

PRELIMINARY AND FINAL SITE PLAN SUBMISSION

# PRINCETON NURSERIES

## PROPOSED RESIDENTIAL BUILDINGS - SITE EAST

BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1  
MIDDLESEX COUNTY, NEW JERSEY

PROJECT UNIT MIX - SITE EAST:

TOTAL PROJECT

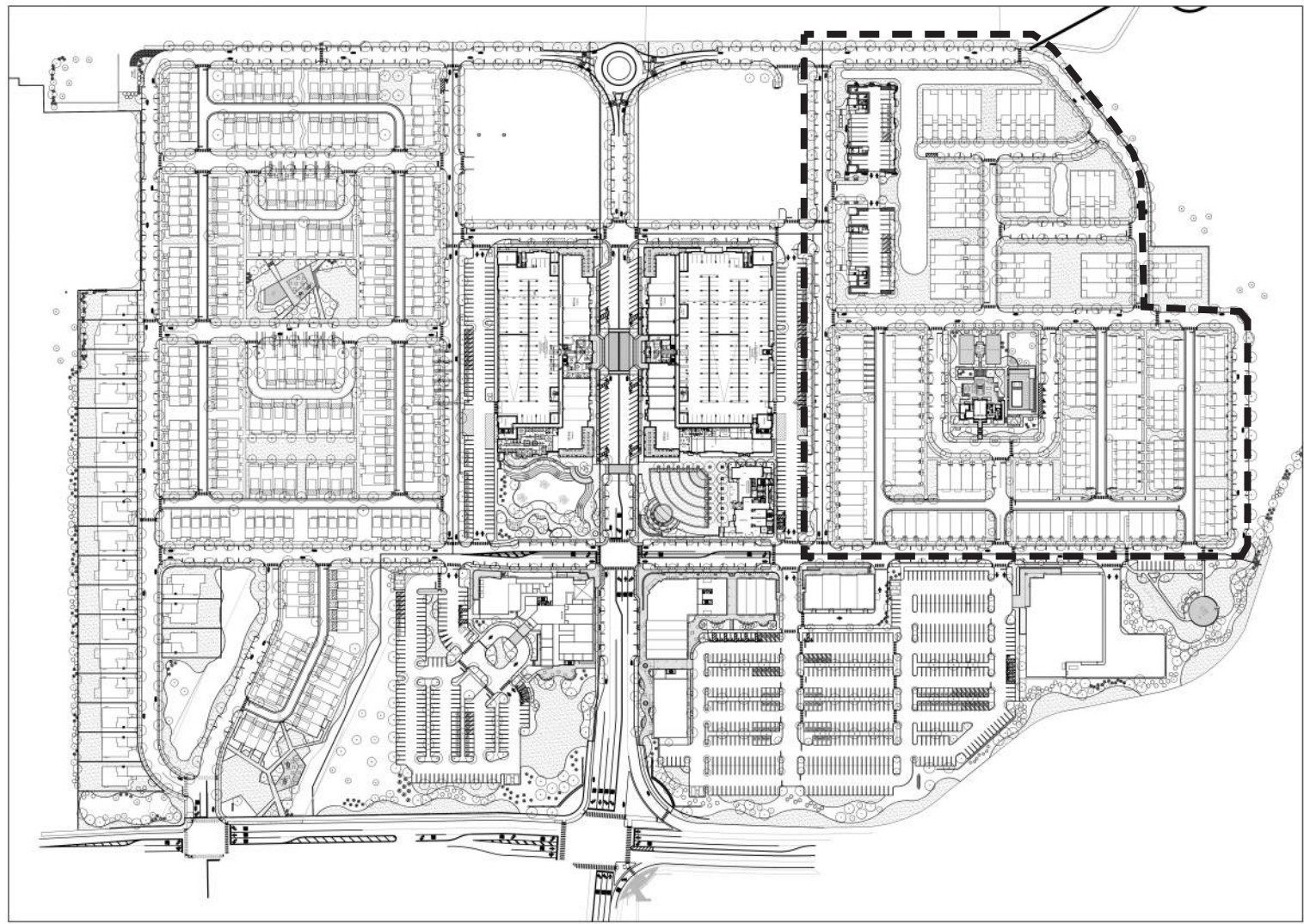
TRADITIONAL TOWNHOMES (20'):	18 UNITS	07%
TRADITIONAL TOWNHOMES (24'):	33 UNITS	12%
STACKED TOWNHOMES (26'):	48 UNITS	18%
STACKED TOWNHOMES (22'):	46 UNITS	17%
STACKED TOWNHOMES (AFFORDABLE):	20 UNITS	07%
FLATS (AGE-RESTRICTED):	72 UNITS	27%
CARRIAGE HOMES (AGE-RESTRICTED)	31 UNITS	12%
<b>TOTAL:</b>	<b>268 UNITS</b>	

MARKET RATE

MARKET RATE UNITS:	248 UNITS	93%
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AFFORDABLE

AFFORDABLE UNITS:	20 UNITS	07%
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LOCATION MAP  
NTS



PROJECT DATA

BLOCK / LOT:	BLOCK 102, LOTS 5 + 6 BLOCK 106, LOT 1 PMUD
ZONING DISTRICT:	
LOT AREA:	108.837 ACRES
BUILDING HEIGHT:	2-4 STORIES

SHEET INDEX

C-01	COVER SHEET
A-01	ARCHITECTURAL SITE PLAN
A-02	STACKED TH PLANS - MURRAY HILL 26'-6" END UNIT LAYOUT
A-03	STACKED TH PLANS - BOWERY 22'-0" INTERIOR UNIT LAYOUT
A-04	STACKED TH PLANS - AFFORDABLE 20'-6" END STACKED TOWNHOME - 4 DU
A-05	STACKED TH PLANS - AFFORDABLE 22'-0" INTERIOR STACKED TOWNHOME - 3 DU
A-06	STACKED TH BUILDING PLANS - 8 UNIT MARKET RATE
A-07	STACKED TH BUILDING PLANS - 8 UNIT MARKET RATE
A-08	STACKED TH ELEVATIONS - 8 UNIT MARKET RATE
A-09	STACKED TH ELEVATIONS - 8 UNIT MARKET RATE
A-10	STACKED TH BUILDING PLANS - 10 UNIT (4 AFFORDABLE UNITS)
A-11	STACKED TH BUILDING PLANS - 10 UNIT (4 AFFORDABLE UNITS)
A-12	STACKED TH ELEVATIONS - 10 UNIT (4 AFFORDABLE UNITS)
A-13	STACKED TH ELEVATIONS - 10 UNIT (4 AFFORDABLE UNITS)
A-14	STACKED TH BUILDING PLANS - 6 UNIT MARKET RATE
A-15	STACKED TH BUILDING PLANS - 6 UNIT MARKET RATE
A-16	STACKED TH ELEVATIONS - 6 UNIT MARKET RATE
A-17	STACKED TH ELEVATIONS - 6 UNIT MARKET RATE
A-18	STACKED TH BUILDING PLANS - 11 UNIT (3 AFFORDABLE UNITS)
A-19	STACKED TH BUILDING PLANS - 11 UNIT (3 AFFORDABLE UNITS)
A-20	STACKED TH ELEVATIONS - 11 UNIT (3 AFFORDABLE UNITS)
A-21	STACKED TH ELEVATIONS - 11 UNIT (3 AFFORDABLE UNITS)
A-22	20'-0" TRADITIONAL TH PLAN - MARKET RATE
A-23	20'-0" TRADITIONAL TH BUILDING PLANS - 5 UNIT MARKET RATE
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A-27	24'-0" TRADITIONAL TH PLAN - MARKET RATE
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A-29	24'-0" TRADITIONAL TH BUILDING PLANS - 6 UNIT MARKET RATE
A-30	24'-0" TRADITIONAL TH ELEVATIONS - 6 UNIT MARKET RATE
A-31	24'-0" TRADITIONAL TH ELEVATIONS - 6 UNIT MARKET RATE
A-32	30'-0" TRADITIONAL TH PLAN - MARKET RATE, MASTER DOWN
A-33	30'-0" TRADITIONAL TH BUILDING PLANS - 4 UNIT MARKET RATE, MASTER DOWN
A-34	30'-0" TRADITIONAL TH BUILDING PLANS - 4 UNIT MARKET RATE, MASTER DOWN
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A-38	MULTIFAMILY FLATS BUILDING PLAN - GROUND FLOOR PLAN
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A-43	CLUBHOUSE BUILDING PLAN - GROUND FLOOR PLAN
A-44	CLUBHOUSE BUILDING ELEVATIONS

PLANNING BD. APPROVAL

PRELIMINARY AND FINAL SITE PLAN APPROVAL IS  
HEREBY GRANTED TO THIS SITE PLAN BY THE  
PLANNING BOARD OF PLAINSBORO TOWNSHIP,  
NEW JERSEY,  
THIS \_\_ DAY OF \_\_\_\_\_ 2025.

Board Chairman

Board Secretary

Board Engineer

PREPARED BY:  
**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM  
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

## PRINCETON NURSERIES

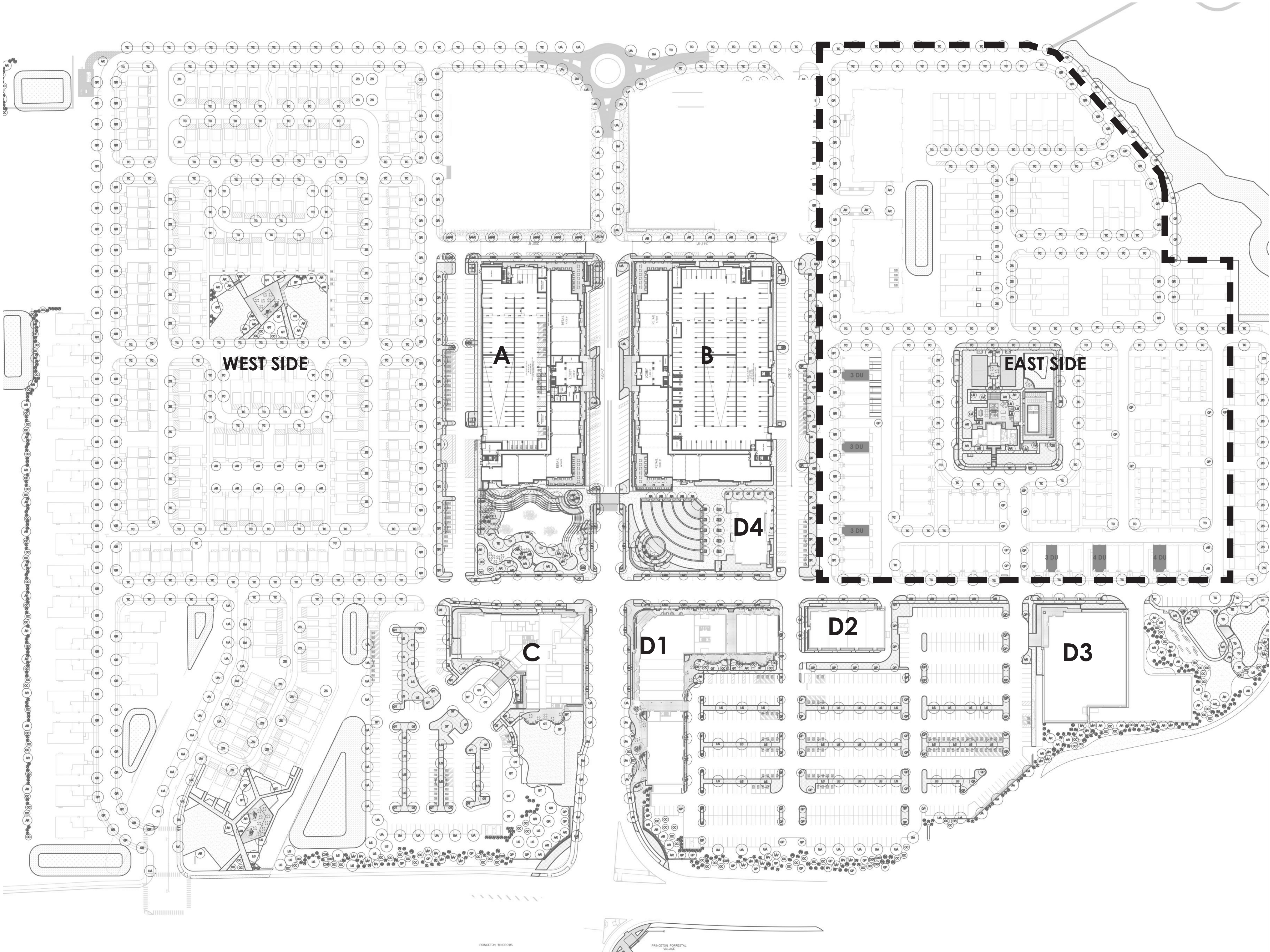
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

ISSUE:	FOR:
DATE:	
07-19-2024	PRELIM + FINAL SITE PLAN
09-27-2024	PRELIM + FINAL SITE PLAN REV 1
12-14-2024	PRELIM + FINAL SITE PLAN REV 2
04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**AFFORDABLE UNITS:**

1-BR AFFORDABLE STACKED TOWN HOME UNITS = 04 DU  
2-BR AFFORDABLE STACKED TOWN HOME UNITS = 12 DU  
3-BR AFFORDABLE STACKED TOWN HOME UNITS = 04 DU  
TOTAL AFFORDABLE STACKED TOWNHOME UNITS = 20 DU



01 - AFFORDABLE HOUSING SITE DIAGRAM  
SCALE: 1" = 100'-0"

PREPARED BY:  
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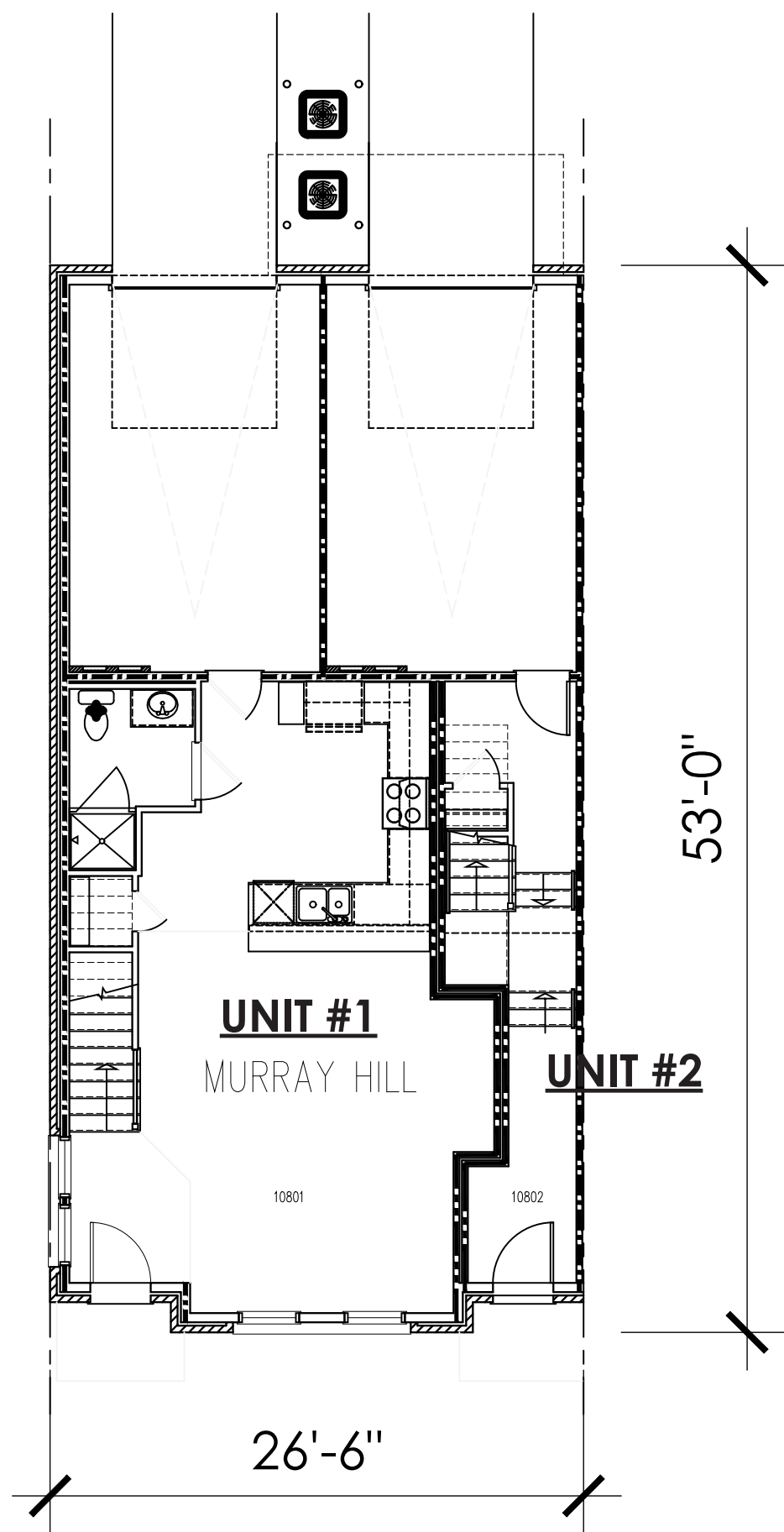
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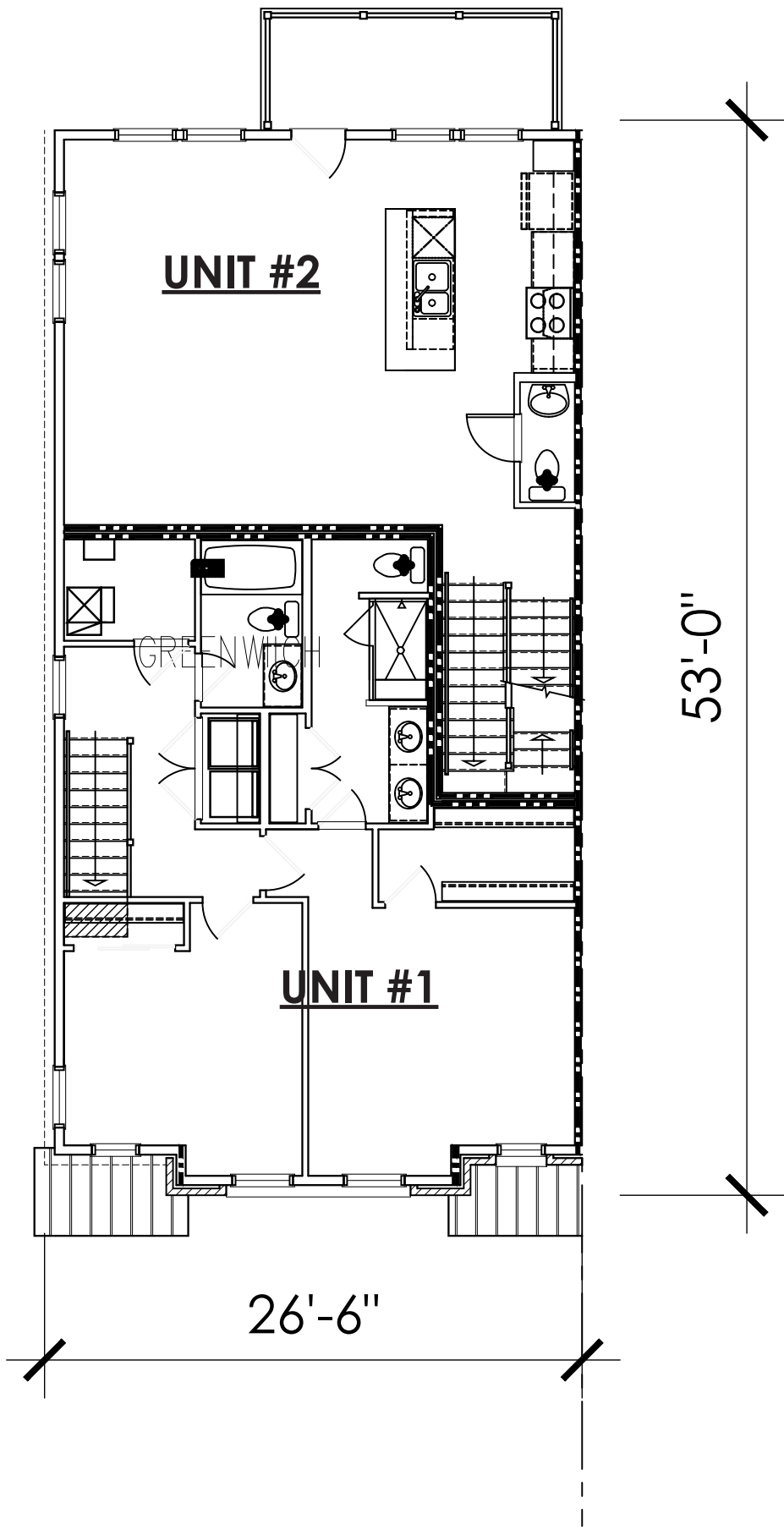
**A-01**

