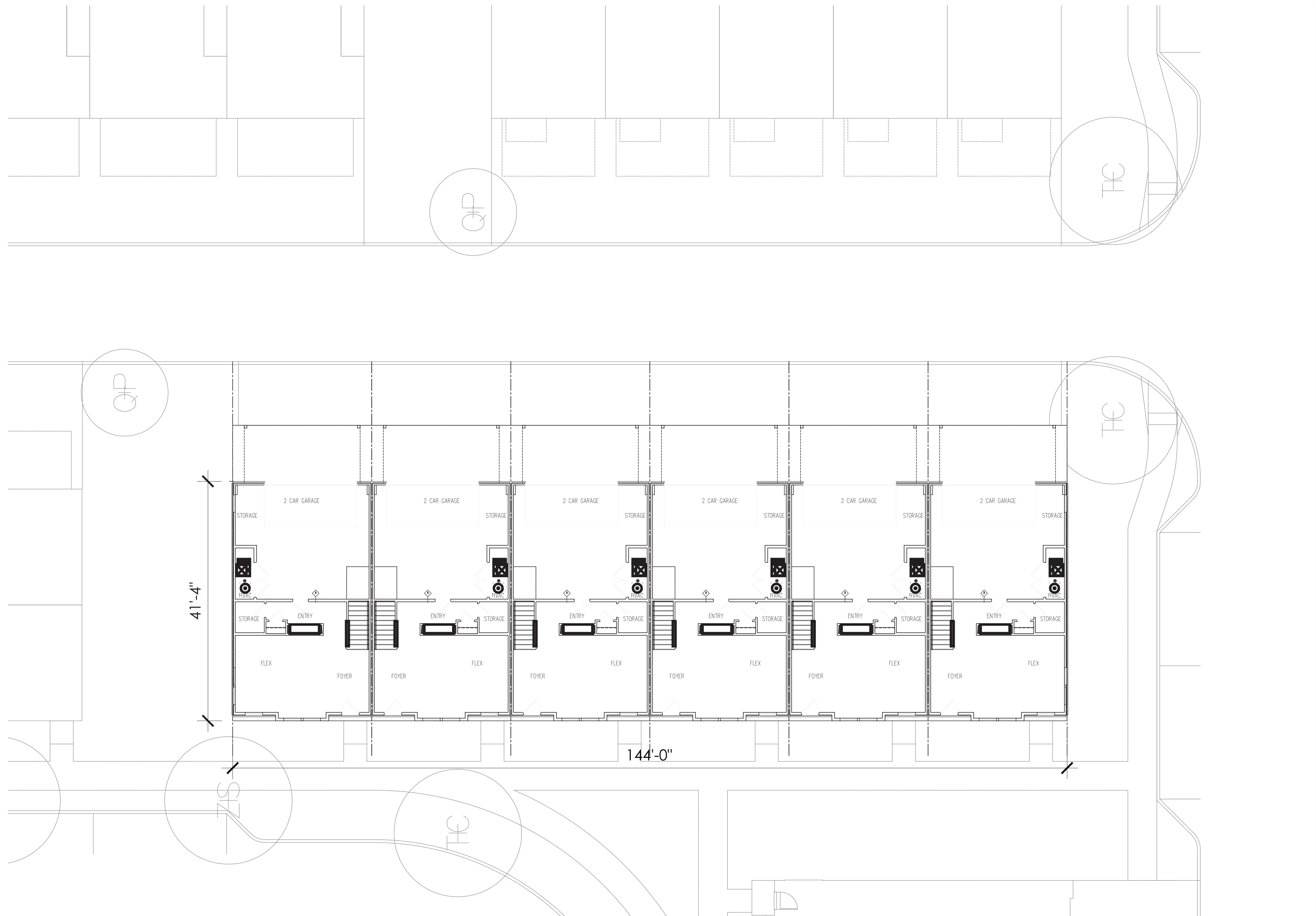
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-27

24' TH BUILDING PLAN

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6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'



01 - 6 UNIT (24' TOWNHOMES) - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

A-28

24' TH BUILDING PLAN

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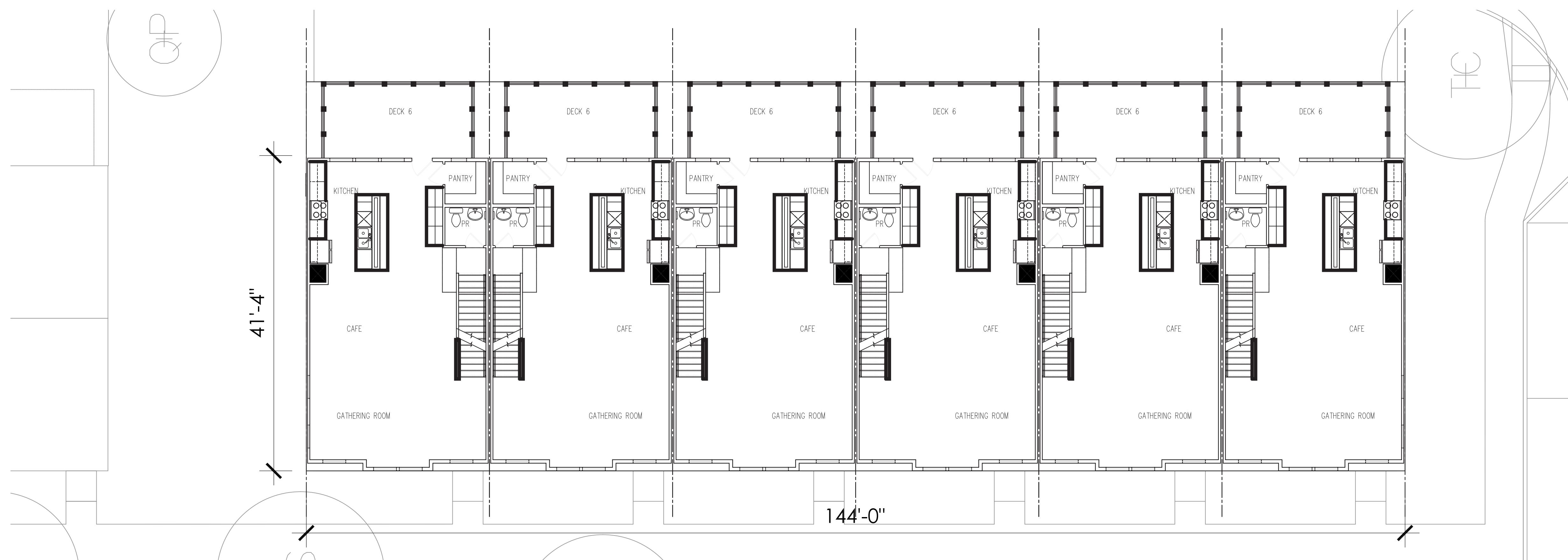
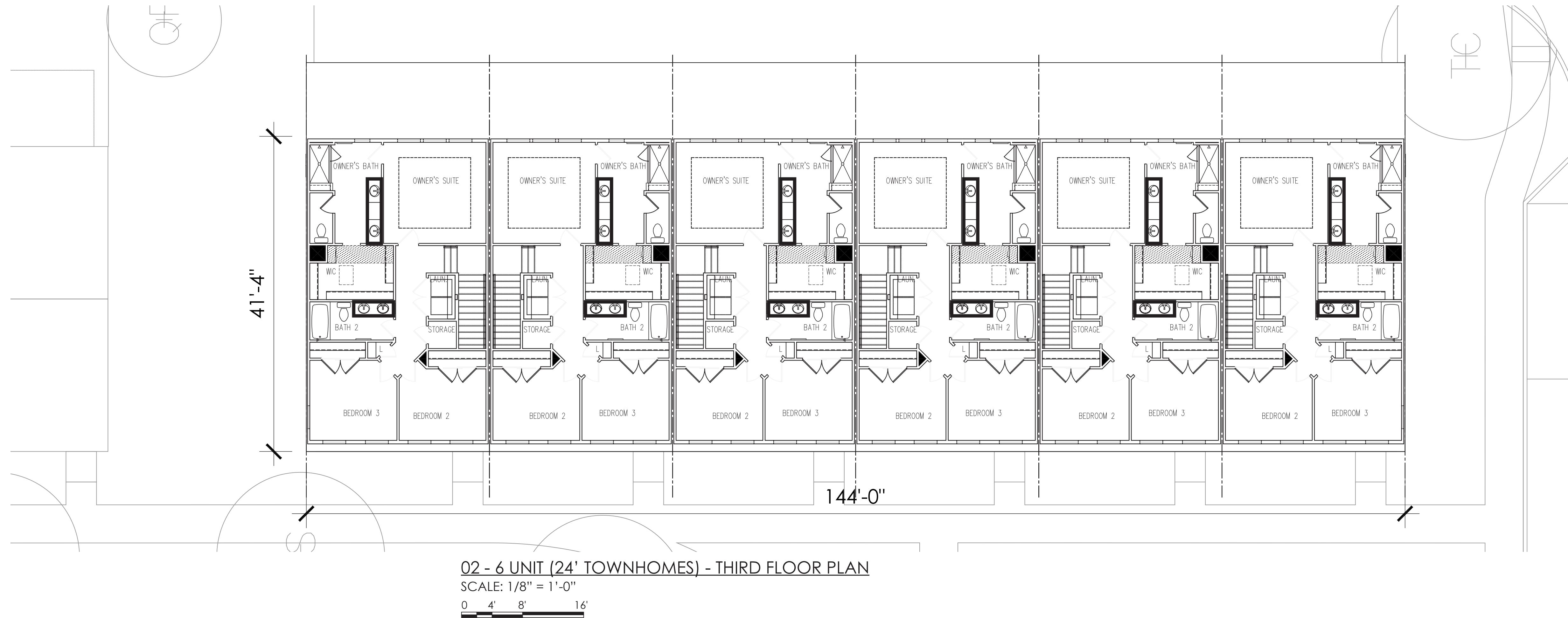
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PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 106, LOT 1

PREPARED FOR:
WRV NURSERIES PLAINSBORO OWNER, LLC

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'



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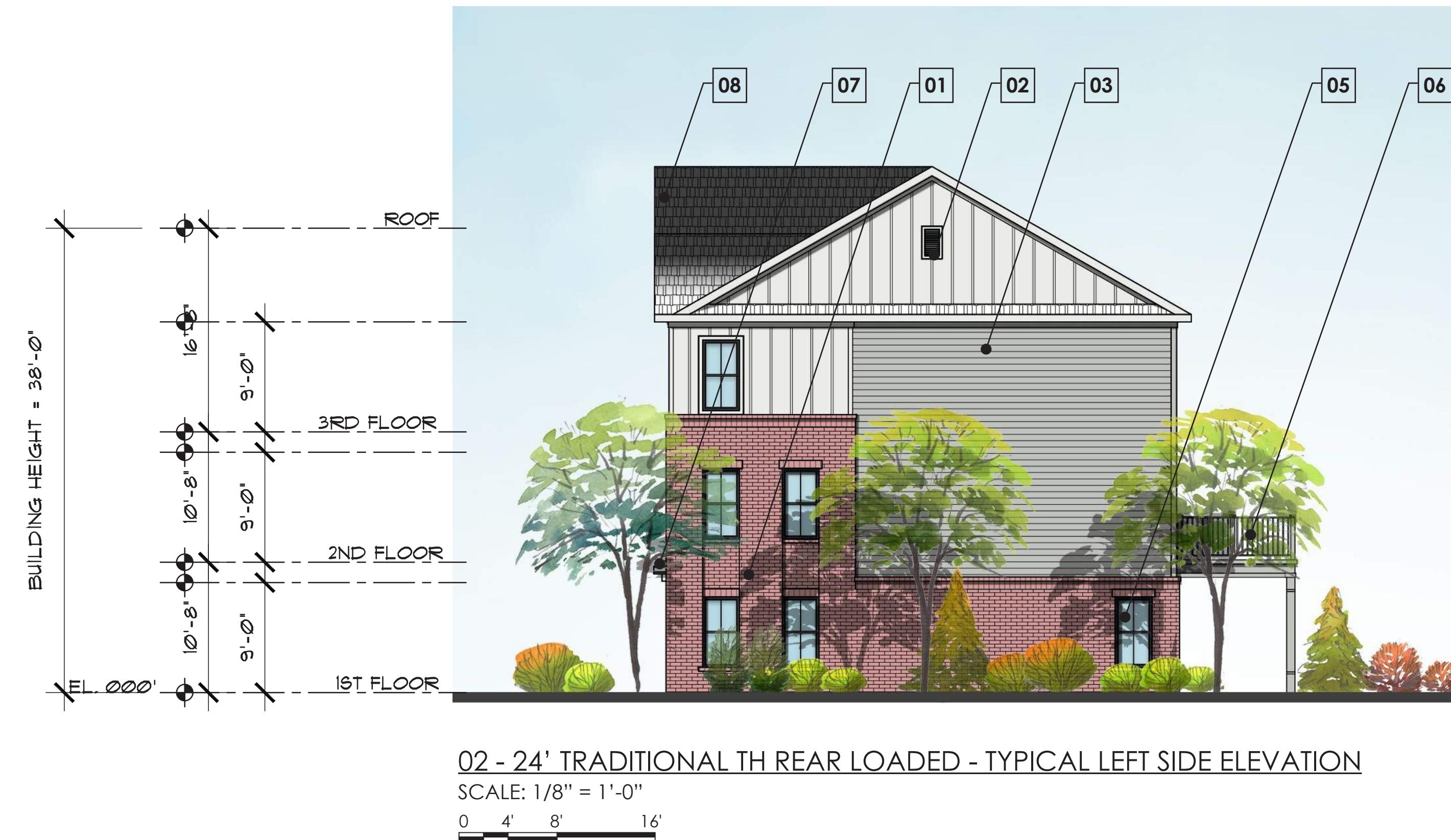
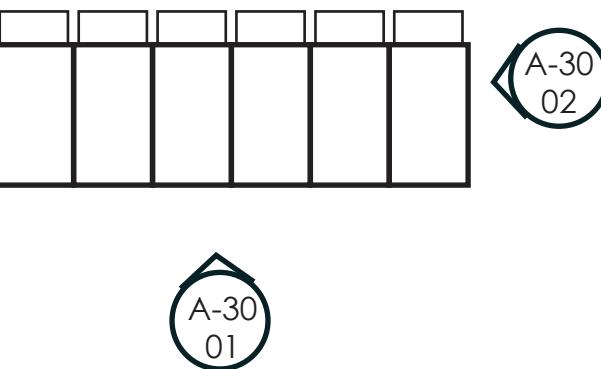
A-29

24' TH BUILDING PLAN

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6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'

KEY PLAN:



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

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SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.



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PRINCETON NURSERIES
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 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

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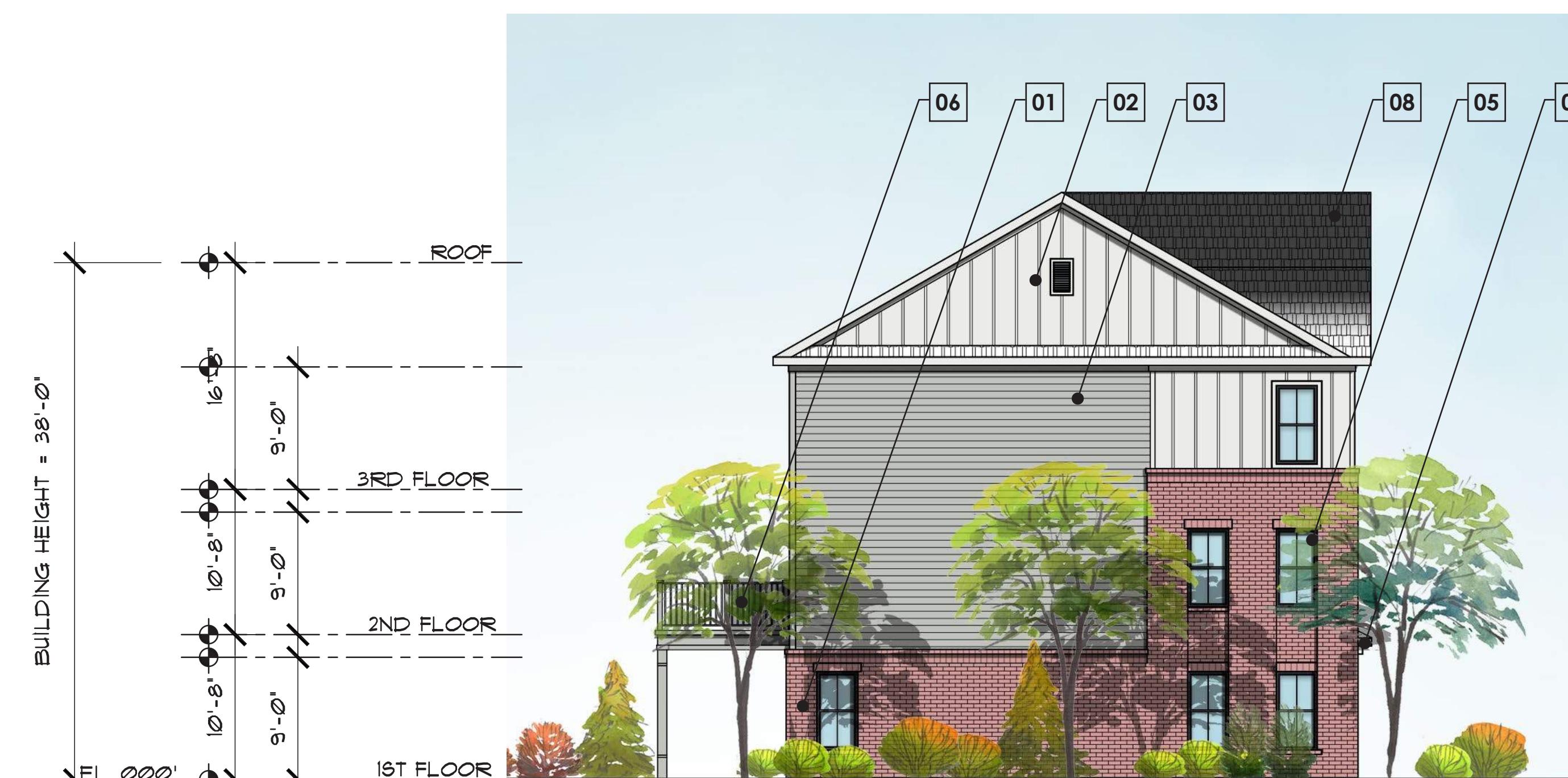
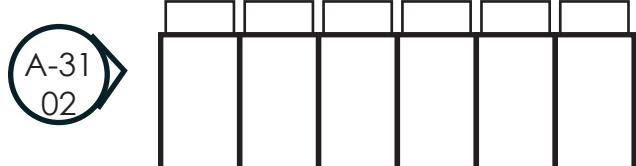
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-30