ARCHITECTURAL SITE PLAN  
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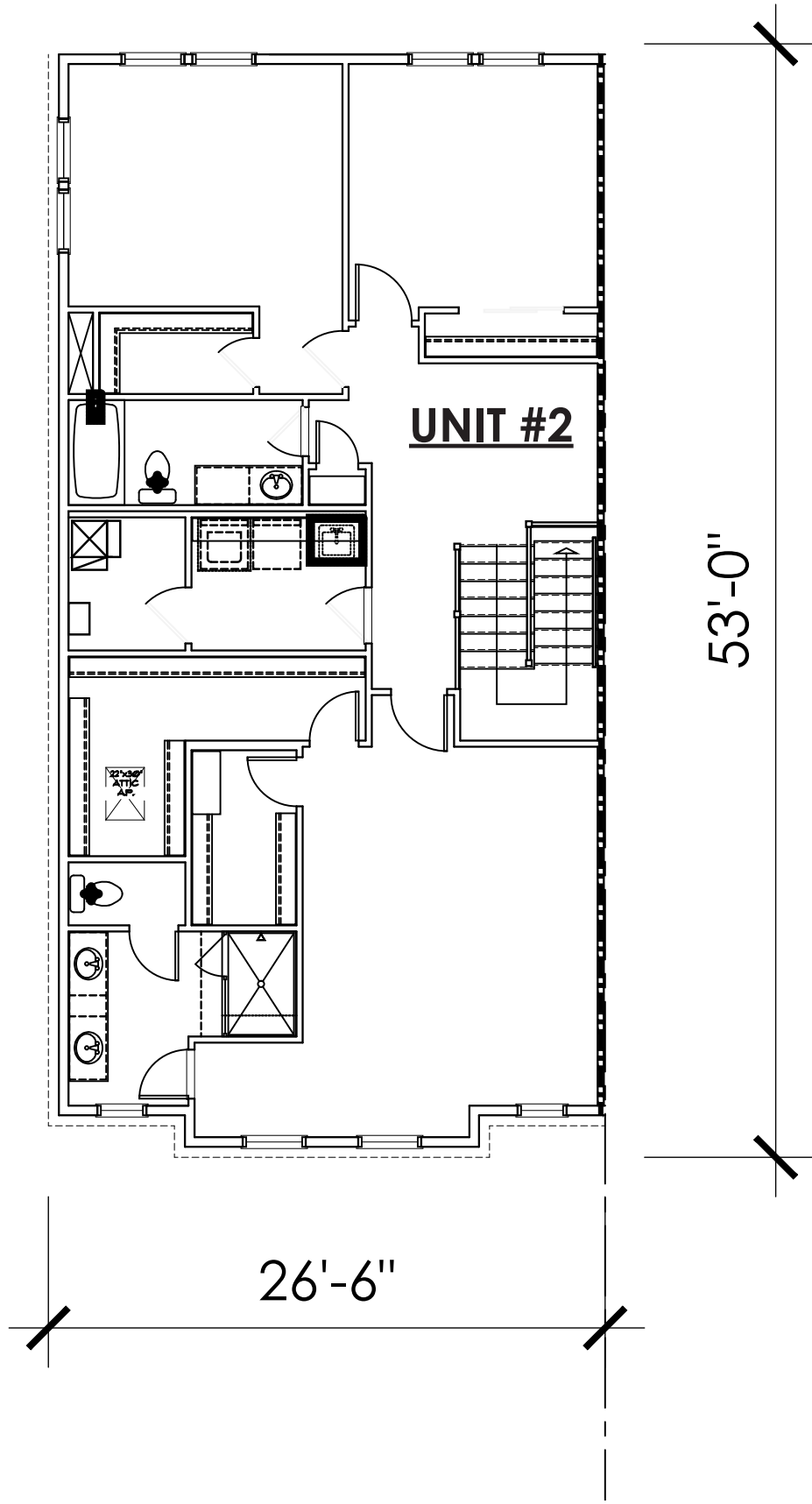
MARKET RATE 26'-6" END STACKED TOWNHOME LAYOUT - TWO UNITS



01 - GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



02 - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



03 - THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

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A-02

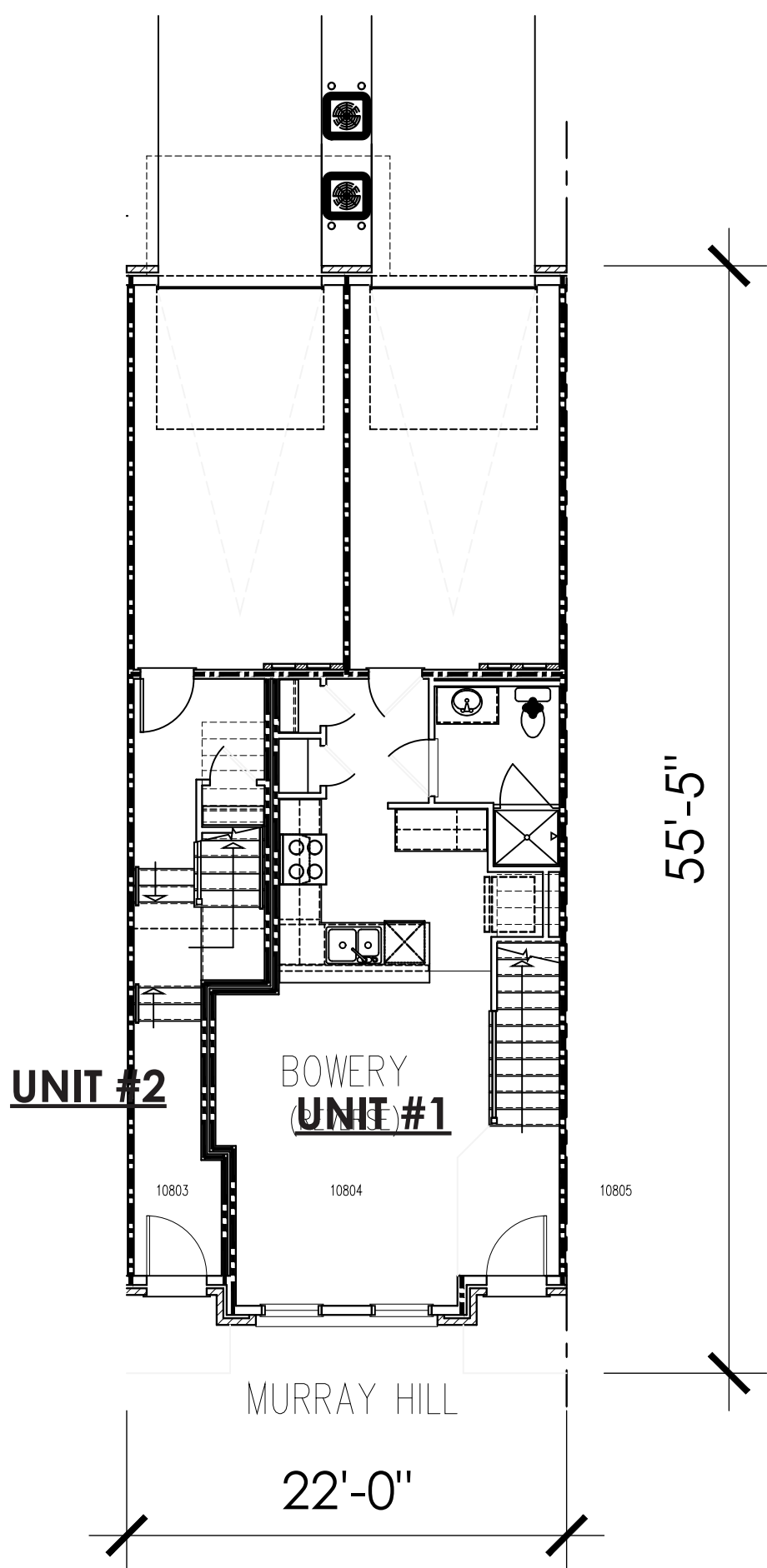
STACKED TH BUILDING PLAN

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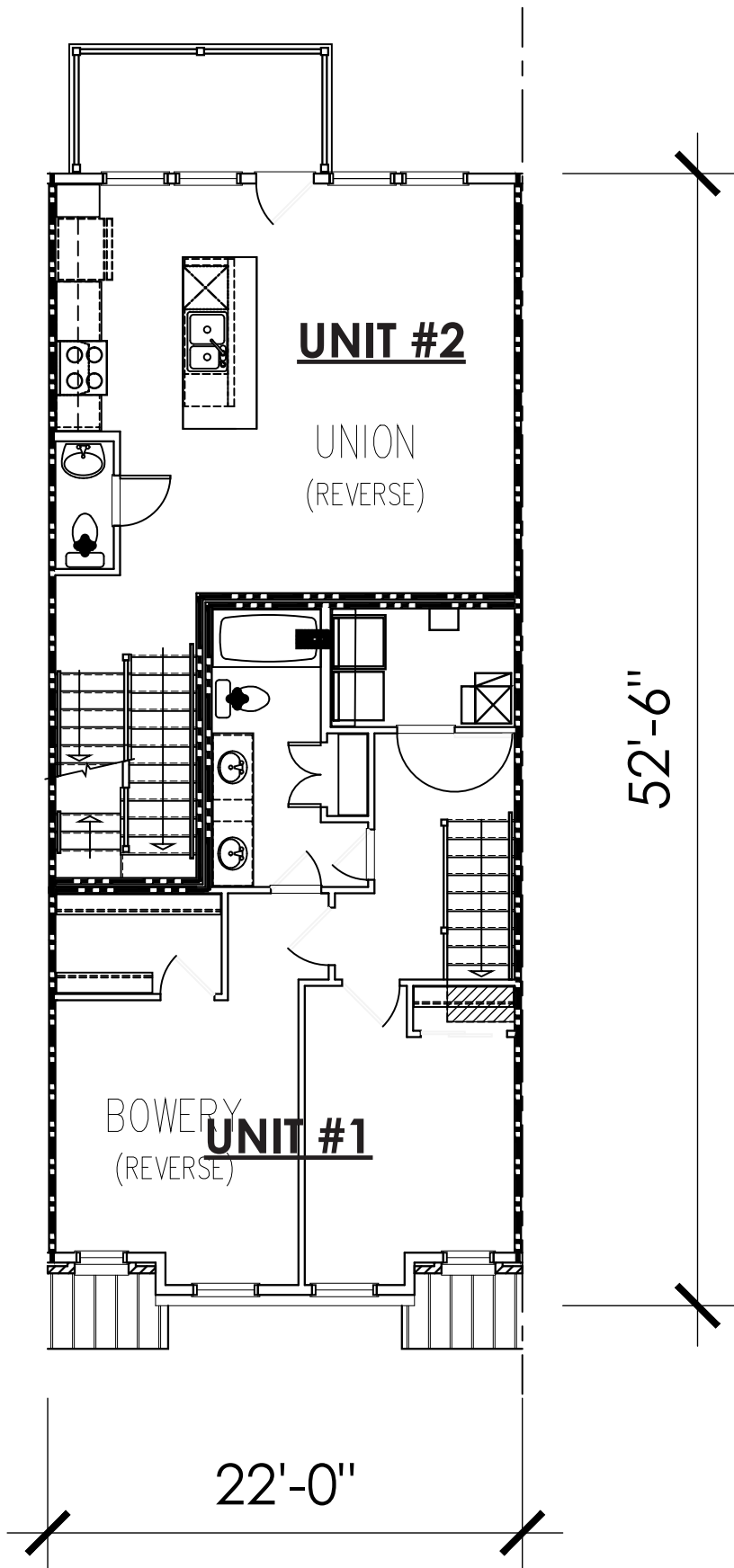
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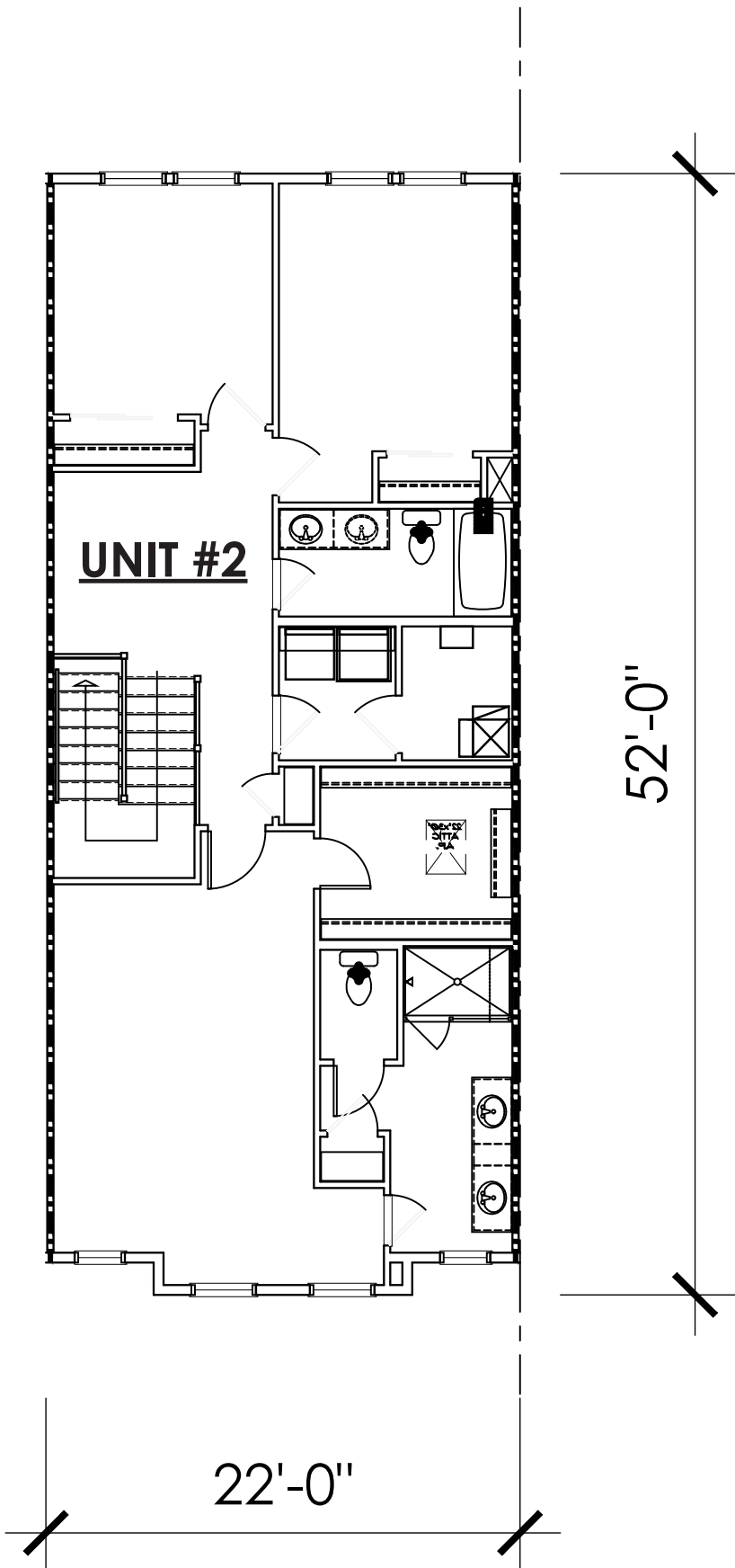
MARKET RATE 22'-0" INTERIOR STACKED TOWNHOME LAYOUT - TWO UNITS