24' TH ELEVATIONS

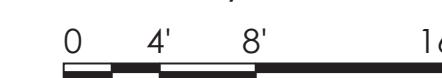
6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'

KEY PLAN:



02 - 24' TRADITIONAL TH REAR LOADED - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
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09	ARCHITECTURAL GARAGE DOOR

NOTES:

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01 - 24' TRADITIONAL TH REAR LOADED - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



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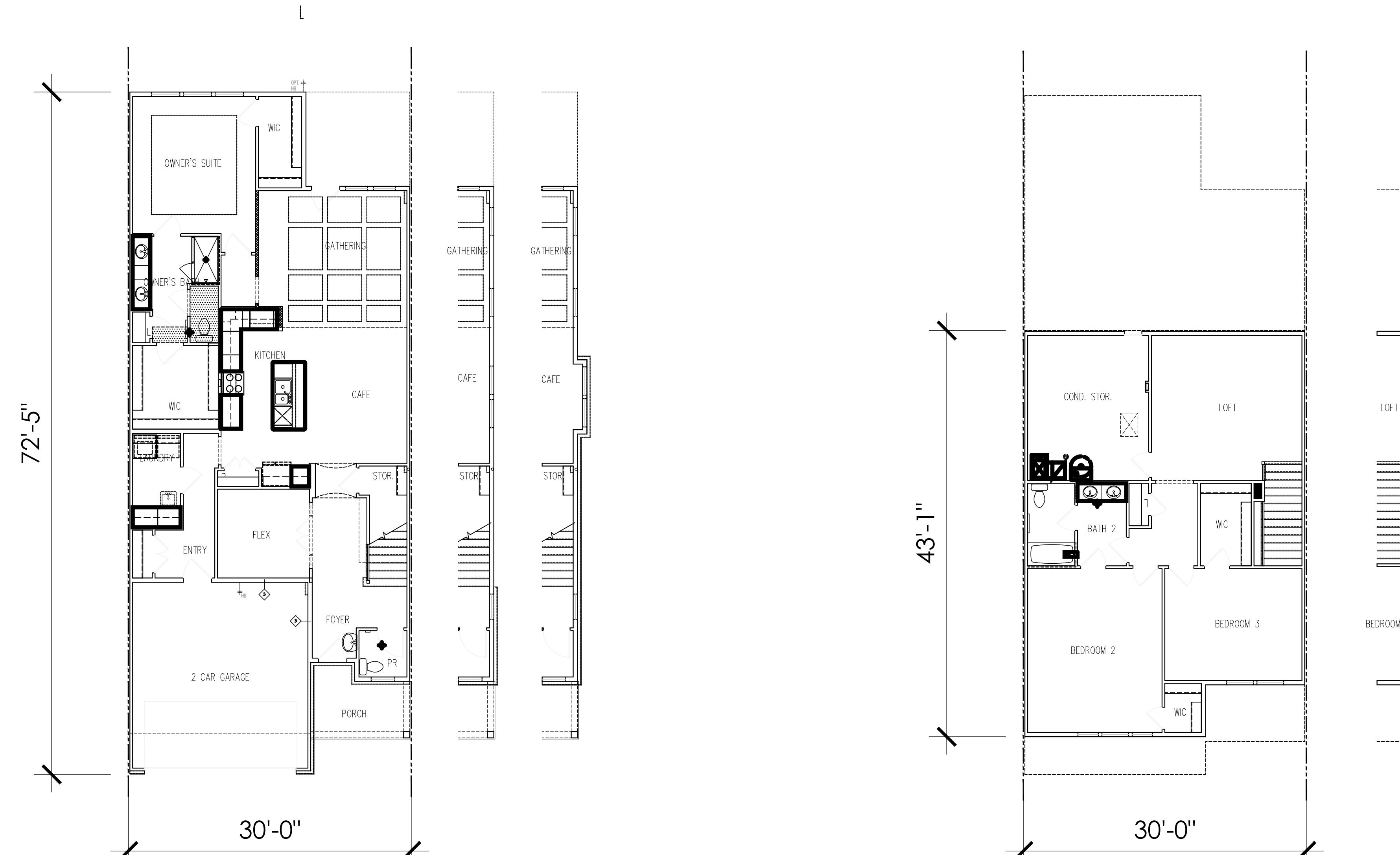
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-31

24' TH ELEVATIONS

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
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3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

MARKET RATE 30'-0" TRADITIONAL TOWNHOME LAYOUT**01 - GROUND FLOOR PLAN & EDGE CONDITION**

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

02 - SECOND FLOOR PLAN & EDGE CONDITION

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

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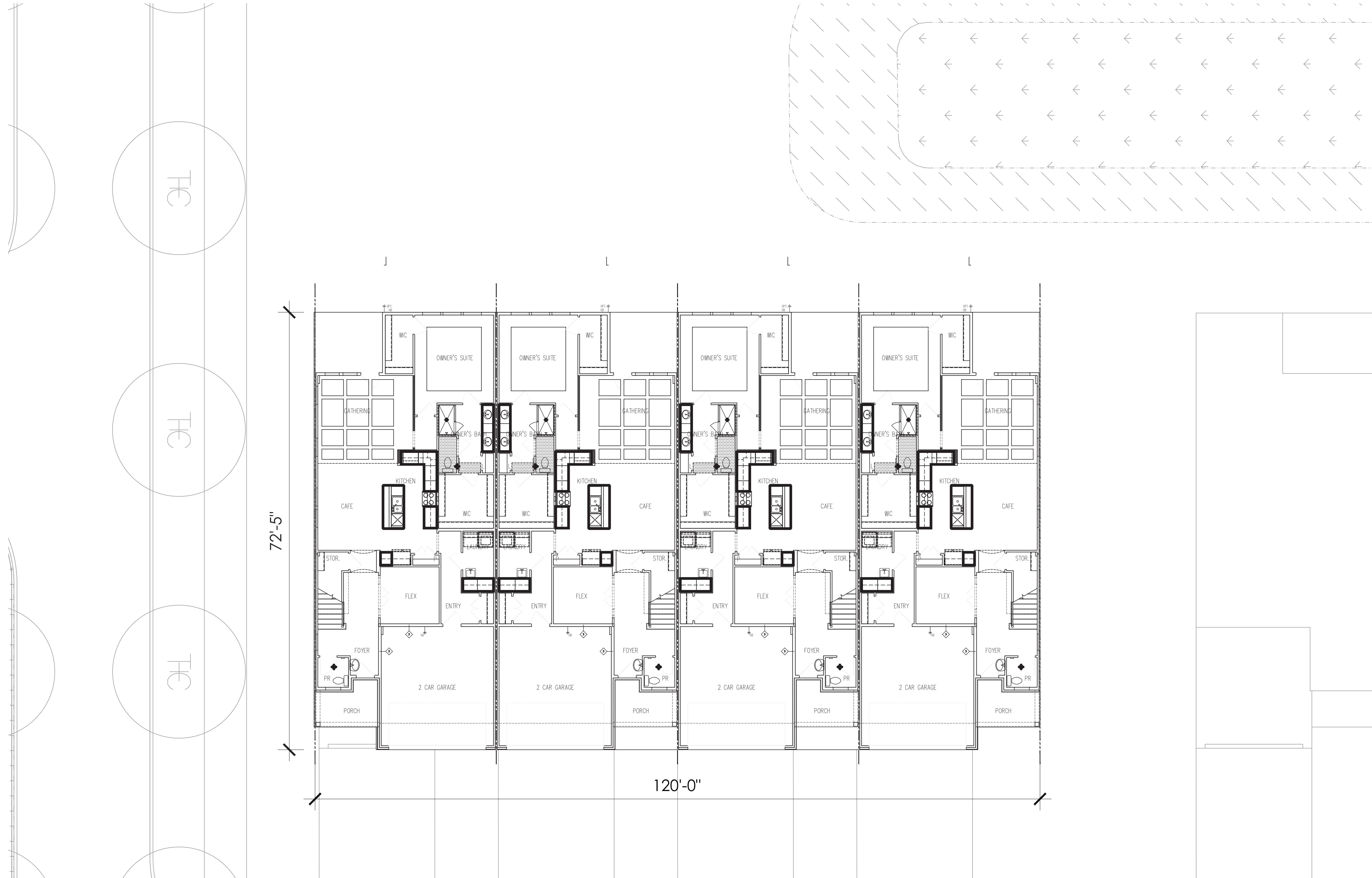
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05-22-2025		PRELIM + FINAL SITE PLAN REV 4

A-32

30' TH BUILDING PLAN

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4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN



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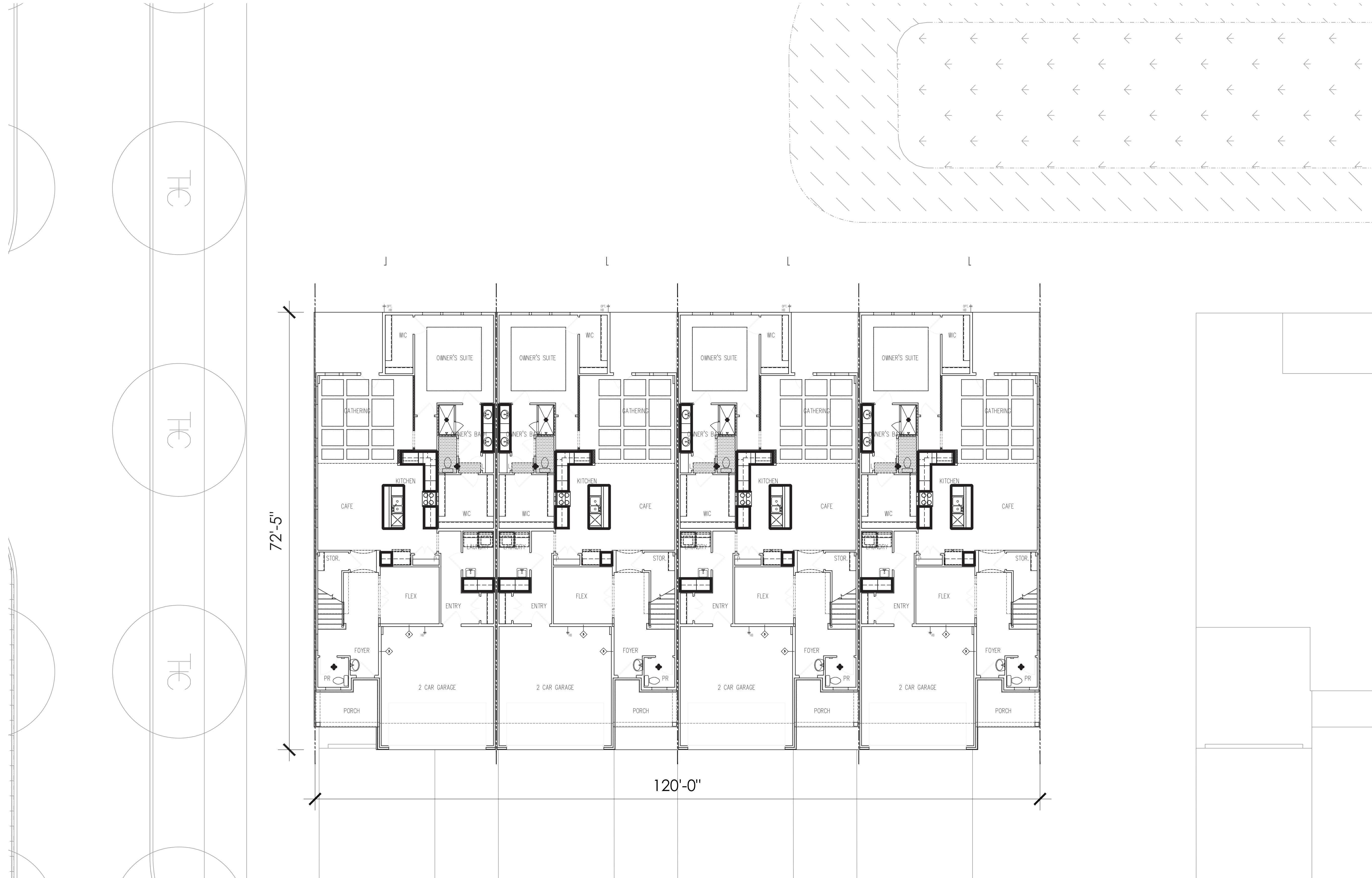
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-33

30' TH BUILDING PLAN

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4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN



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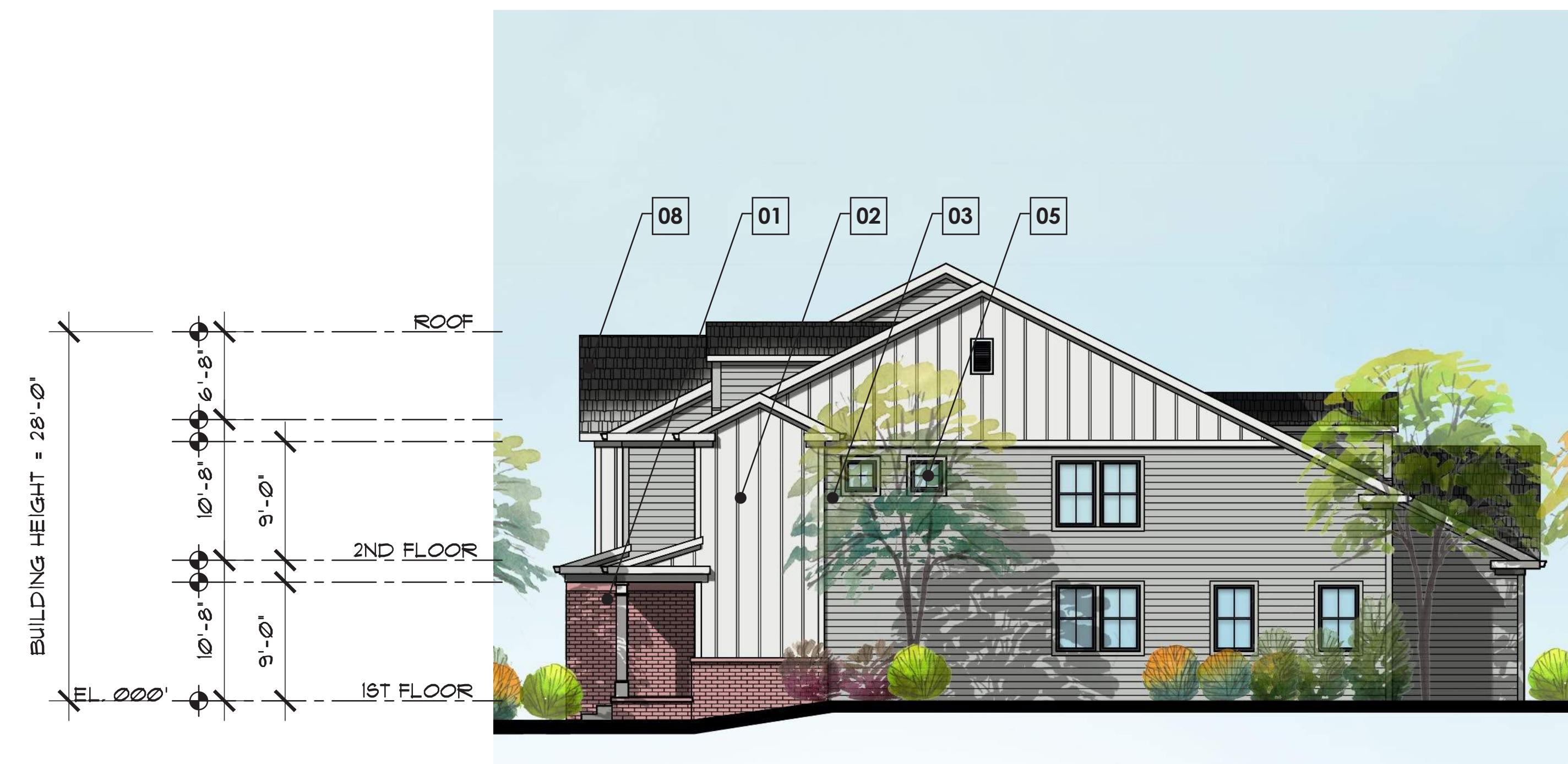
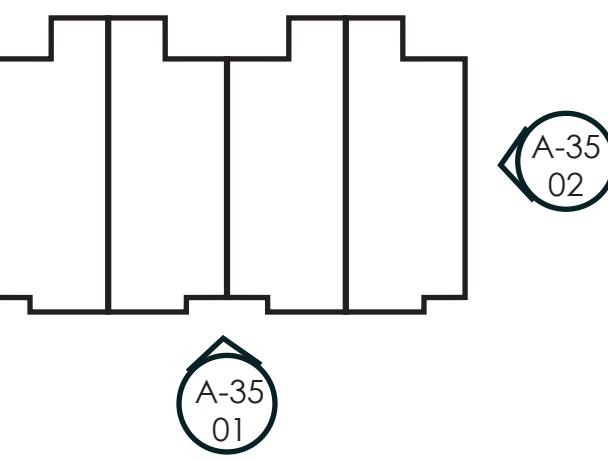
A-34

30' TH BUILDING PLAN

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4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN

KEY PLAN:



MATERIALS KEY:

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

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PREPARED FOR:
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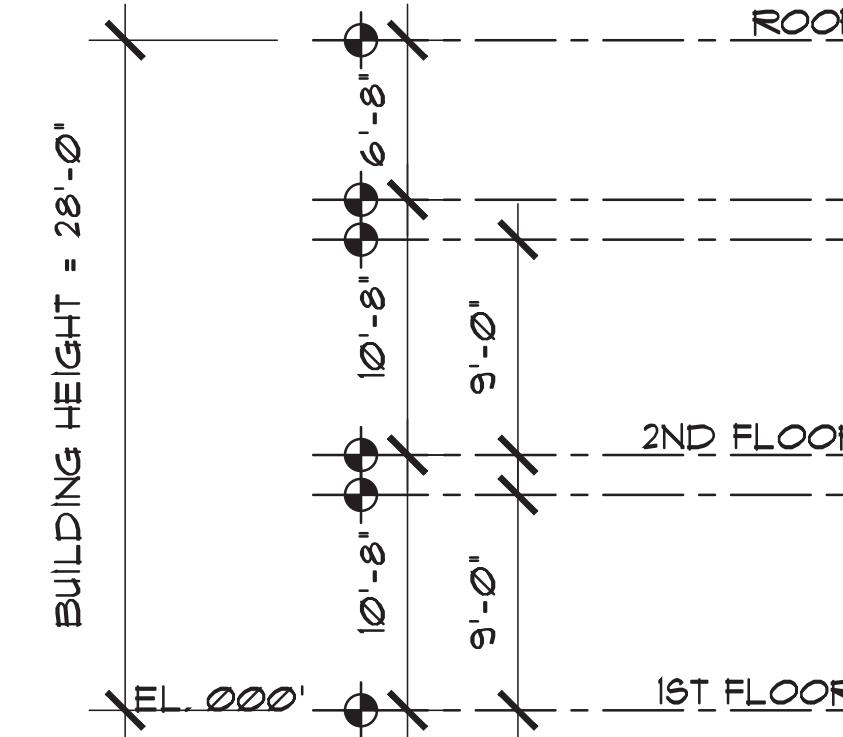
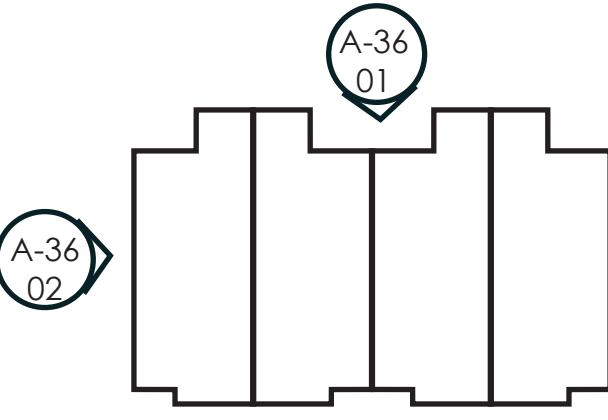
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-35

30' TH ELEVATIONS

4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN

KEY PLAN:



02 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/16" = 1'-0"
0 4' 8' 16'

MATERIALS KEY:

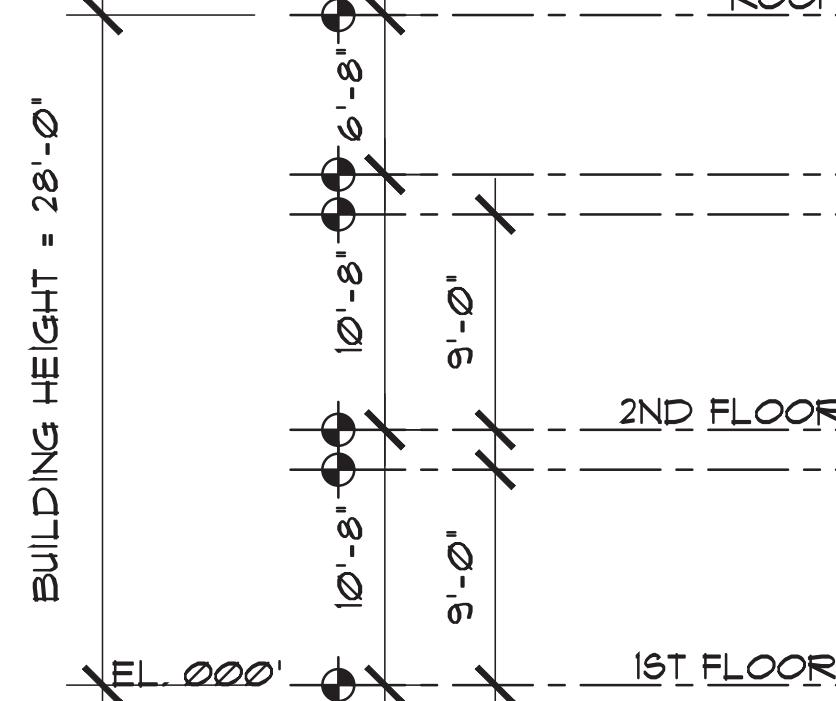
01	BRICK 1
02	FIBER CEMENT PANEL 01
03	FIBER CEMENT PANEL 02
04	FIBER CEMENT PANEL 03
05	VINYL WINDOW
06	ARCHITECTURAL METAL RAILING
07	ARCHITECTURAL METAL ROOF
08	ARCHITECTURAL ASPHALT SHINGLES
09	ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.



01 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"
0 4' 8' 16'

PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 106, LOT 1

PREPARED FOR:
WRV NURSERIES PLAINSBORO OWNER, LLC

ISSUE:	FOR:
07-19-2024	PRELIM + FINAL SITE PLAN
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-36

30' TH ELEVATIONS

PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.

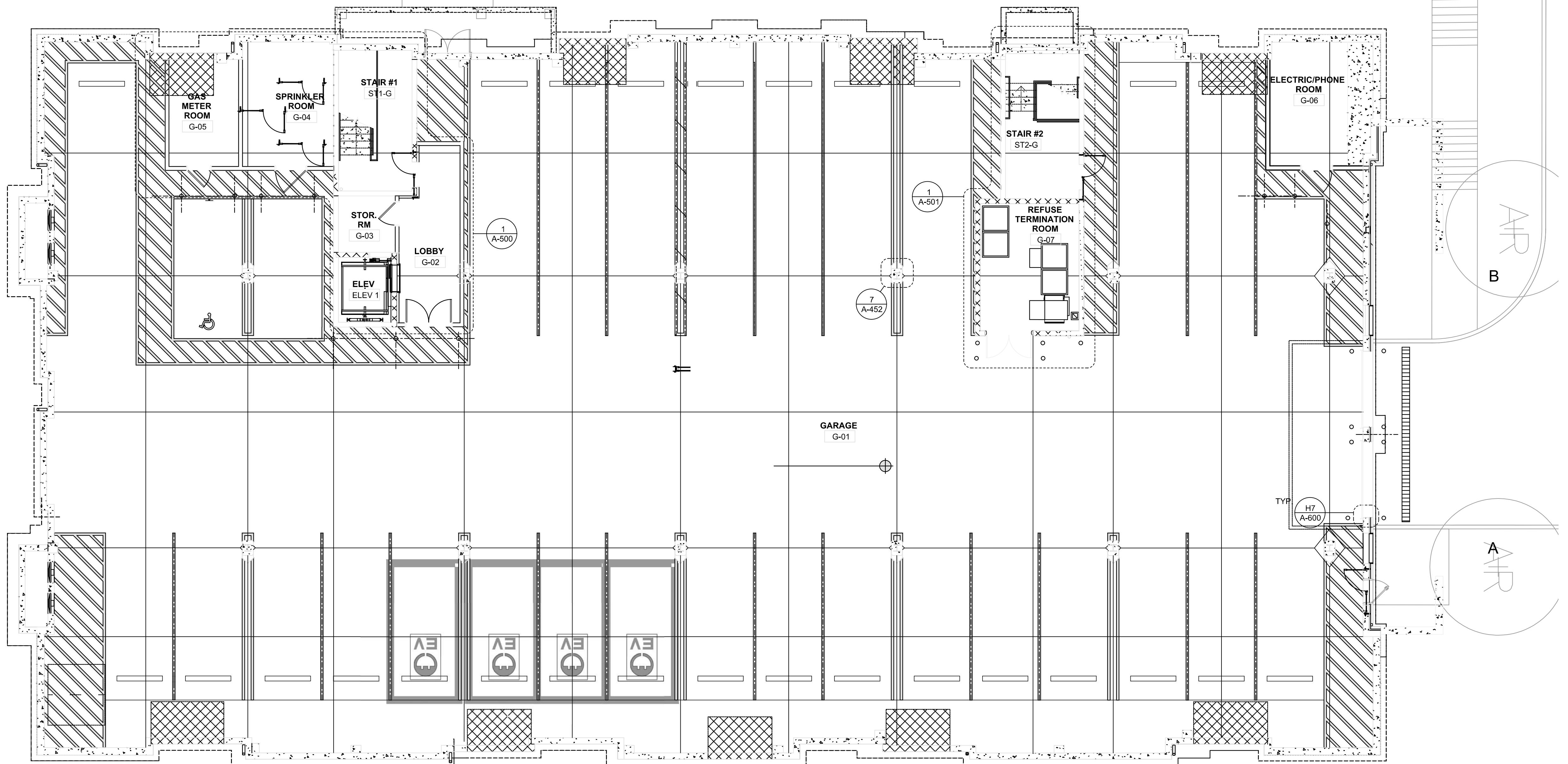
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.

3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

REFUSE/RECYCLING:

COMPACTOR IS HYDRAULICALLY OPERATED EXTRUDER-TYPE UNIT. SOLID WASTE WILL BE DELIVERED TO UNIT VIA MULTISTORY TRASH CHUTE WITH OPENINGS ON EACH RESIDENTIAL FLOOR. COMPACTED REFUSE WILL BE EXTRUDED INTO CONTINUOUS PLASTIC TUBING OR INDIVIDUAL PLASTIC BAGS, WHICH WILL BE STORED IN TRASH COMPACTOR ROOM UNTIL PRIVATE HAULER PICKUP. AT PICKUP TIMES, BUILDING MANAGEMENT WILL WHEEL CONTAINERS TO LOADING AREA FOR PICKUP BY PRIVATE HAULER. YARD STORAGE CONTAINERS WILL BE PROVIDED.