01 - GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



02 - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



03 - THIRD FLOOR PLAN  
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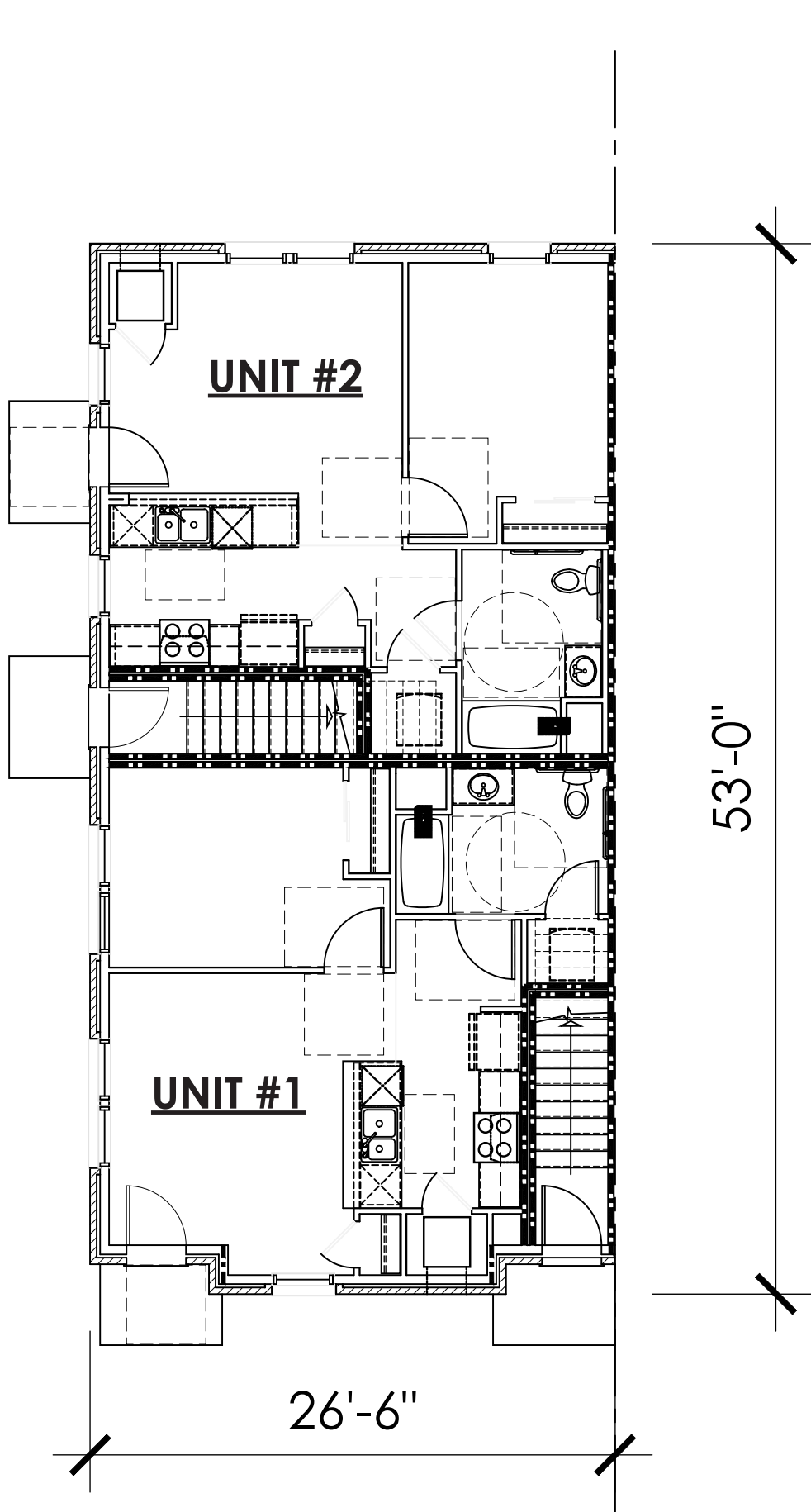
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A-03

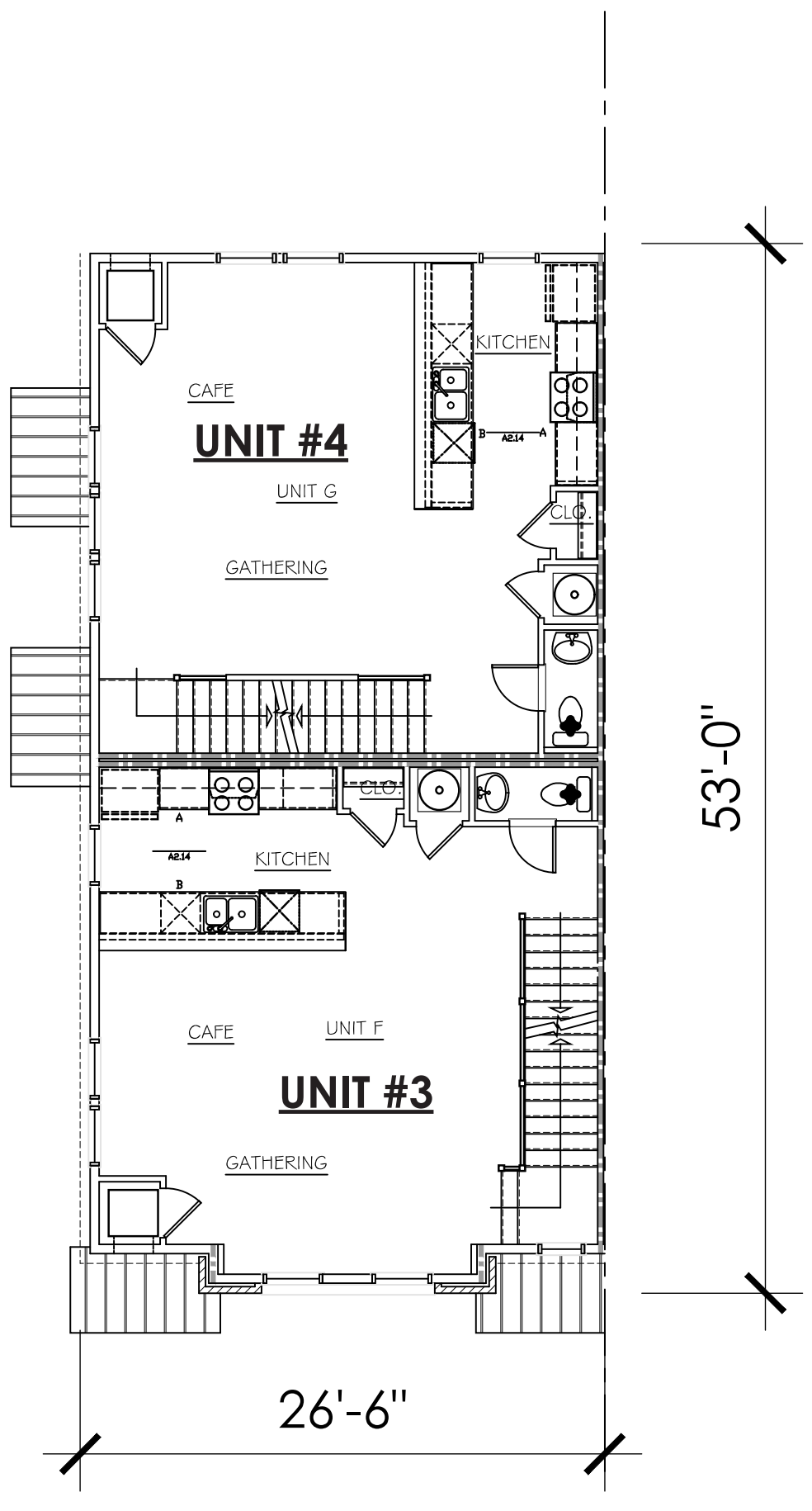
STACKED TH BUILDING PLAN

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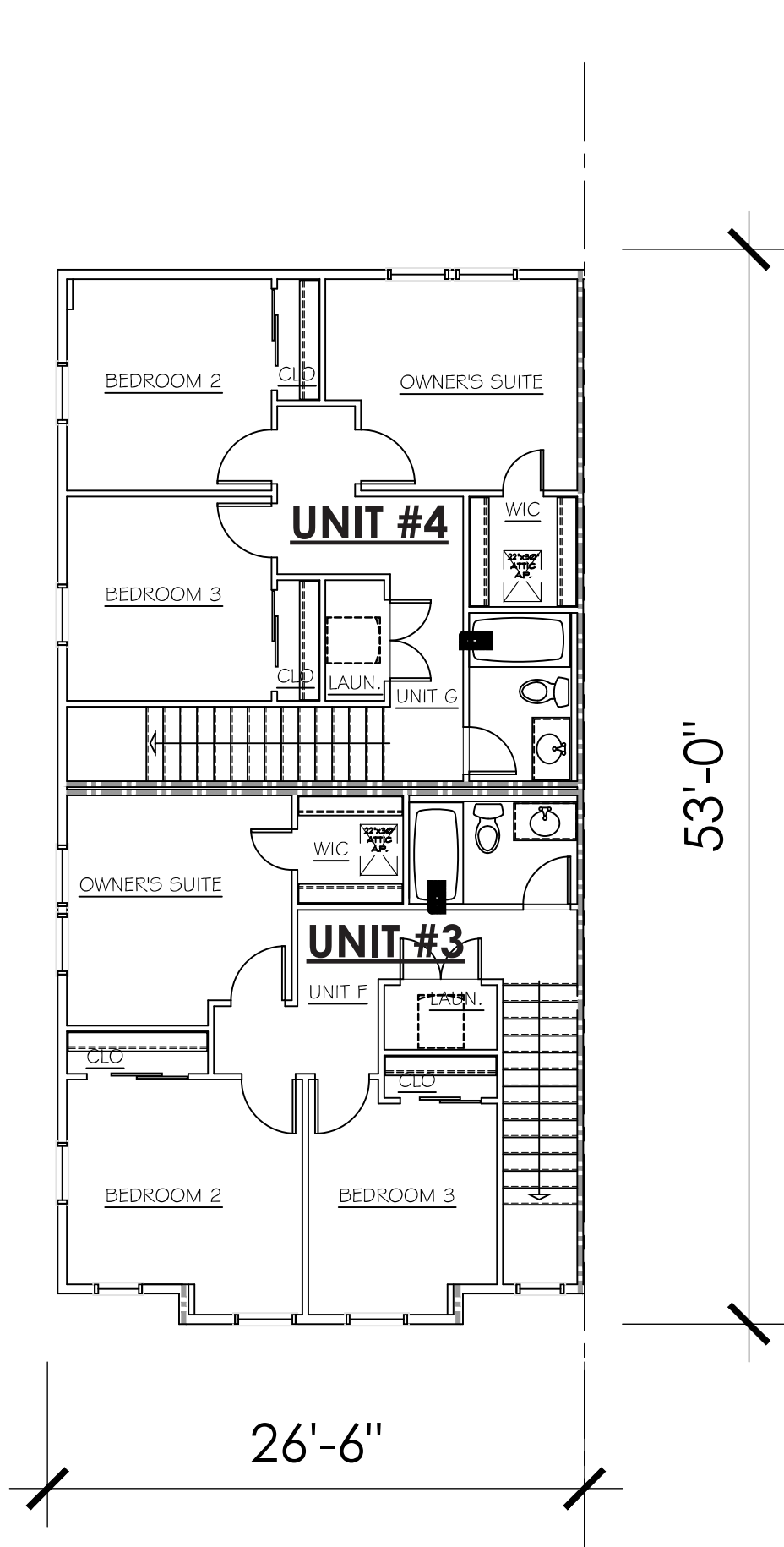
AFFORDABLE 26'-6" END STACKED TOWNHOME LAYOUT - FOUR UNITS



01 - GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



02 - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
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A-04

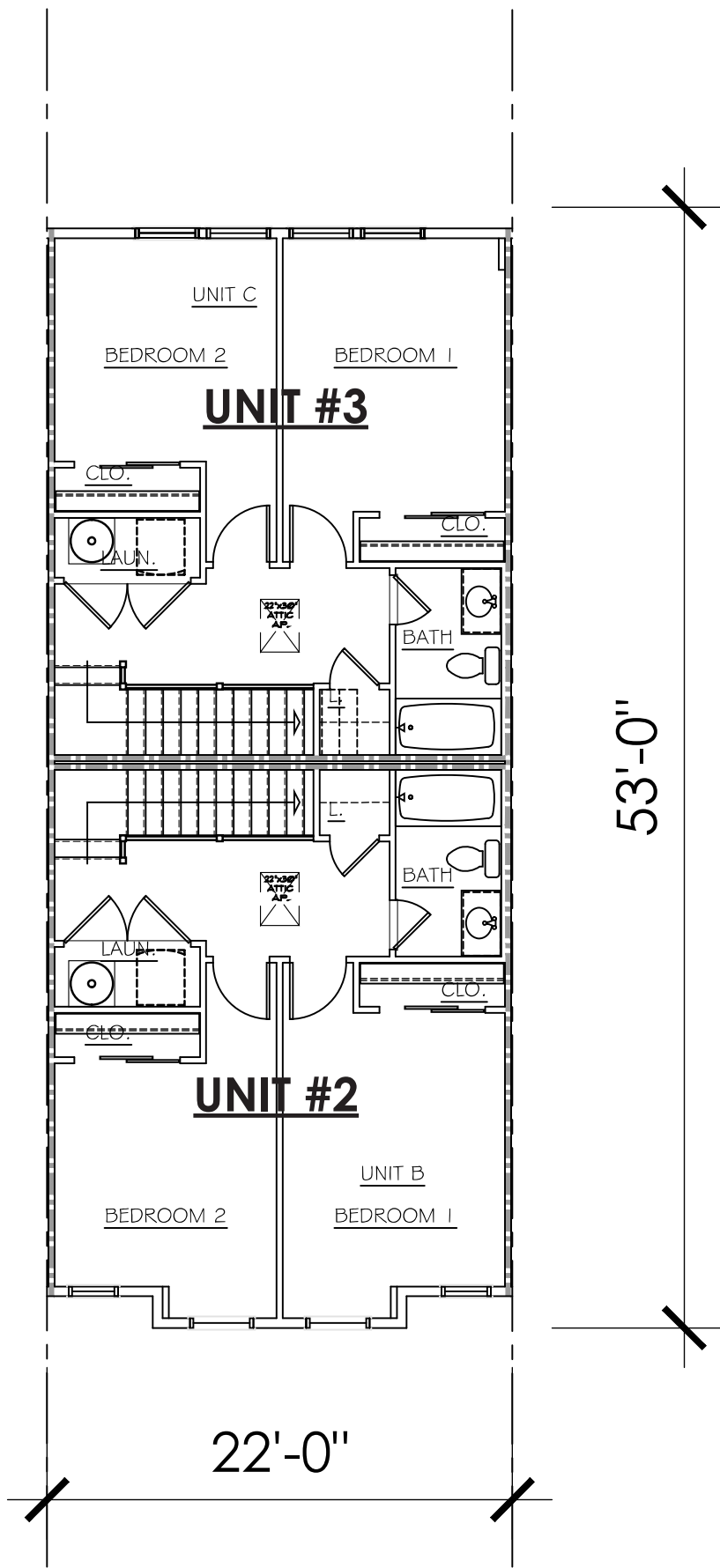
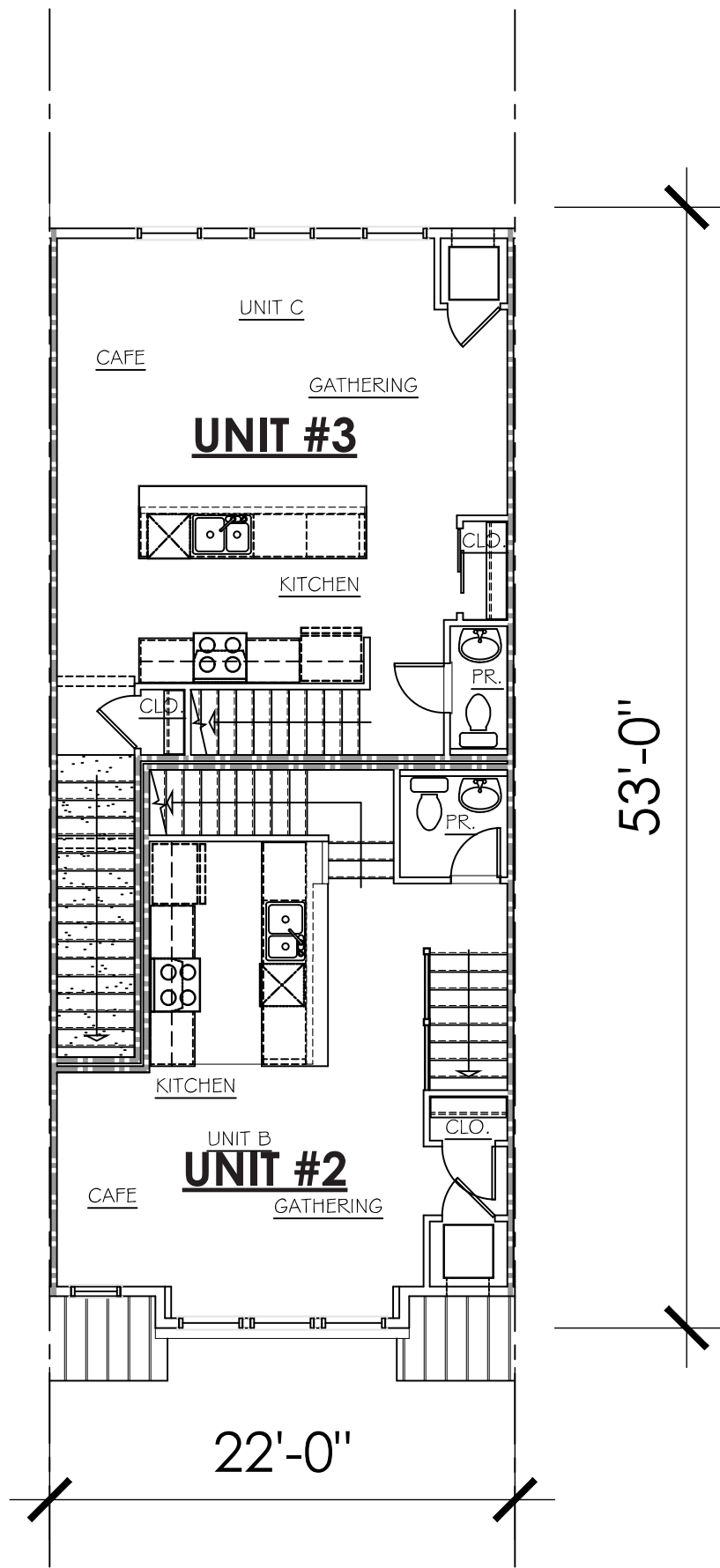
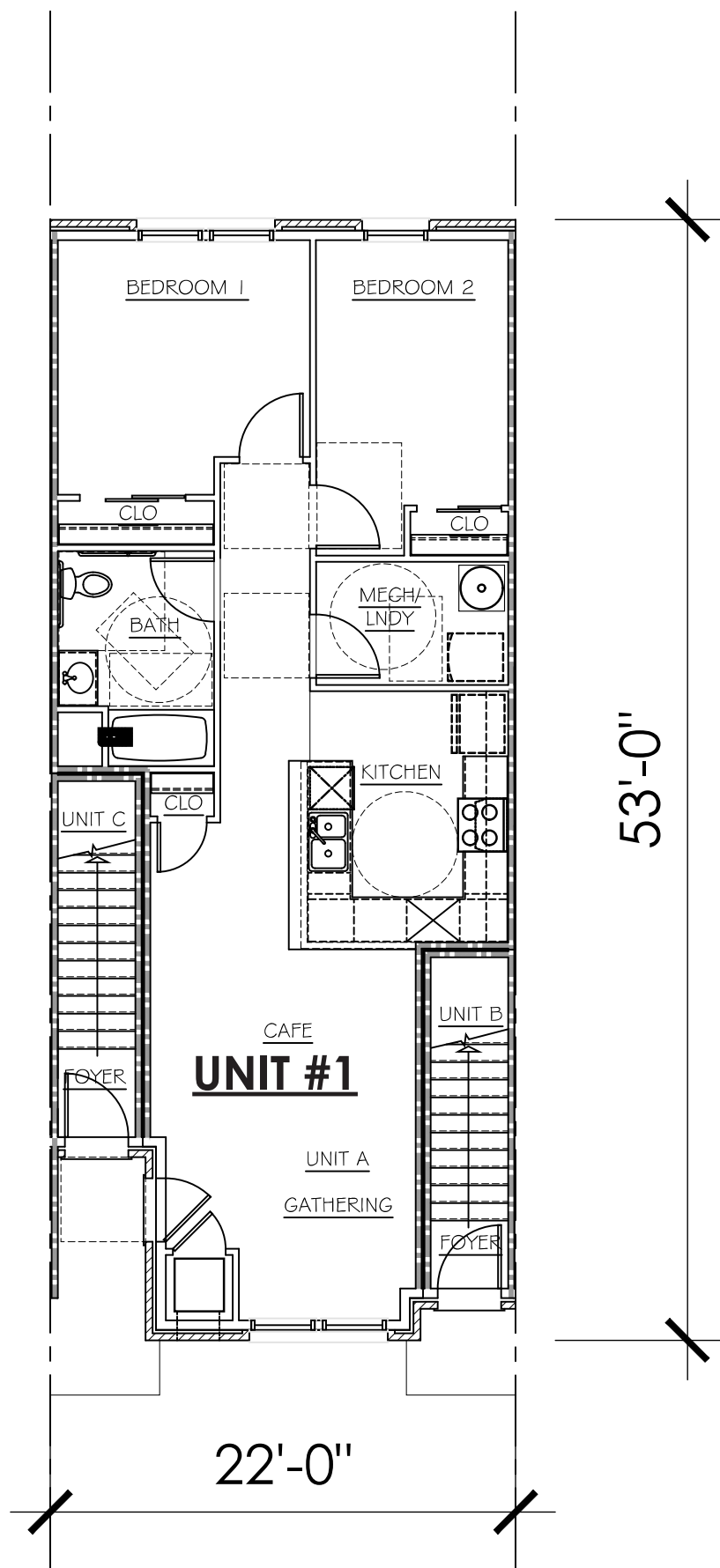
STACKED TH COAH BUILDING PLAN

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AFFORDABLE 22'-0" INTERIOR STACKED TOWNHOME LAYOUT - THREE UNITS



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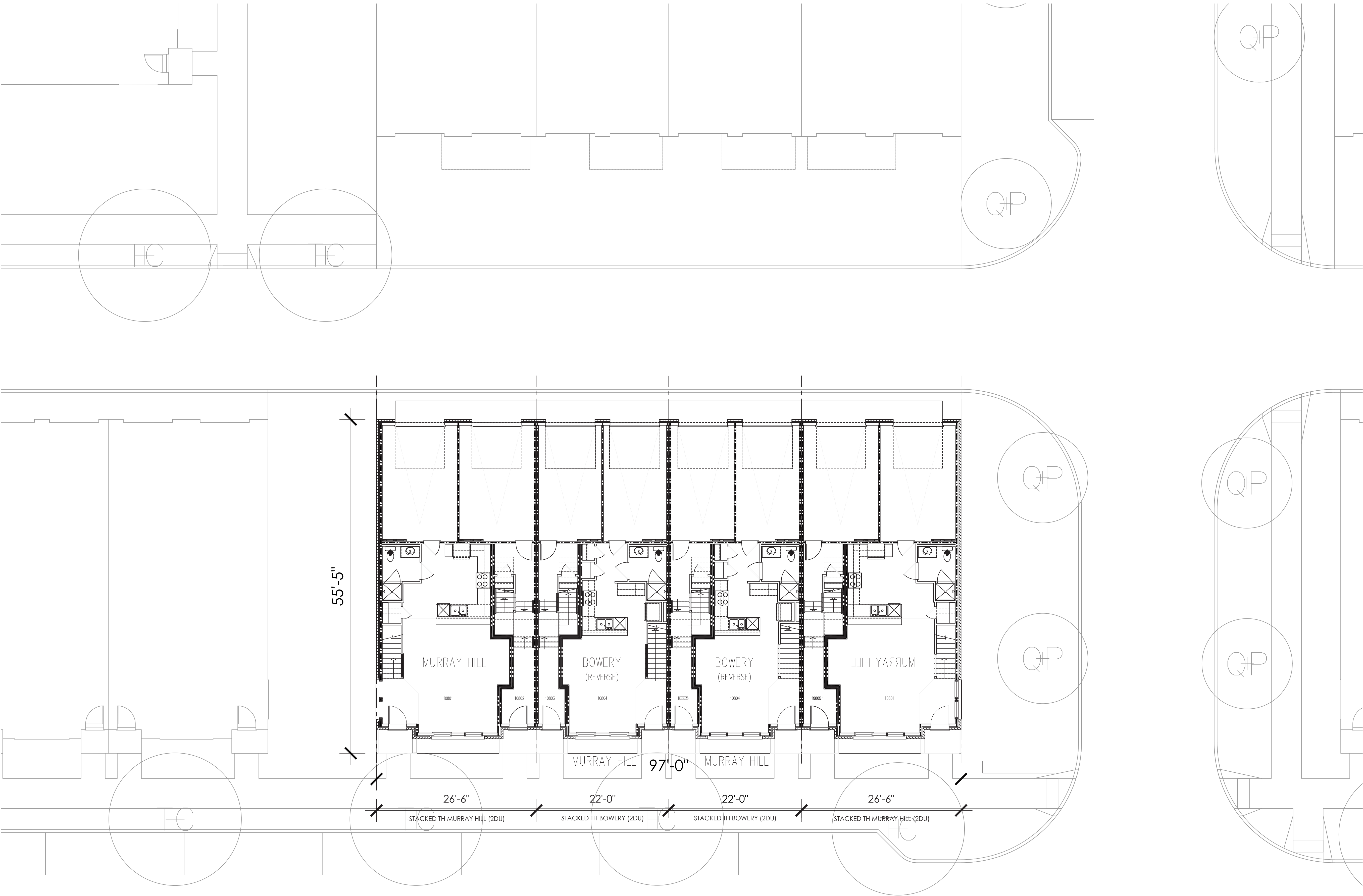
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A-05

STACKED TH COAH BUILDING PLAN

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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



01 - 8 UNIT STACKED TOWNHOME - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

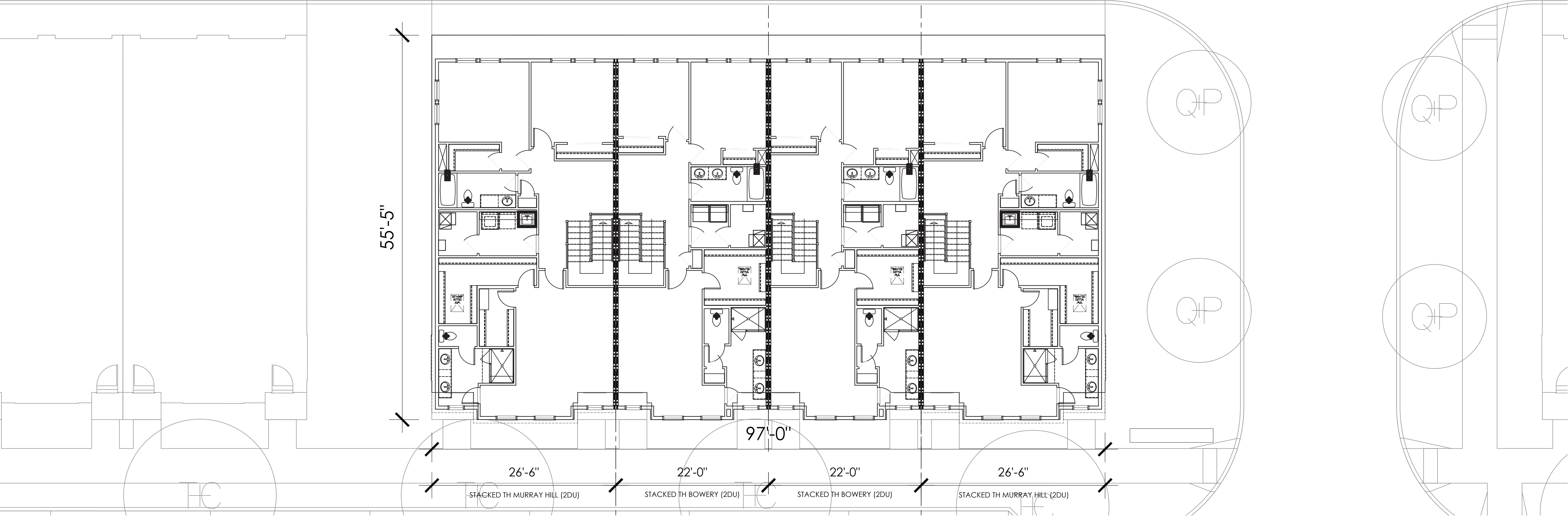
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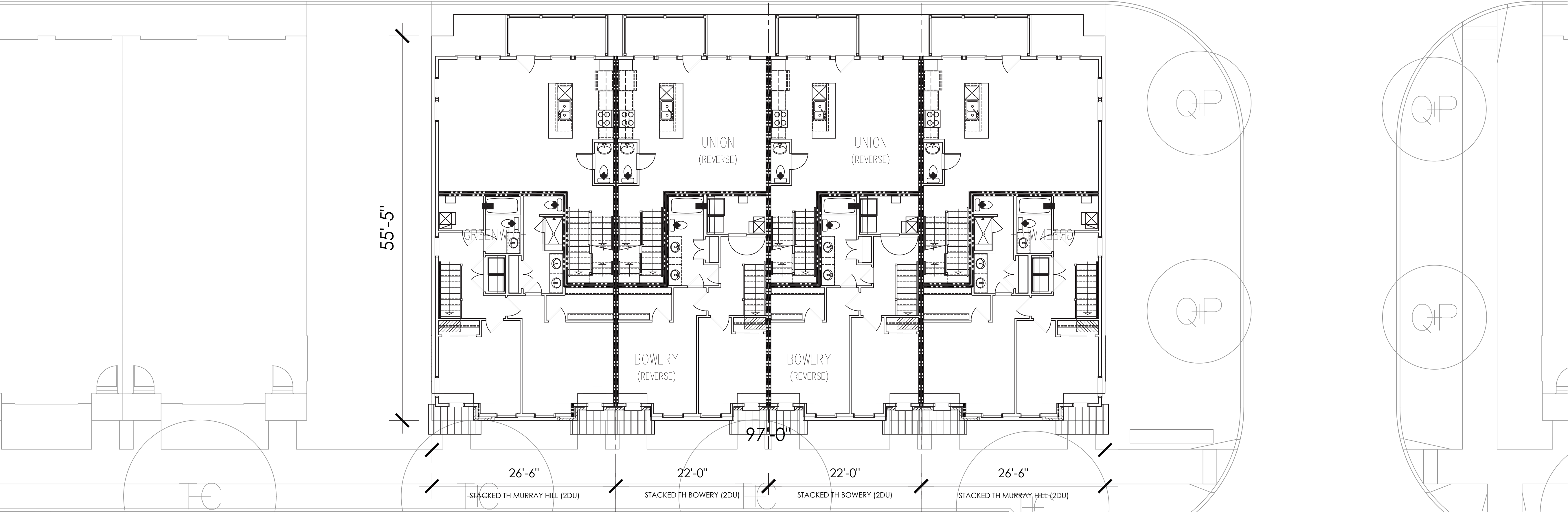
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**A-06**  
8 UNIT BUILDING  
STACKED TH BUILDING PLAN

8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



02 - 8 UNIT STACKED TOWNHOME - THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - 8 UNIT STACKED TOWNHOME - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

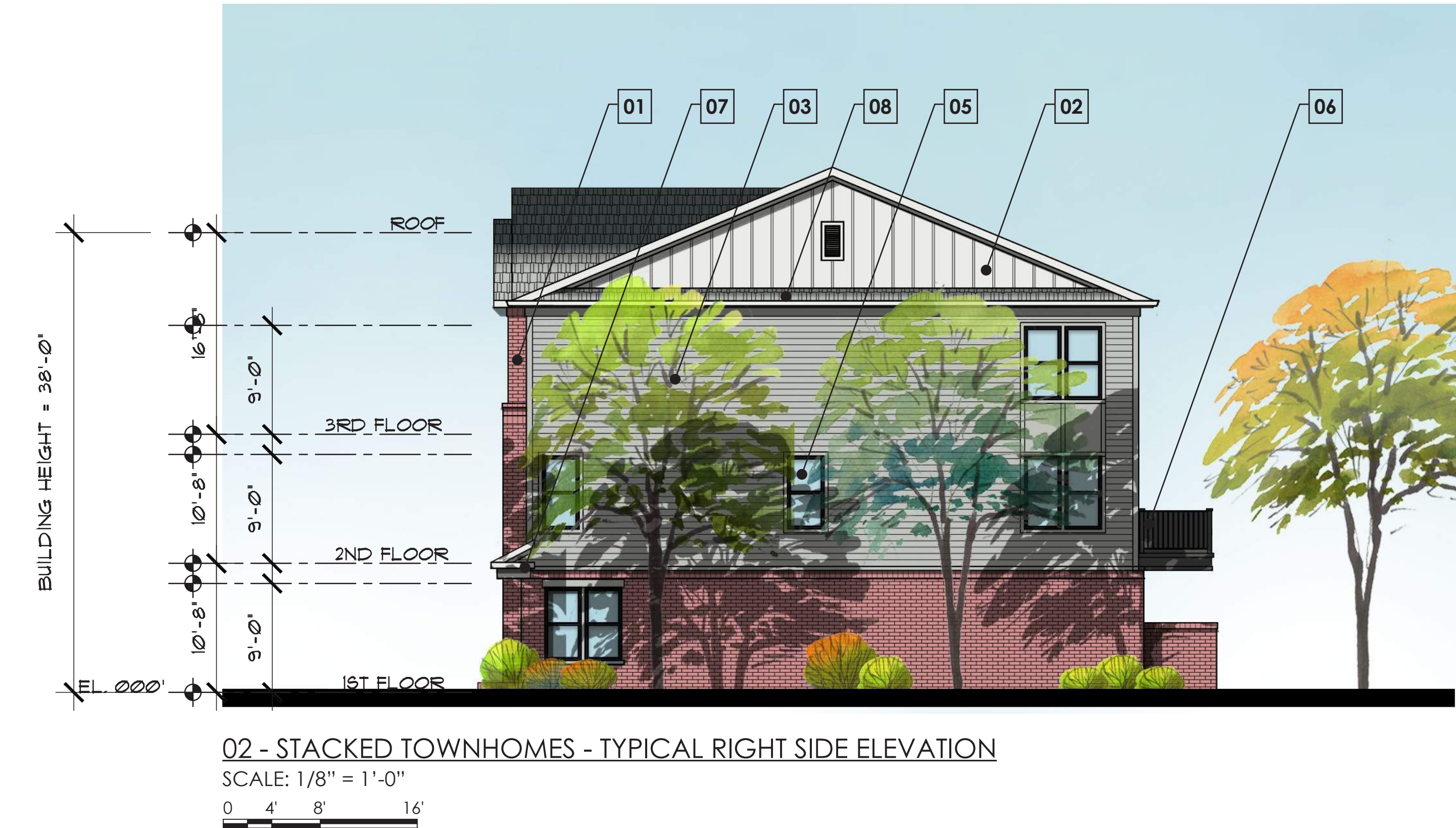
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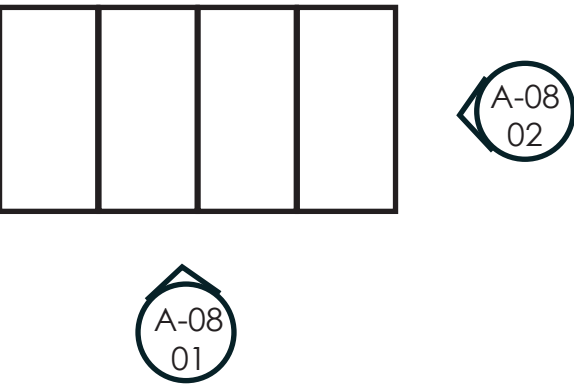
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**A-07**  
8 UNIT BUILDING  
STACKED TH BUILDING PLAN

8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.