RECYCLING BINS WILL BE LOCATED ON EACH FLOOR AND WILL BE COLLECTED BY BUILDING MANAGEMENT AND STORED IN REFUSE/RECYCLING TERMINATION ROOM UNTIL PRIVATE HAULER PICKUP. AT PICKUP TIMES, BUILDING MANAGEMENT WILL WHEEL CONTAINERS TO LOADING AREA FOR PICKUP BY PRIVATE HAULER. YARD STORAGE CONTAINERS WILL BE PROVIDED.



01 - BASEMENT GARAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

PREPARED BY:
MINNO WASKO
 ARCHITECTS AND PLANNERS
 80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.

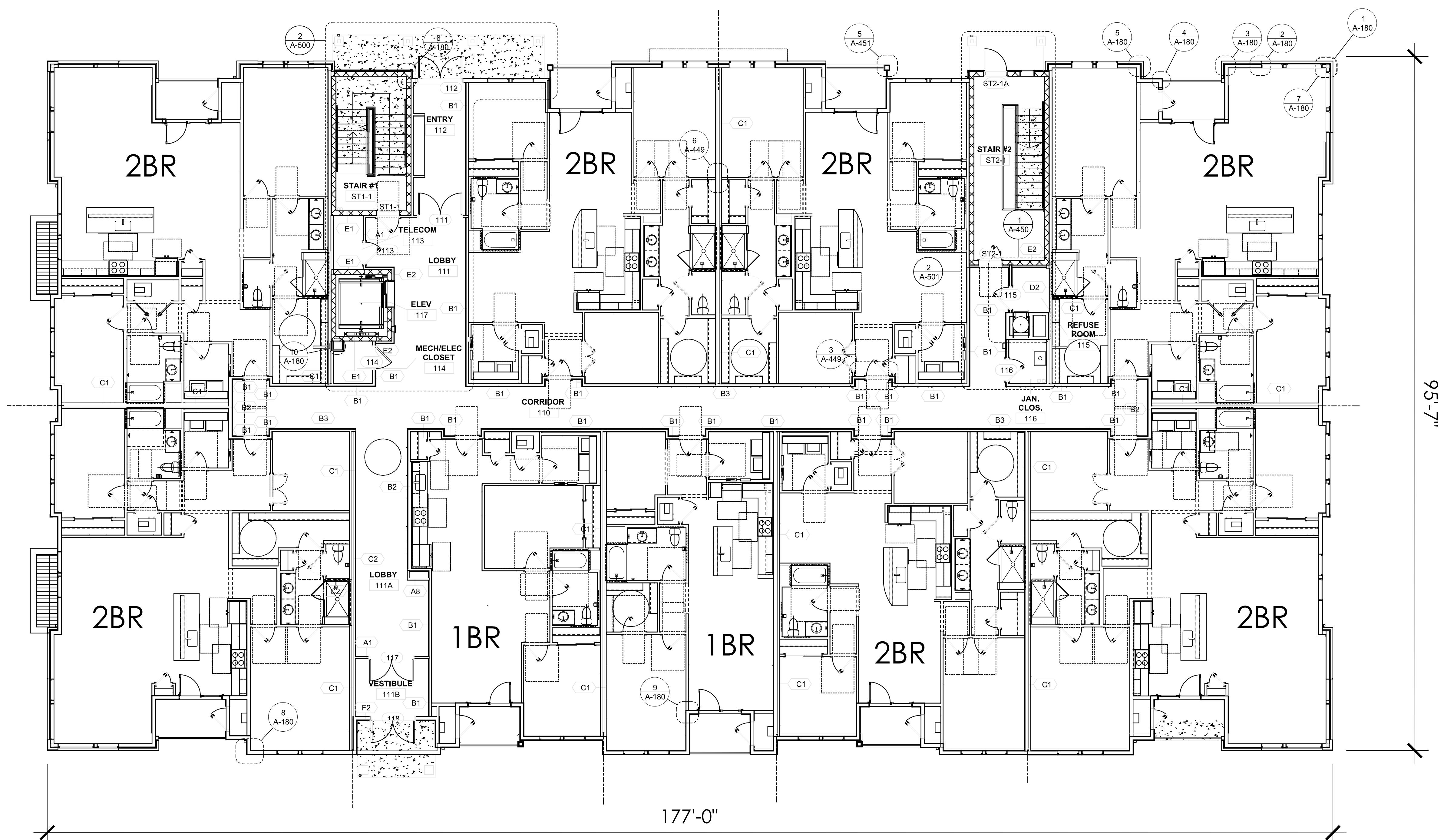
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3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

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01 - GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

PREPARED BY:
MINNO WASKO
 ARCHITECTS AND PLANNERS
 80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

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04-18-2025		PRELIM + FINAL SITE PLAN REV 3
05-22-2025		PRELIM + FINAL SITE PLAN REV 4

PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.

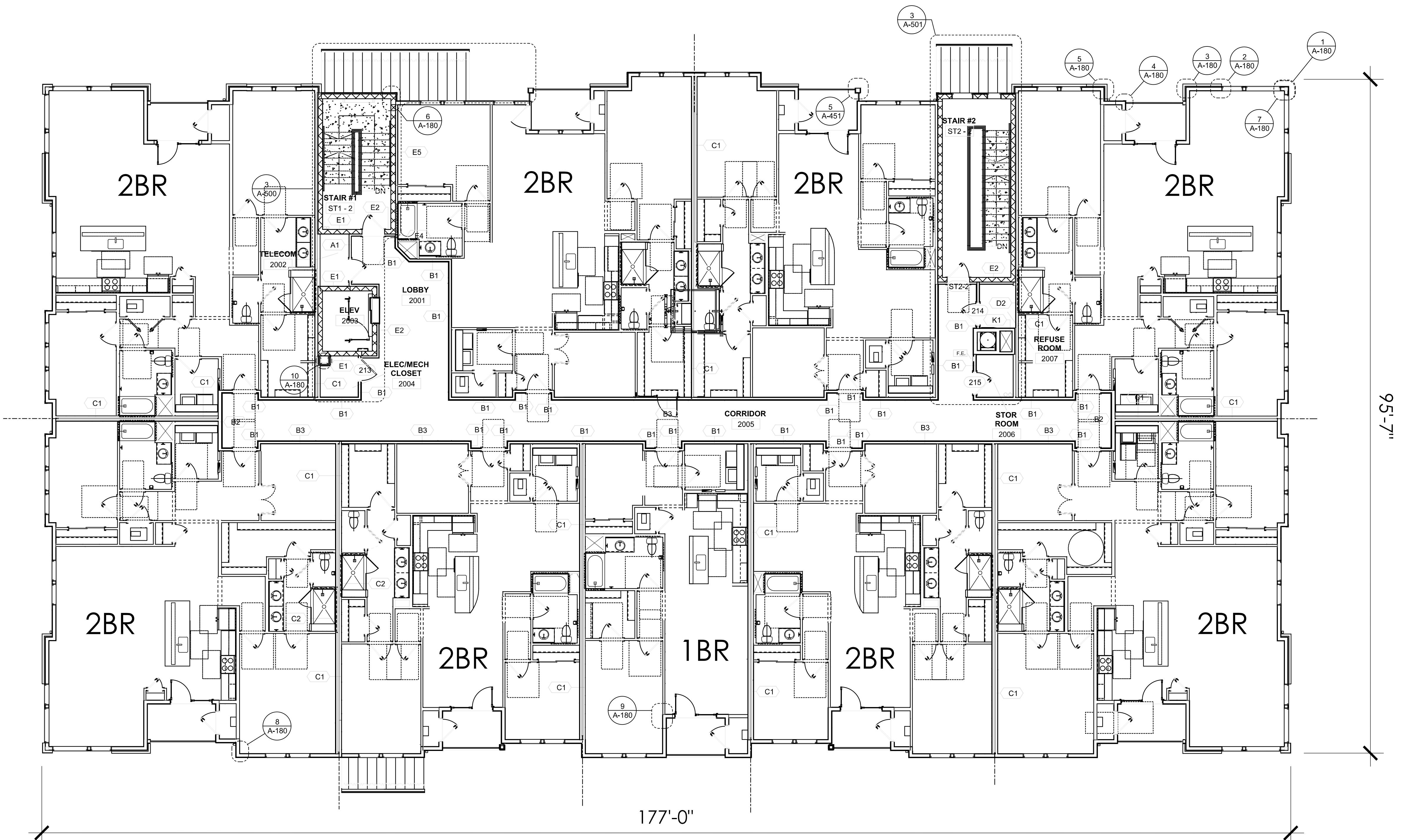
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.

3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

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01 - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

PREPARED BY:
MINNO WASKO
 ARCHITECTS AND PLANNERS
 80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

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04-18-2025		PRELIM + FINAL SITE PLAN REV 3
05-22-2025		PRELIM + FINAL SITE PLAN REV 4

PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.