PREPARED BY:

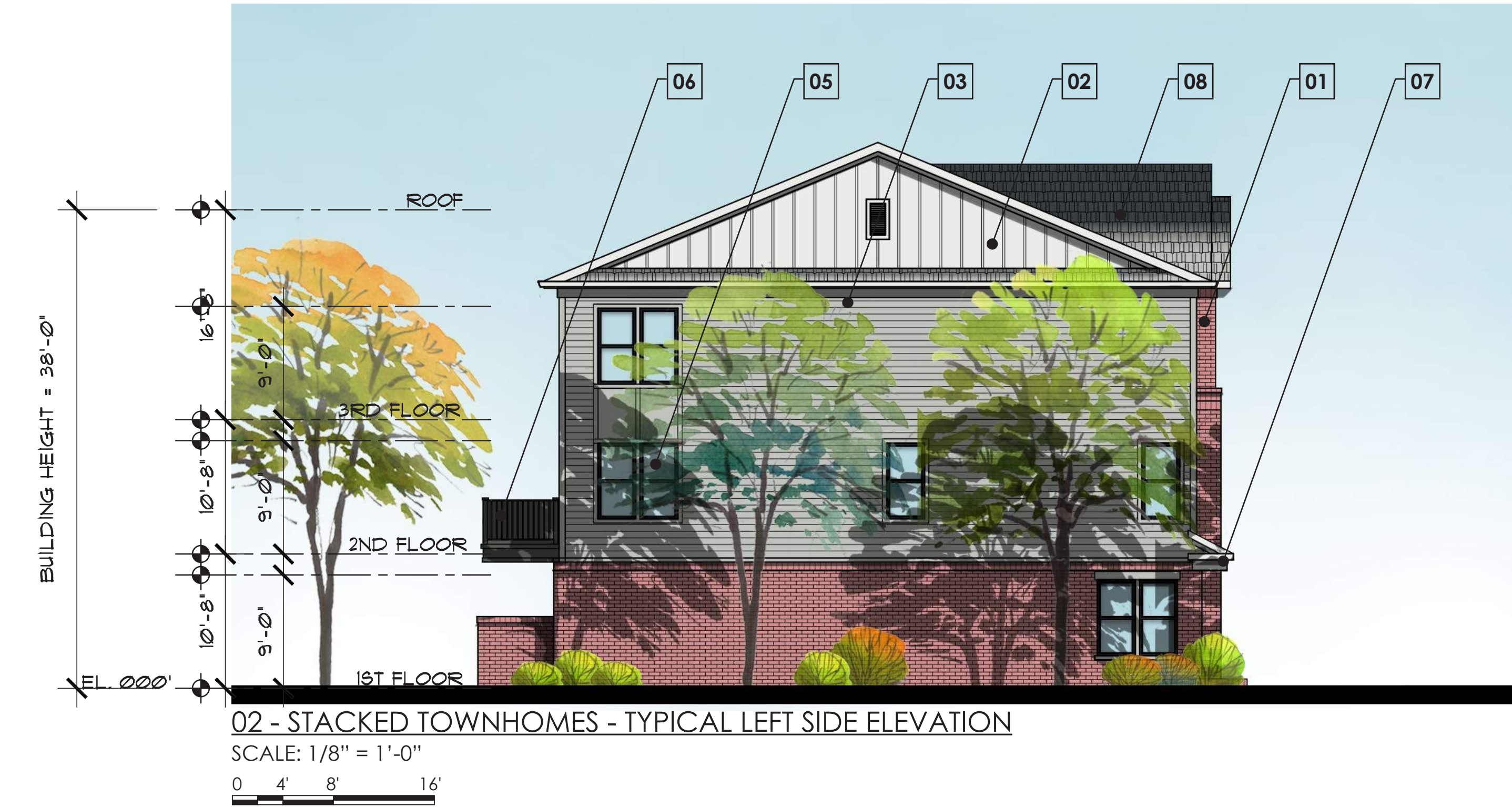
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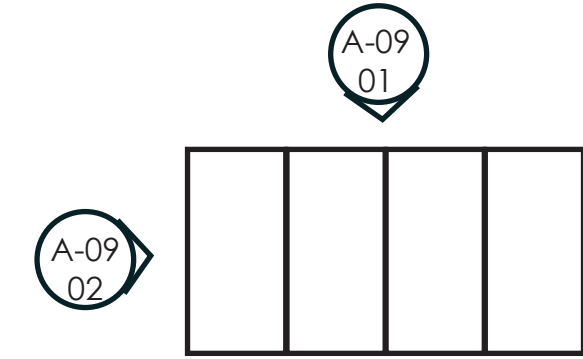
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8 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

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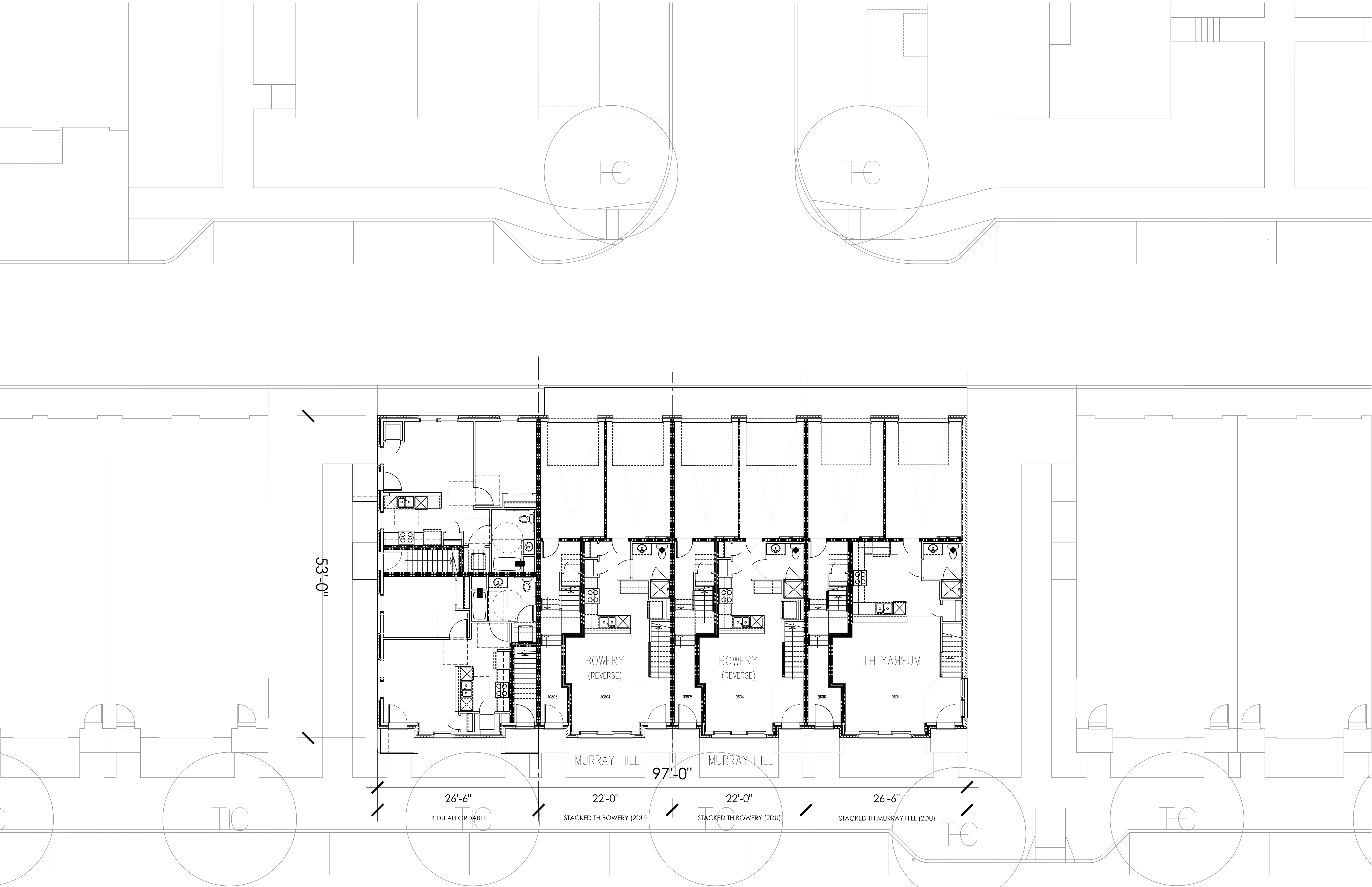
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-09**  
8 UNIT BUILDING  
STACKED TH ELEVATIONS

10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)



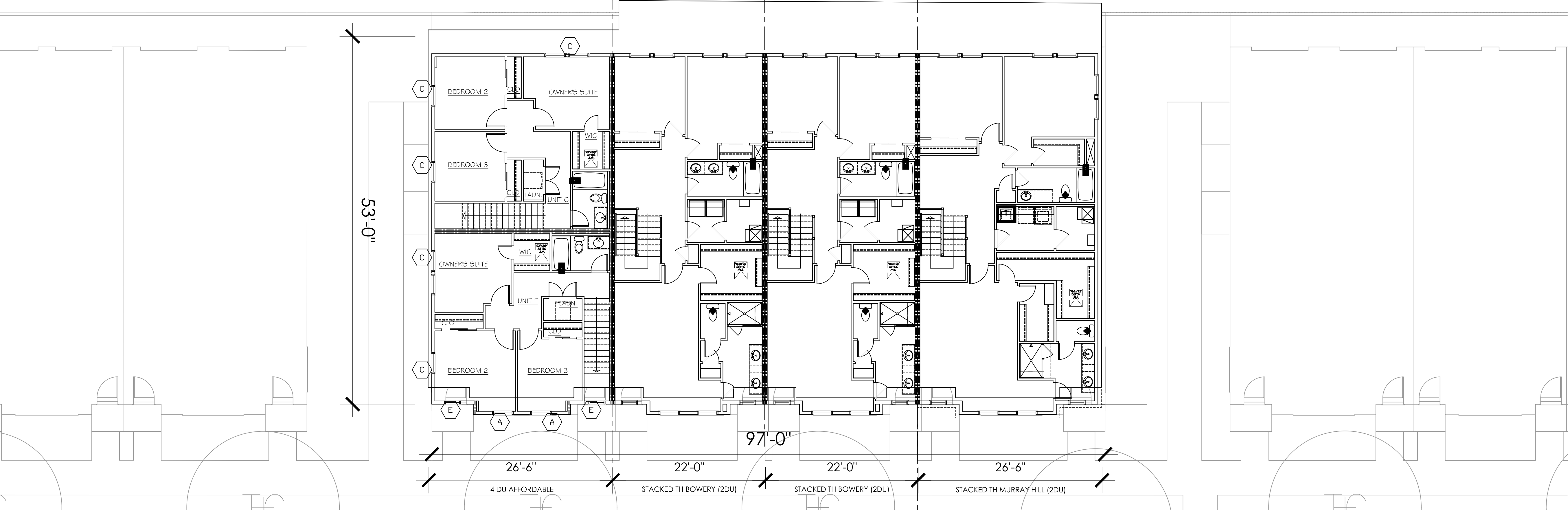
01 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

PREPARED BY:  
**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM  
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

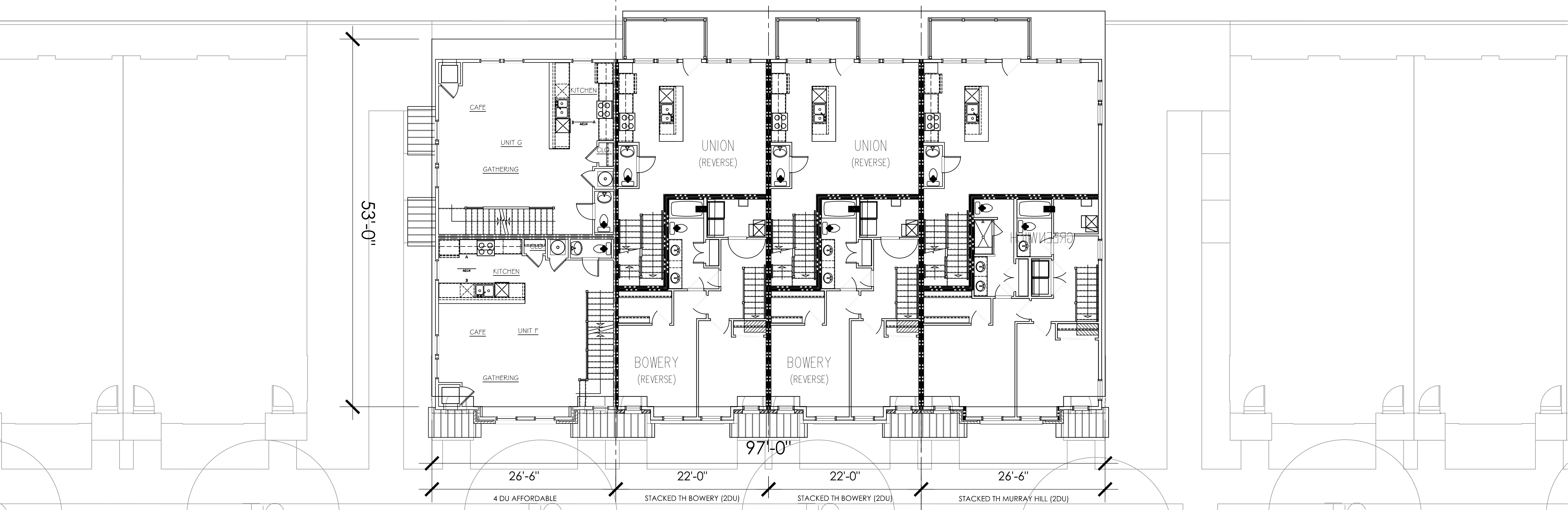
**PRINCETON NURSERIES**  
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1  
PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)



02 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - 10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS) - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

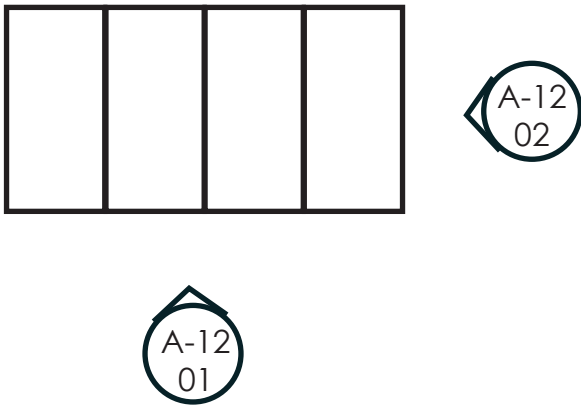
PREPARED BY:  
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.

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PRINCETON NURSERIES

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4



02 - STACKED TOWNHOMES - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

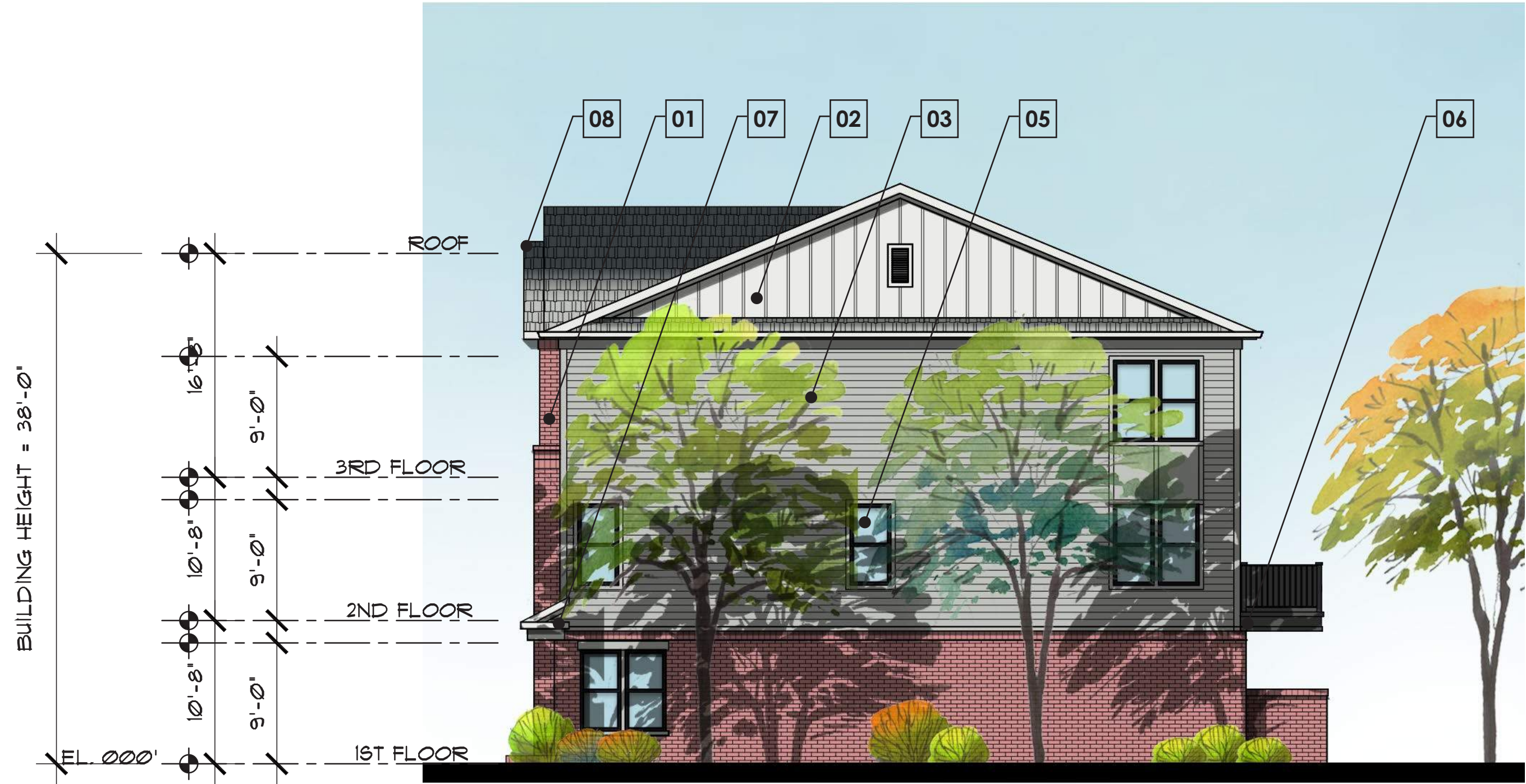


01 - STACKED TOWNHOMES - TYPICAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"

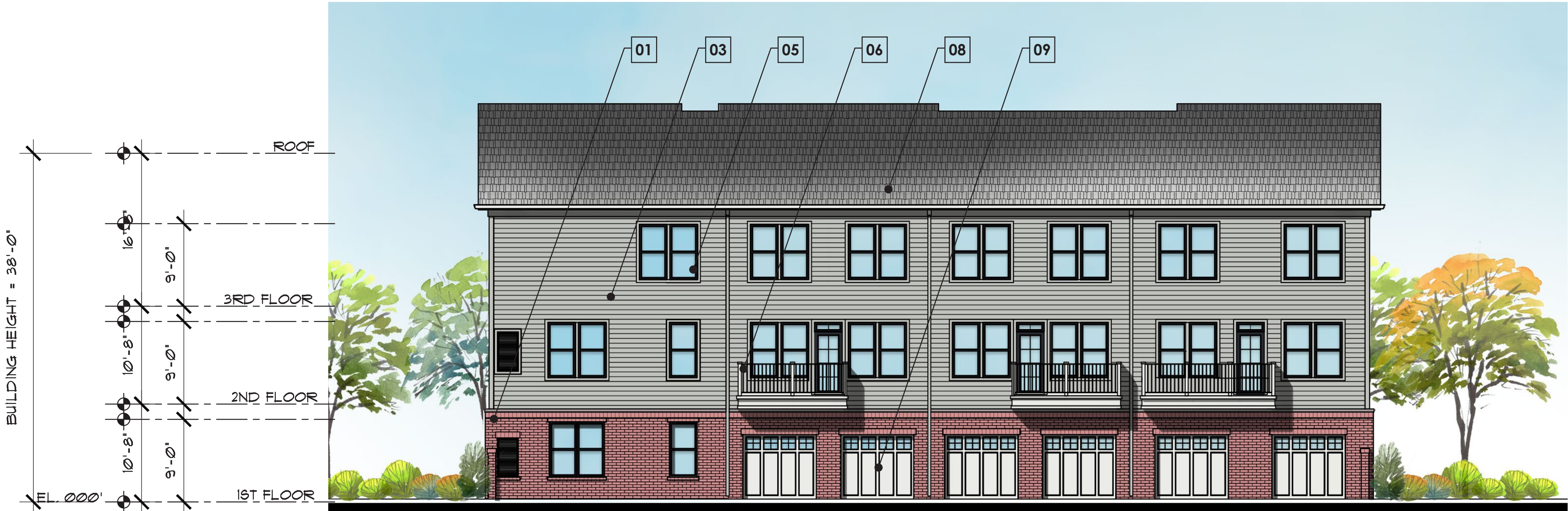


10 UNIT STACKED TOWNHOME BUILDING (4 AFFORDABLE UNITS)



02 - STACKED TOWNHOMES - TYPICAL LEFT SIDE ELEVATION

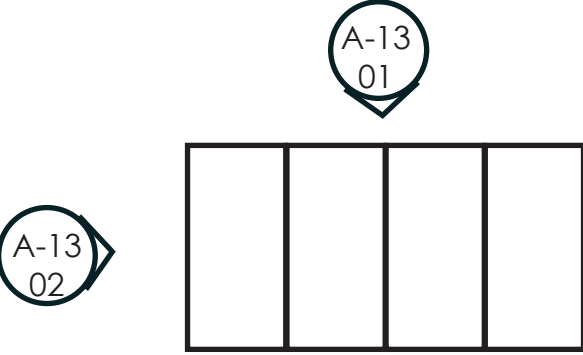
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - STACKED TOWNHOMES - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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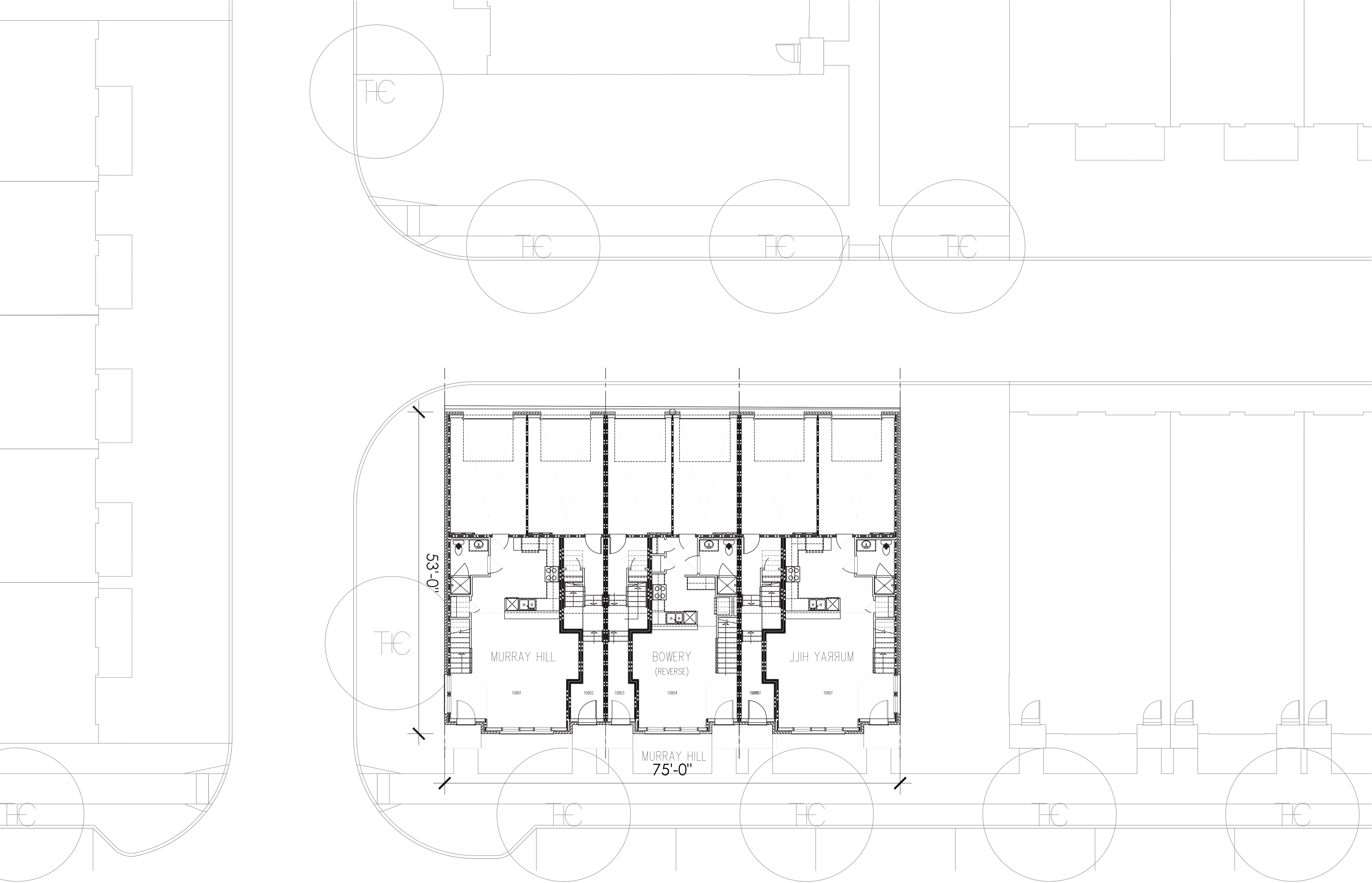
PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

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6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



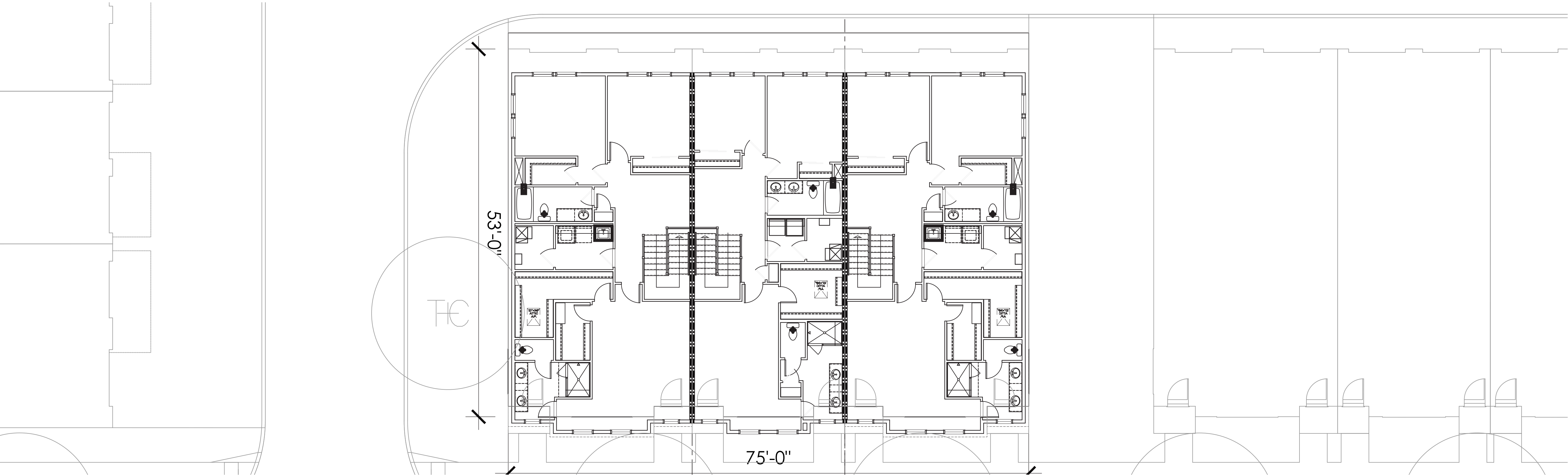
01 - 6 UNIT STACKED TOWNHOME BUILDING - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

PREPARED BY:  
**MINNO WASKO**  
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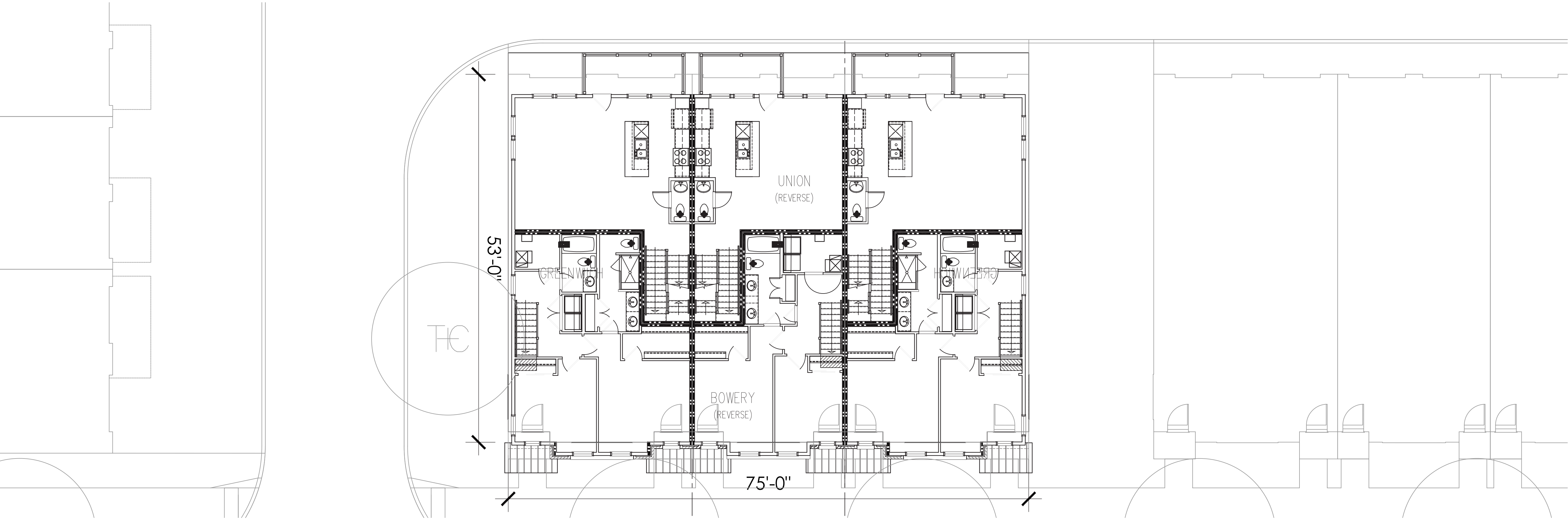
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



02 - 6 UNIT STACKED TOWNHOME BUILDING - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



01 - 6 UNIT STACKED TOWNHOME BUILDING - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



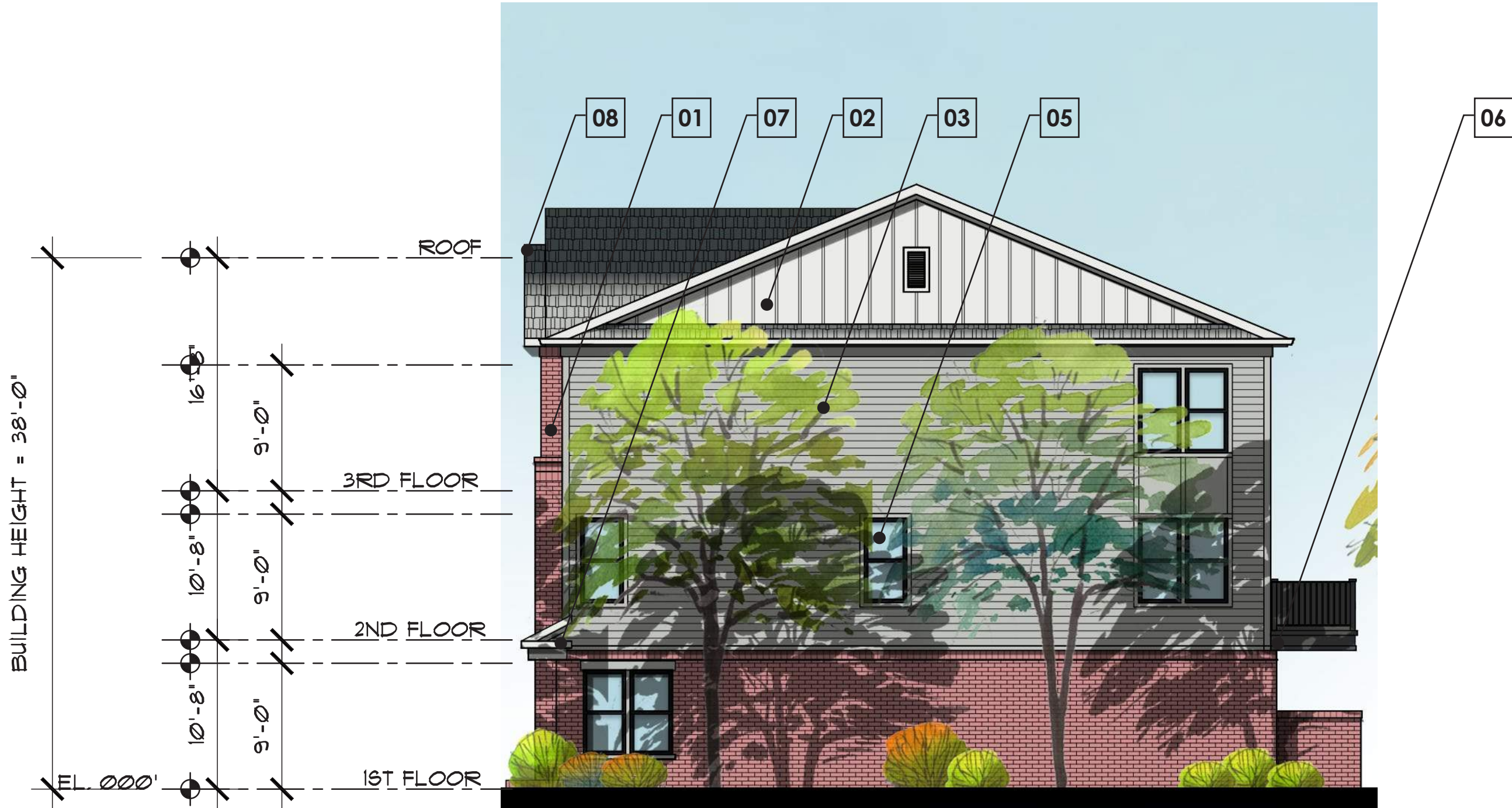
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**PRINCETON NURSERIES**  
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



02 - STACKED TOWNHOMES - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

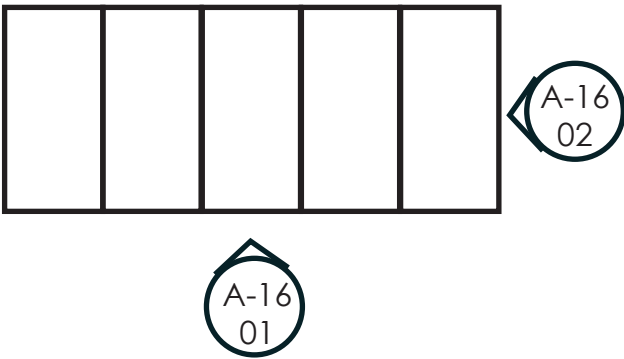


01 - STACKED TOWNHOMES - TYPICAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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PREPARED BY:

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PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
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PREPARED FOR:  
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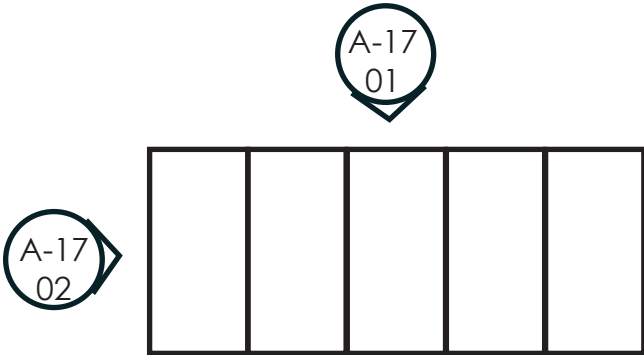
6 UNIT STACKED TOWNHOME BUILDING - MARKET RATE



02 - STACKED TOWNHOMES - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

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PRINCETON NURSERIES

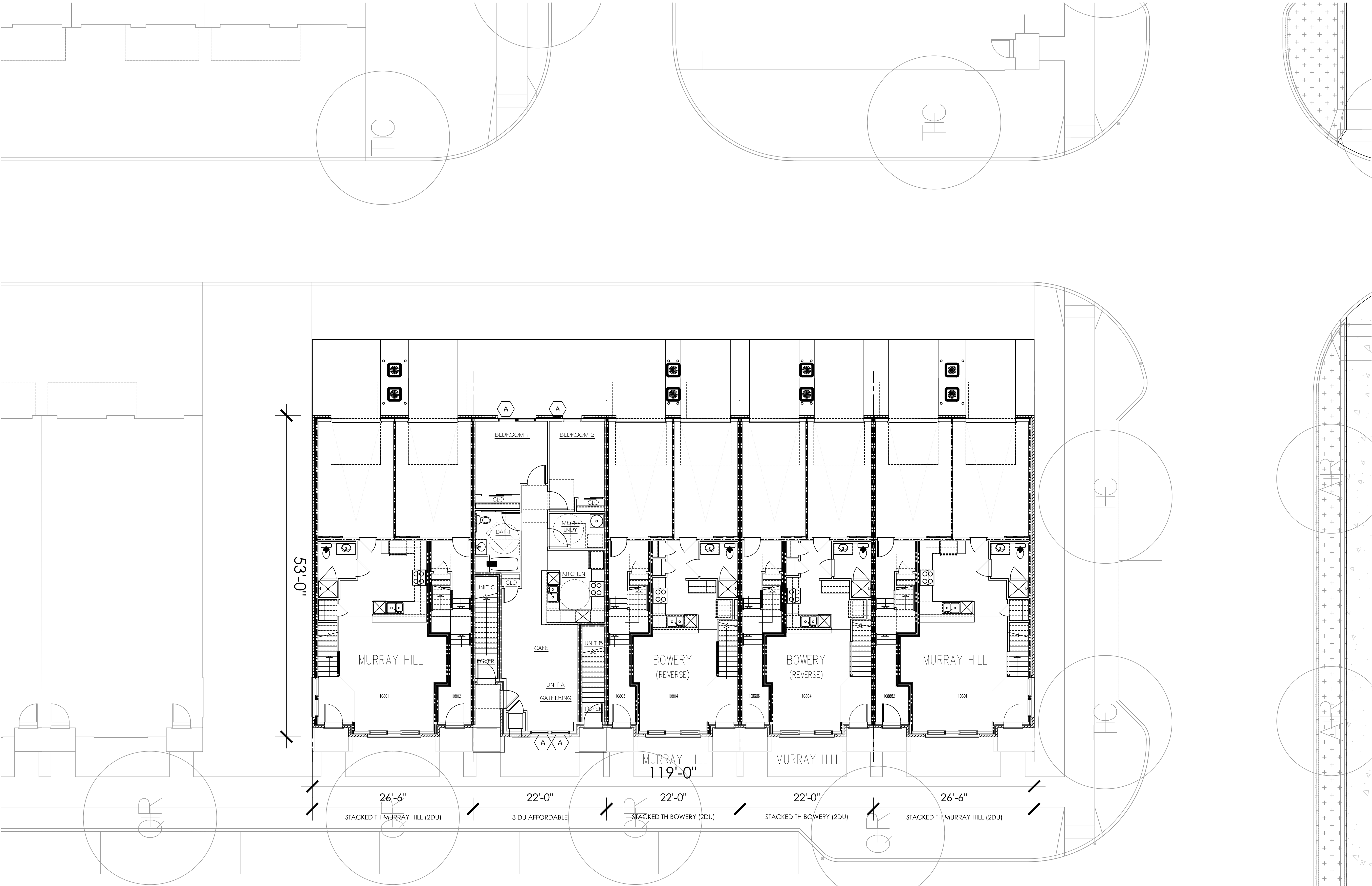
PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
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BLOCK 106, LOT 1