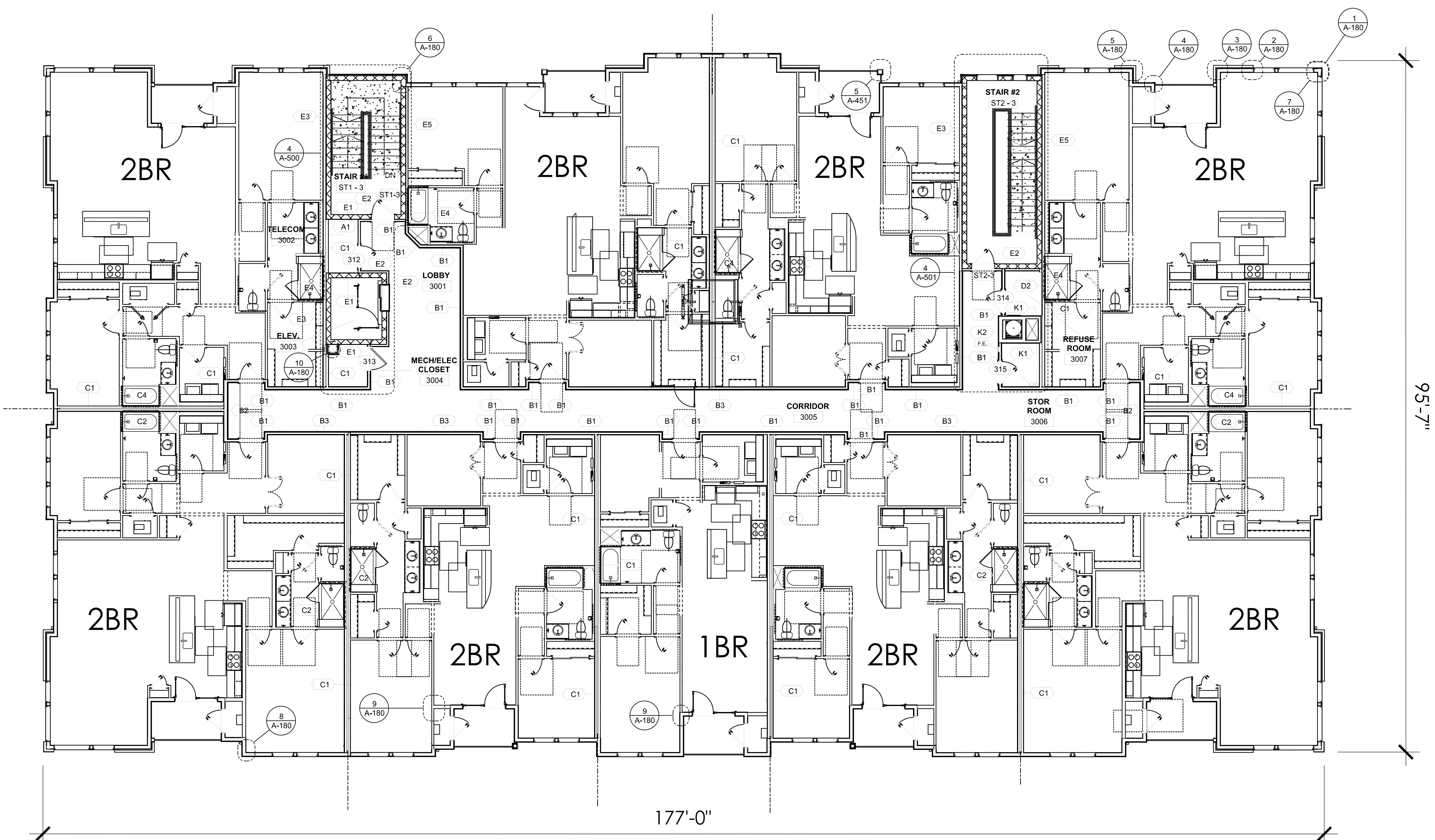
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3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

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01 - TYPICAL THIRD & FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

PREPARED BY:
MINNO WASKO
 ARCHITECTS AND PLANNERS
 80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
 TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES
 PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
 BLOCK 102, LOTS 5 + 6
 BLOCK 106, LOT 1

PREPARED FOR:
 WRV NURSERIES PLAINSBORO OWNER, LLC

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04-18-2025		PRELIM + FINAL SITE PLAN REV 3
05-22-2025		PRELIM + FINAL SITE PLAN REV 4

KEY PLAN:A-41
02A-41
01**MATERIALS KEY:**

01	BRICK_1
02	FIBER CEMENT PANEL_01
03	FIBER CEMENT PANEL_02
04	FIBER CEMENT PANEL_03
05	FIBER CEMENT PANEL_04
06	VINYL WINDOW
07	METAL RAILING
08	ARCHITECTURAL METAL ROOF
09	ARCHITECTURAL GARAGE DOOR

NOTES:

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**02 - MULTIFAMILY FLATS - TYPICAL LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

**01 - MULTIFAMILY FLATS - TYPICAL FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



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PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 106, LOT 1

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-41**MULTI-FAMILY FLAT ELEVATIONS**

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02 - MULTIFAMILY FLATS - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

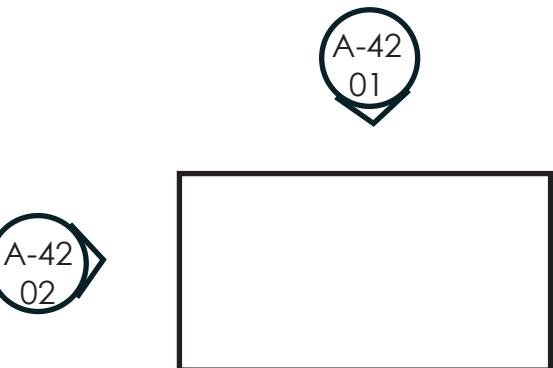
A horizontal scale bar with tick marks at 0, 4', 8', and 16'.



01 - MULTIFAMILY FLATS - REAR ELEVATION

SCALE: 1/8" = 1'-0"

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 FIBER CEMENT PANEL 04
- 06 VINYL WINDOW
- 07 METAL RAILING
- 08 ARCHITECTURAL METAL ROOF
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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PRINCETON NURSERIES

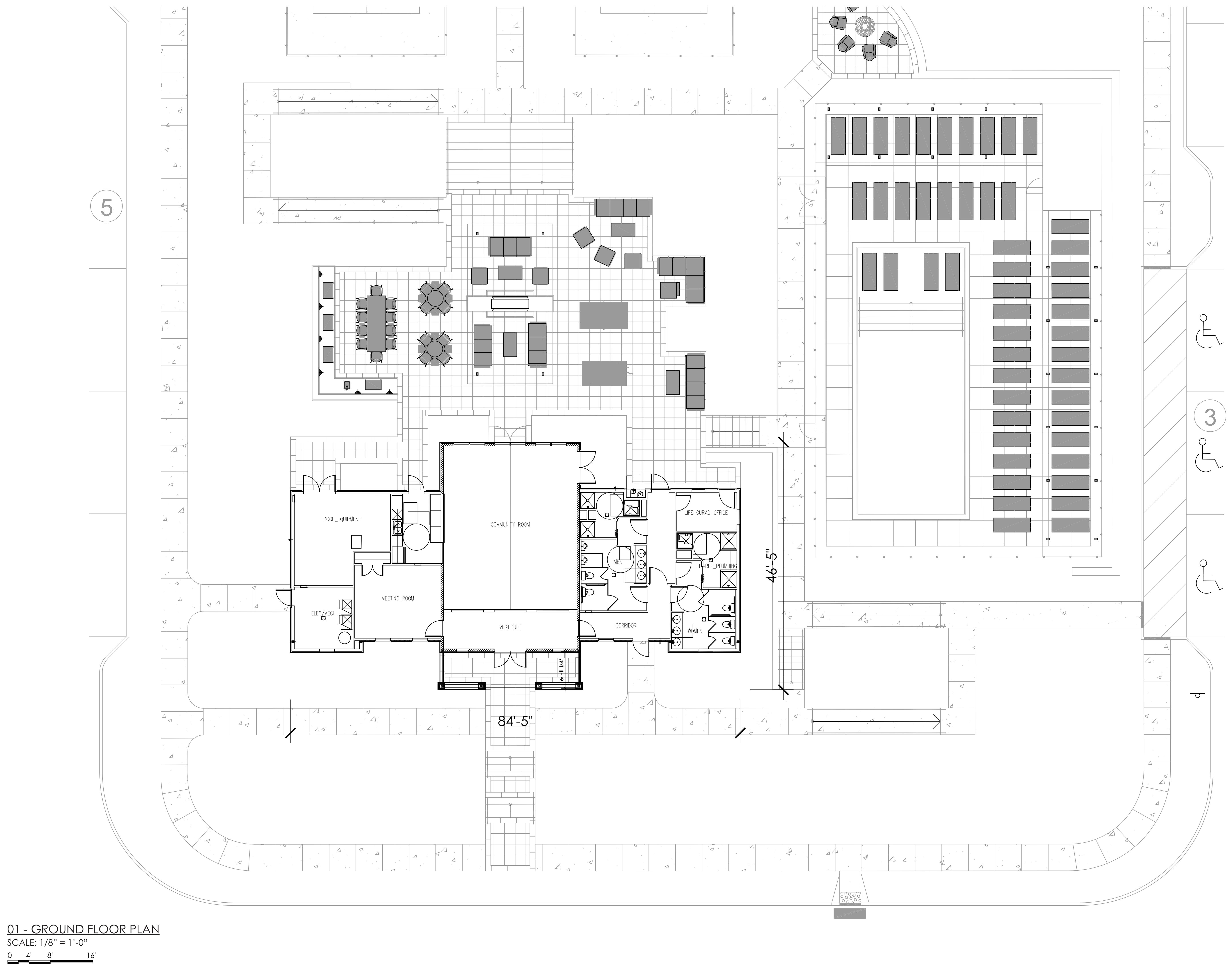
PRINCETON NURSERIES
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY
BLOCK 102, LOTS 5 + 6
BLOCK 103, LOTS 1-5

PREPARED FOR:
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-42

MULTI-FAMILY FLAT ELEVATIONS

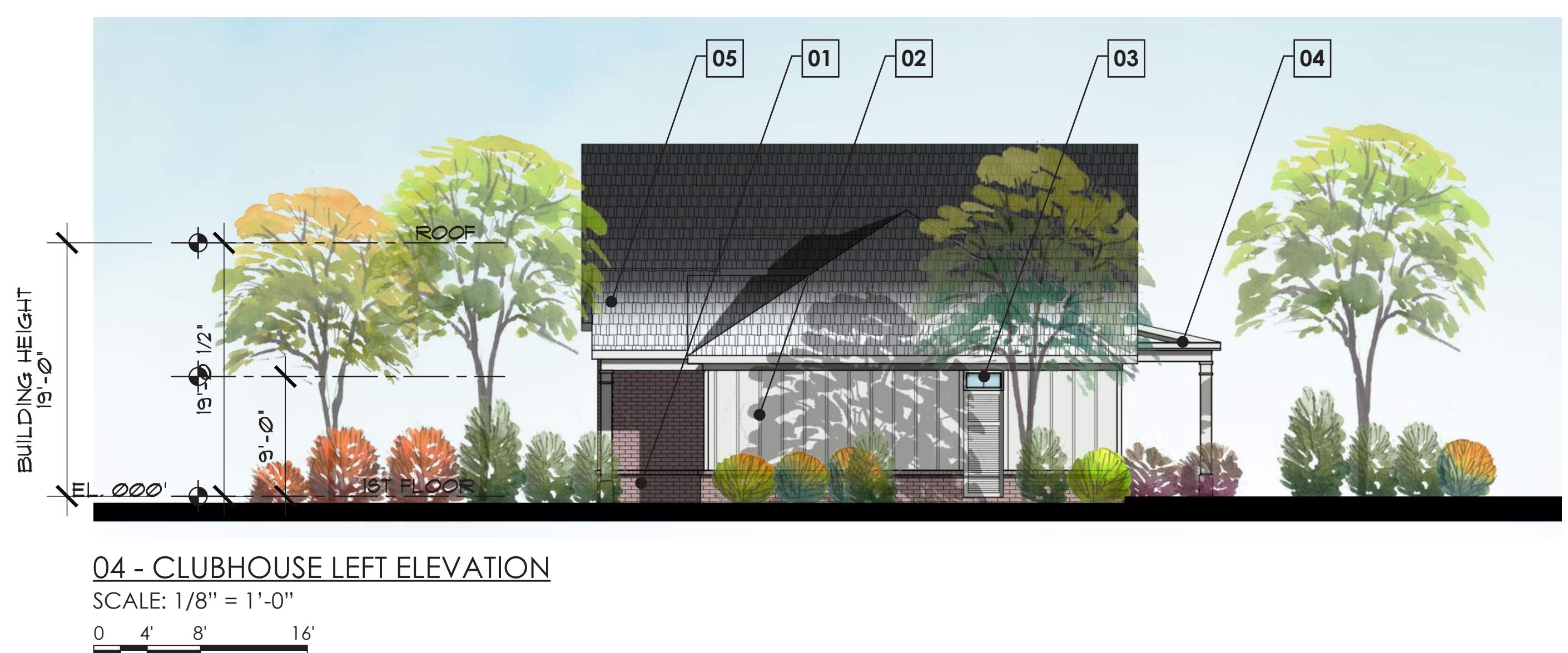
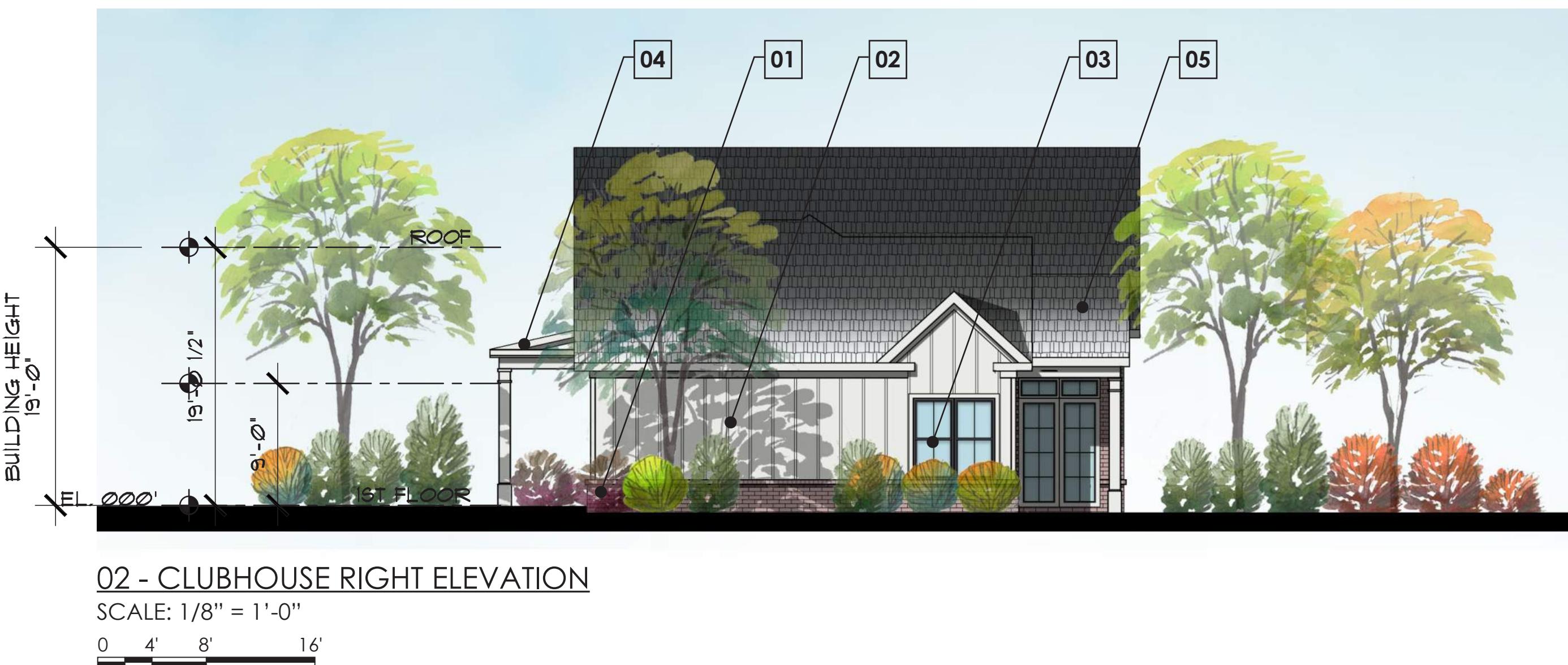
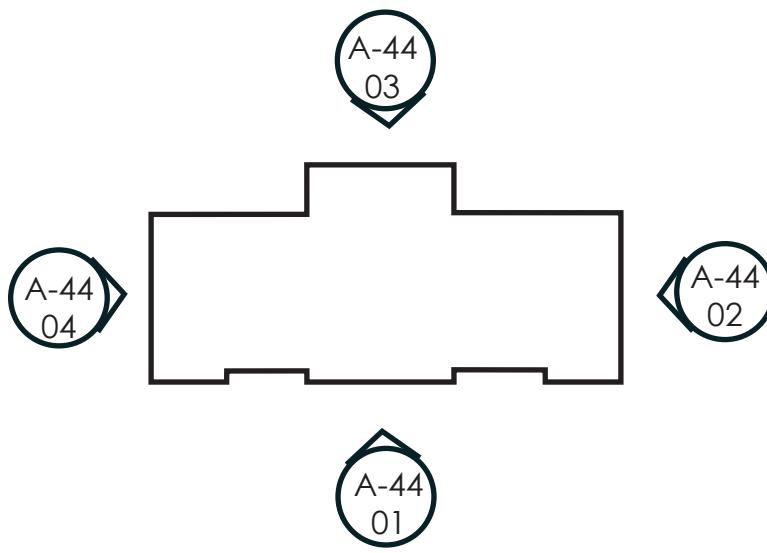


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PREPARED FOR:
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KEY PLAN:**MATERIALS KEY:**

01	BRICK 1
02	FIBER CEMENT PANEL 01
03	VINYL WINDOW
04	ARCHITECTURAL METAL ROOF
05	ARCHITECTURAL ASPHALT SHINGLES

NOTES:

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-44

CLUBHOUSE ELEVATIONS

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