PREPARED FOR:  
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-17  
6 UNIT BUILDING  
STACKED TH ELEVATIONS

11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)



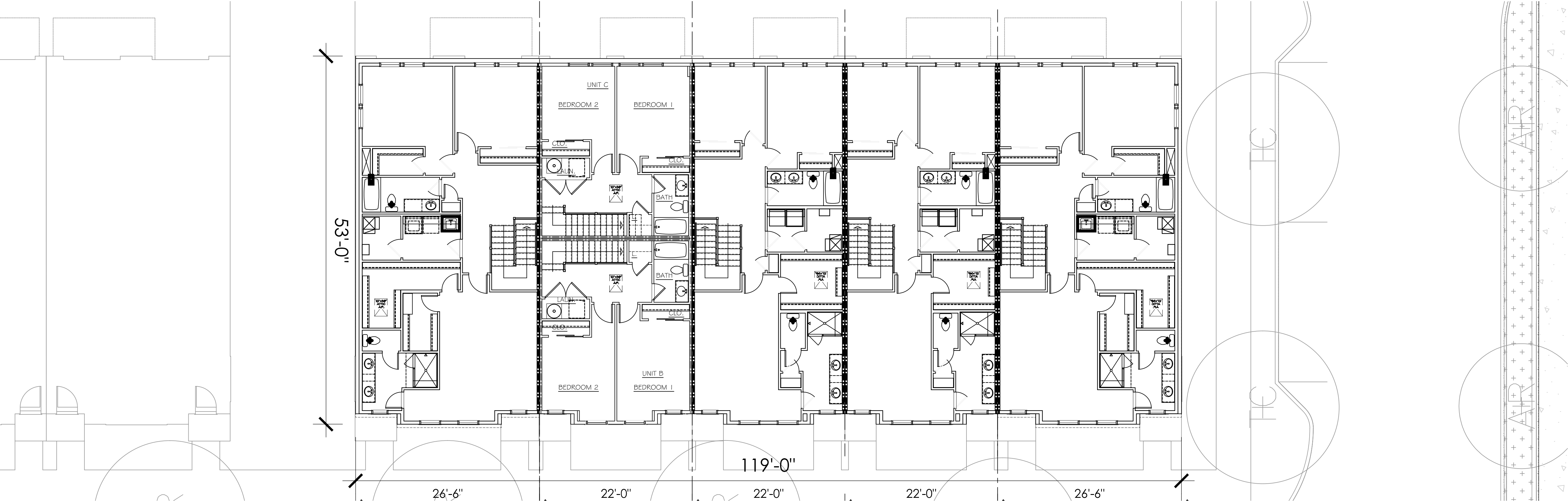
01 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

PREPARED BY:  
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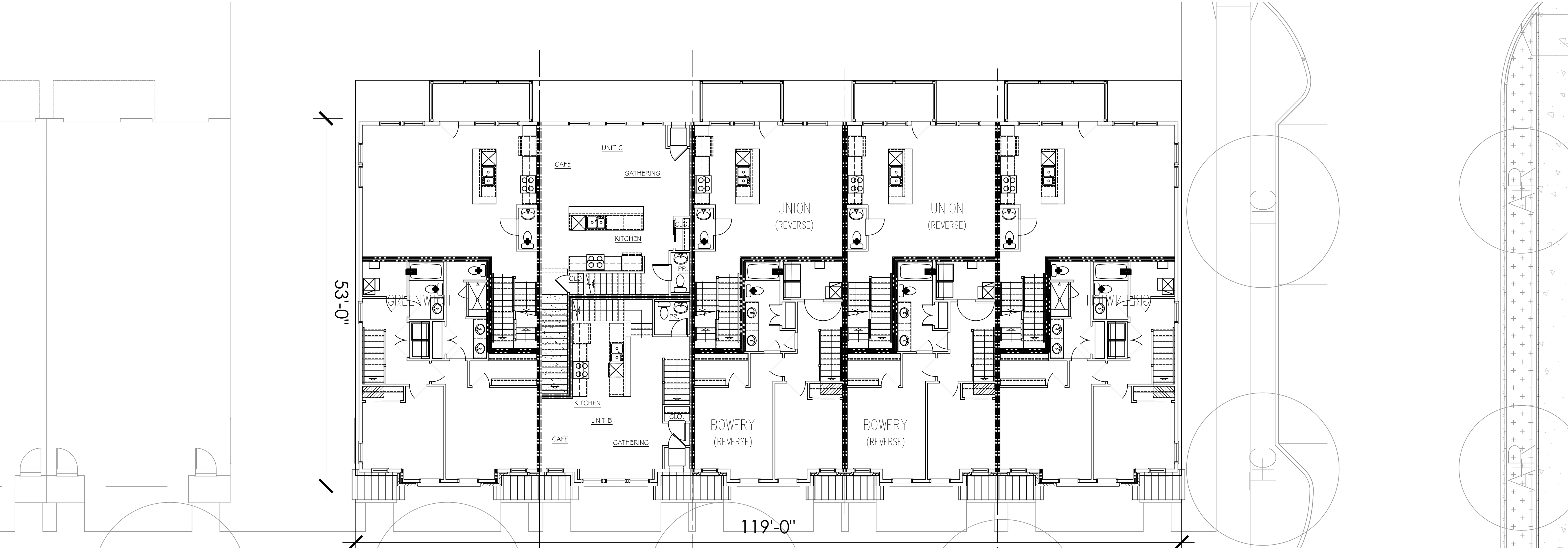
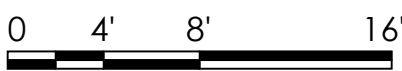
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)



02 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



01 - 11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS) - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



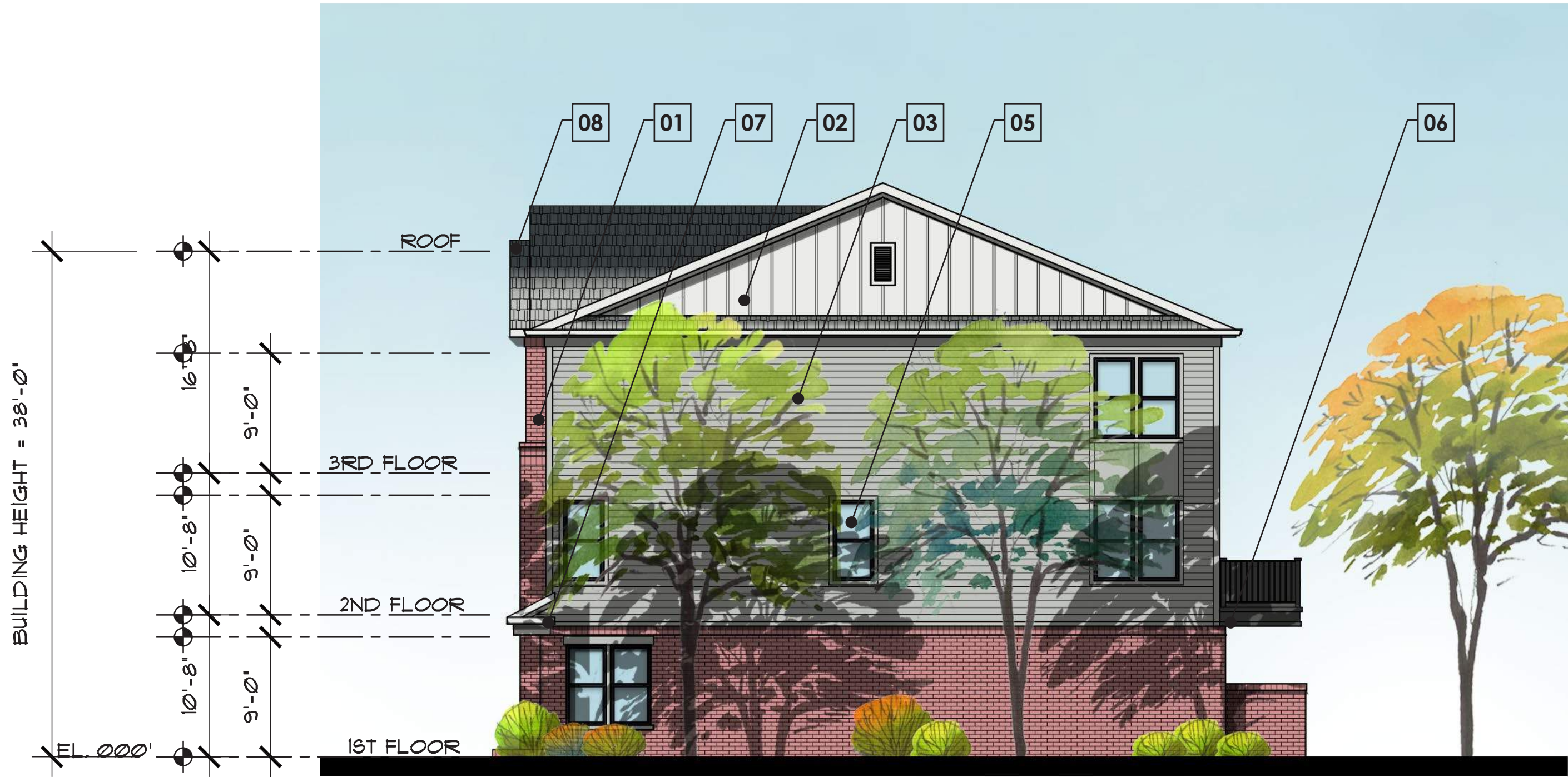
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11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)

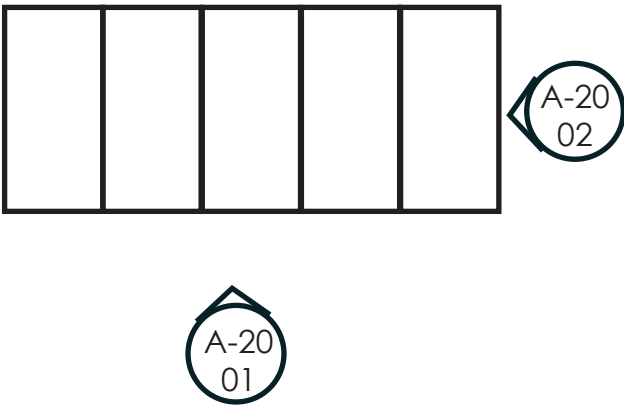


02 - STACKED TOWNHOMES - TYPICAL RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - STACKED TOWNHOMES - TYPICAL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
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NOTES:

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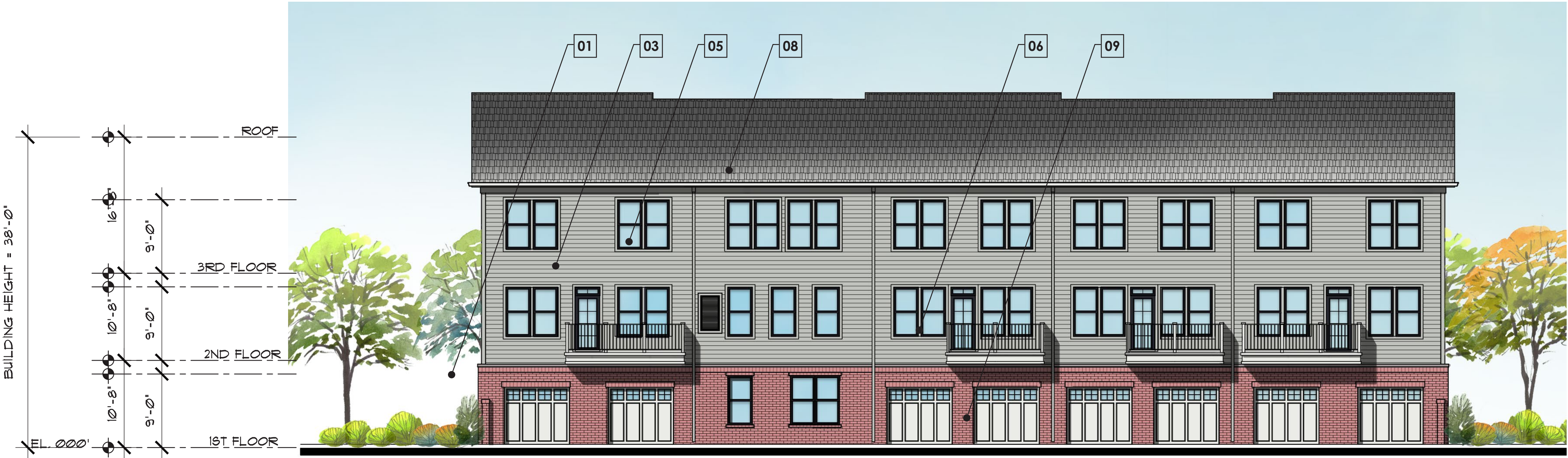
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

11 UNIT STACKED TOWNHOME BUILDING (3 AFFORDABLE UNITS)

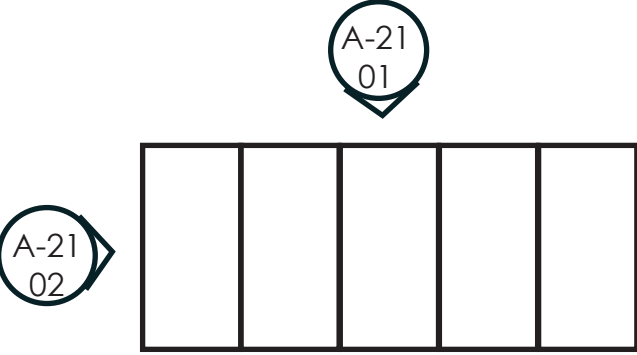


02 - STACKED TOWNHOMES - TYPICAL LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - STACKED TOWNHOMES - TYPICAL REAR ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
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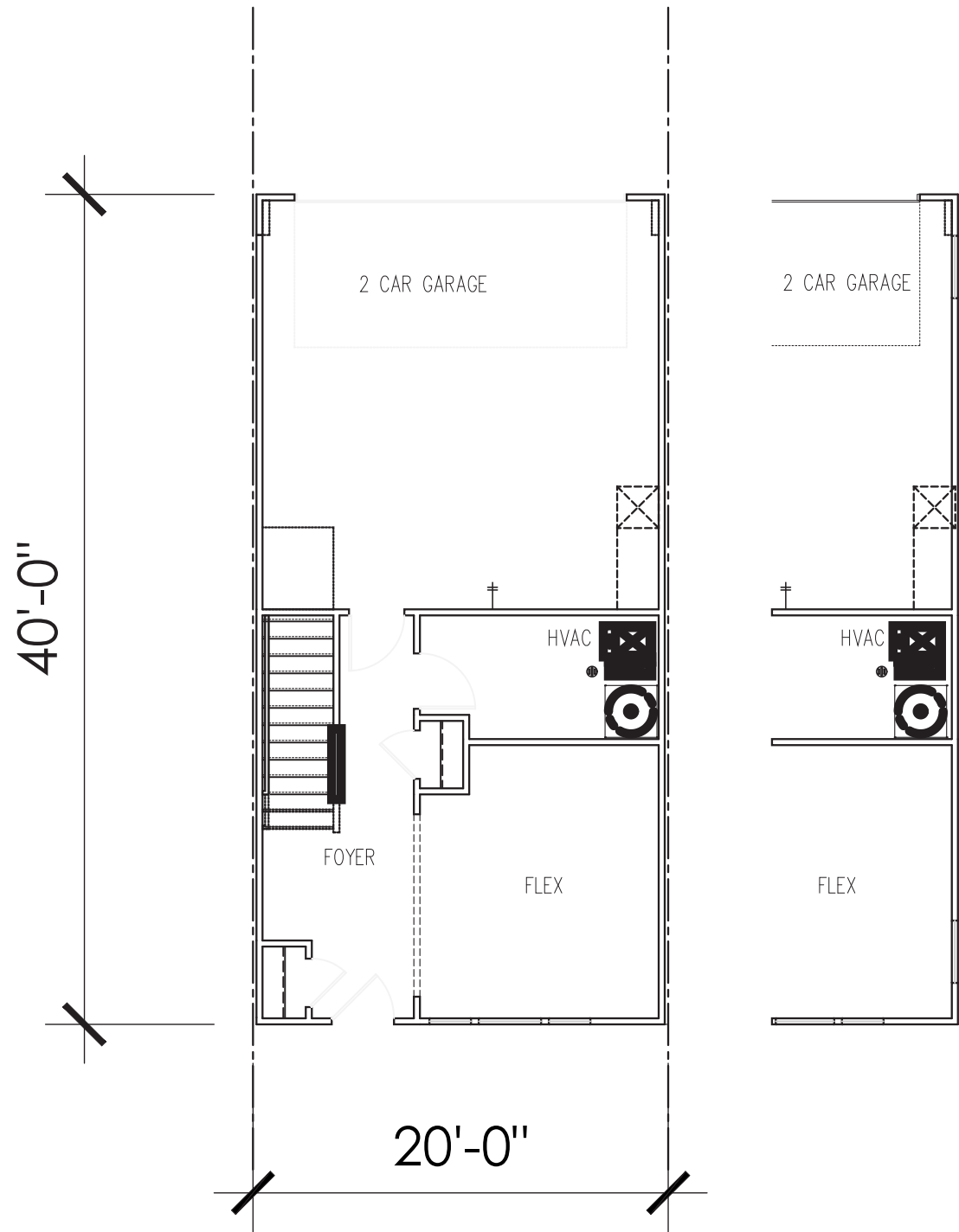
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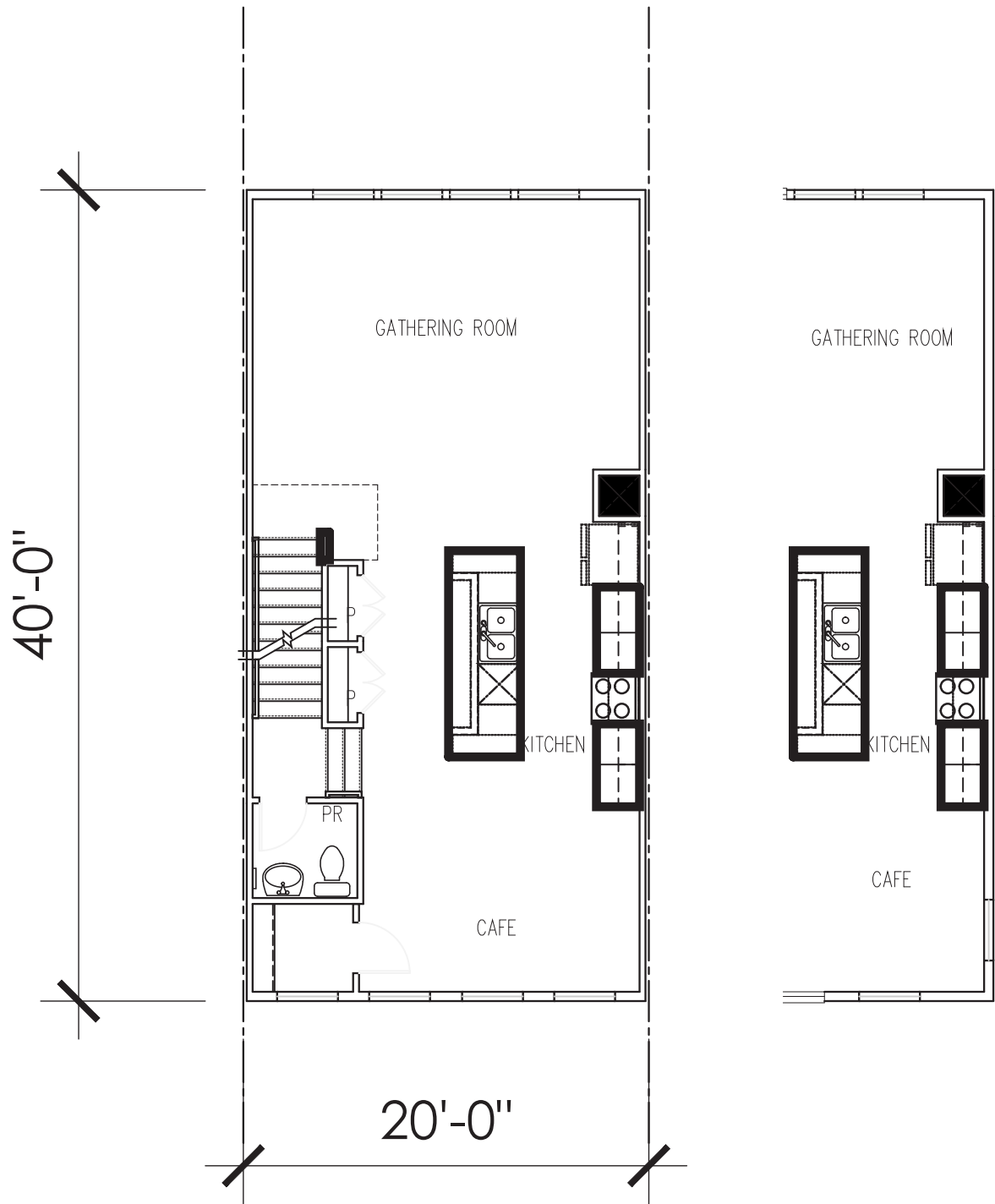
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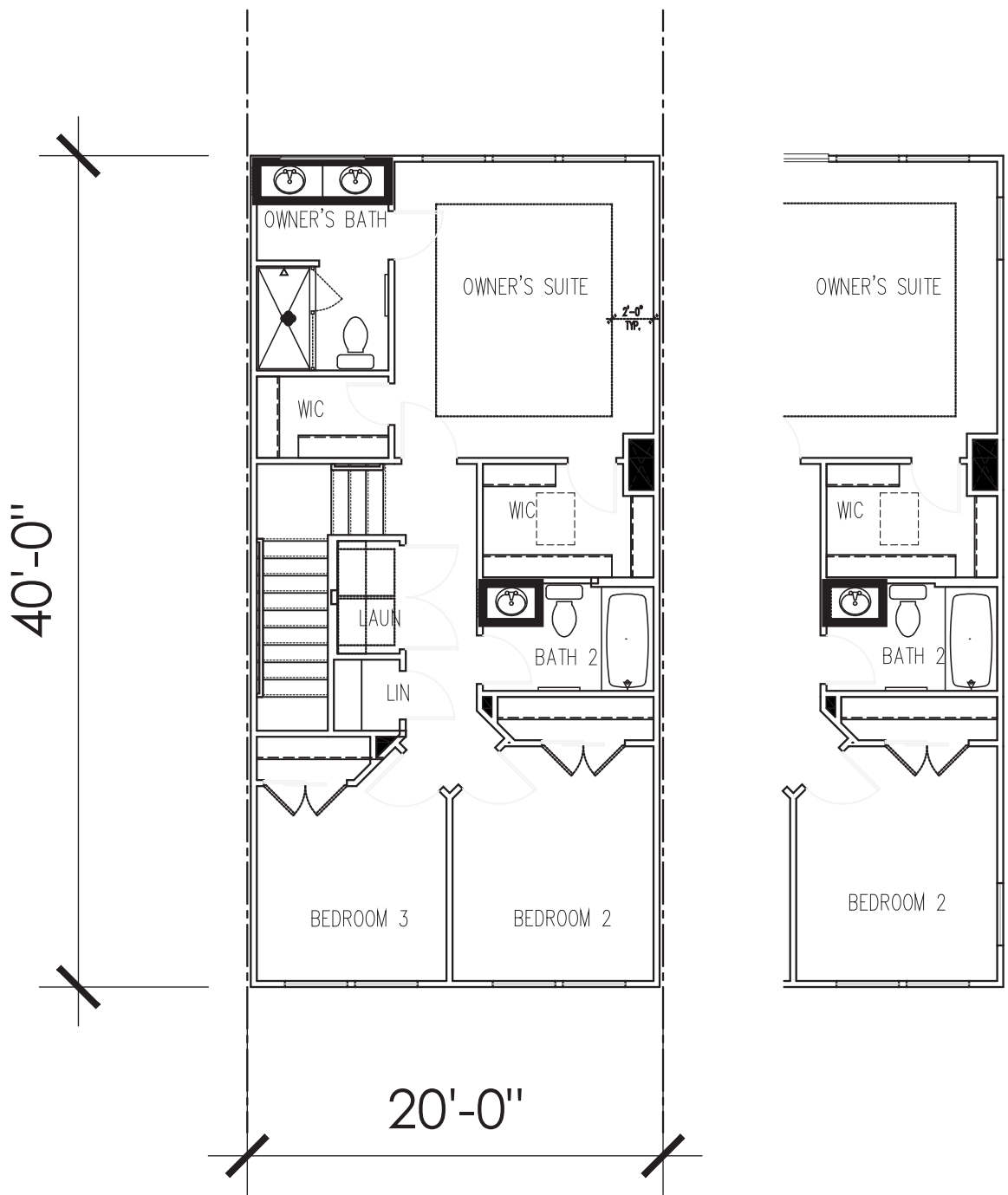
MARKET RATE 20'-0" TRADITIONAL TOWNHOME LAYOUT



01 - GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



02 - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



03 - THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

PREPARED BY:  
**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530  
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102  
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PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

ISSUE:	
DATE:	FOR:
07-19-2024	PRELIM + FINAL SITE PLAN
09-27-2024	PRELIM + FINAL SITE PLAN REV 1
12-04-2024	PRELIM + FINAL SITE PLAN REV 2
04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-22

20' TH BUILDING PLAN

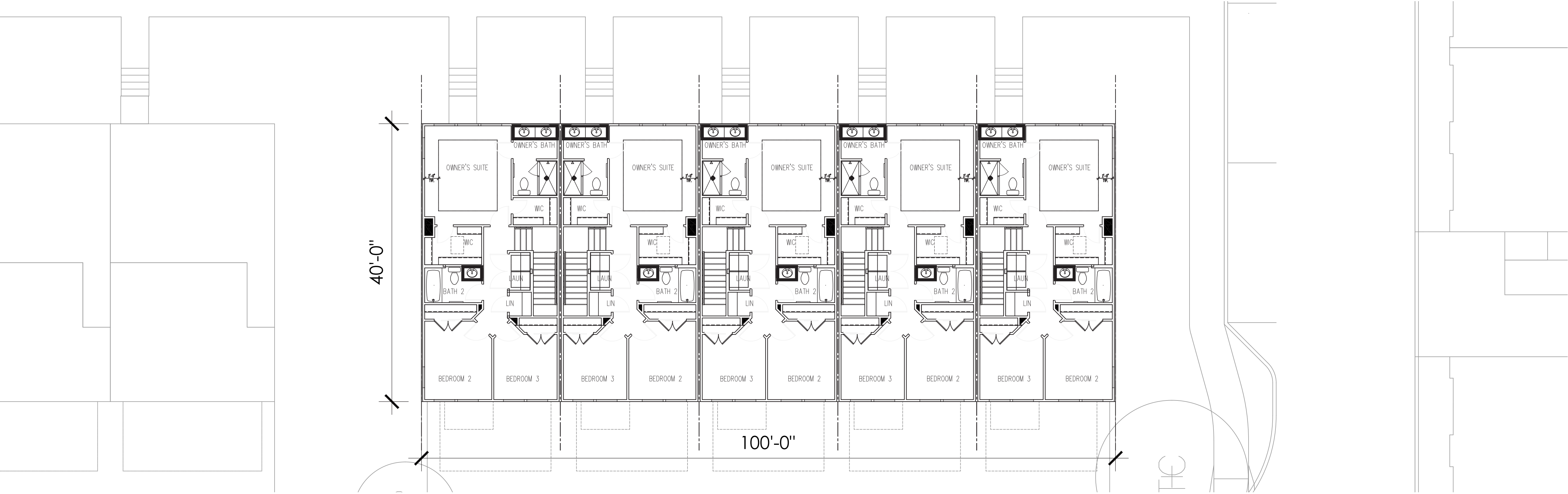
Architectural floor plan of a five-unit residential building. The plan shows a symmetrical layout with five units, each containing a 2-car garage, a flex room, a foyer, and a bathroom. The building is 100'-0" wide and 40'-0" deep. The plan includes room labels, dimensions, and a north arrow.

Room labels include: 2 CAR GARAGE, FLEX, FOYER, and BATH. The plan also shows HVAC units, stairs, and various fixtures. The overall dimensions are 100'-0" by 40'-0".

A horizontal graphic scale bar with tick marks at 0, 4', 8', and 16 feet. The bar is divided into four equal segments, each representing 4 feet.

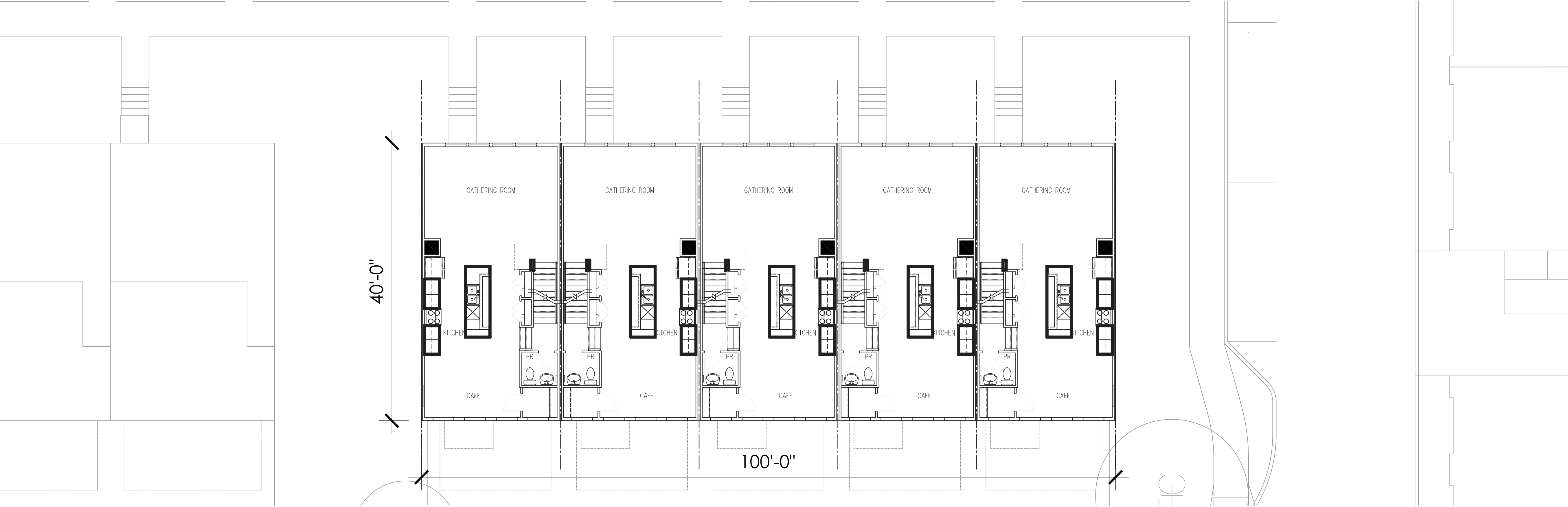
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5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'



02 - 5 UNIT (20' TOWNHOMES) - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



01 - 5 UNIT (20' TOWNHOMES) - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-24**

20' TH BUILDING PLAN

5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'

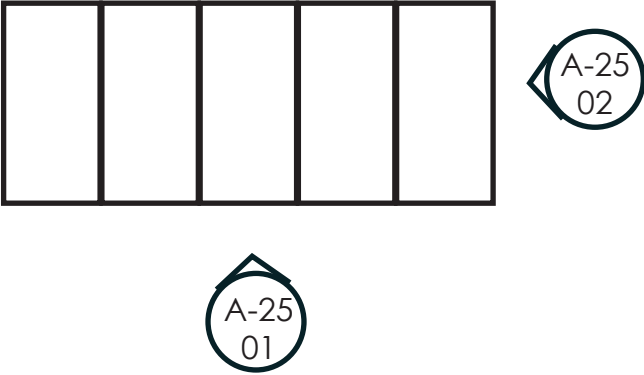


02 - 20' TRADITIONAL TH REAR LOADED - TYPICAL RIGHT SIDE ELEVATION  
SCALE: 1/16" = 1'-0"  
0 4' 8' 16'



01 - 20' TRADITIONAL TH REAR LOADED - TYPICAL FRONT ELEVATION  
SCALE: 1/16" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

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SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.

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TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

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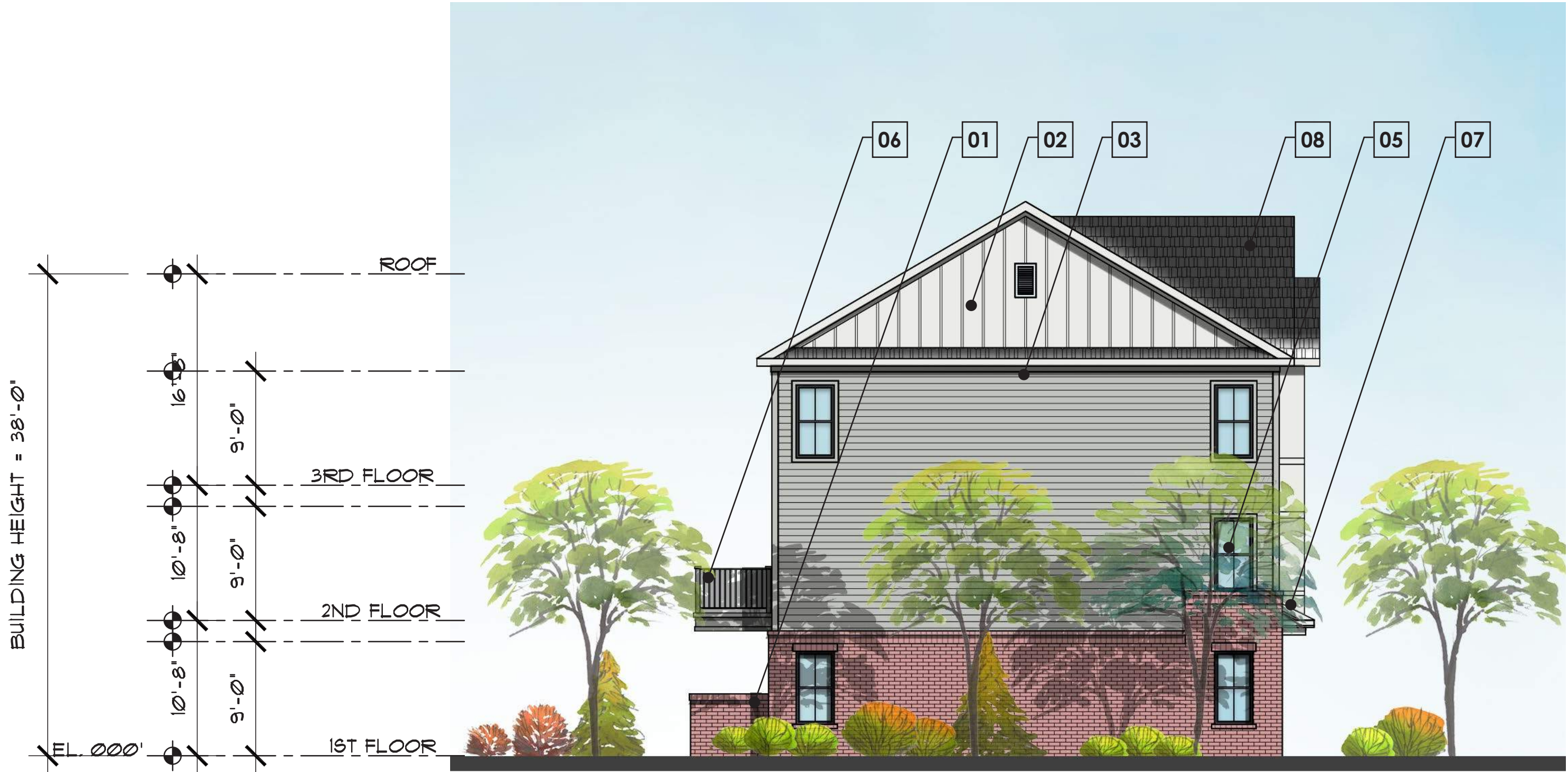
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

5 UNIT TRADITIONAL TOWNHOME BUILDING - 20'

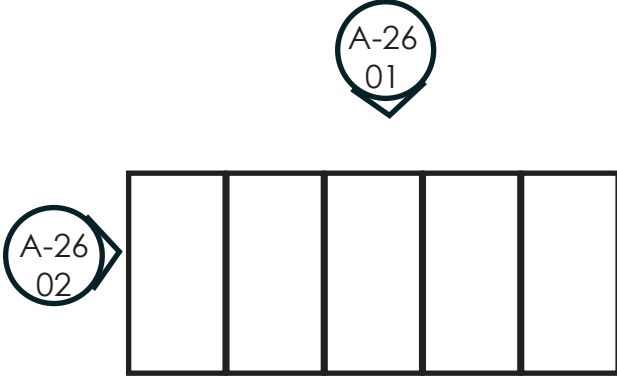


02 - 20' TRADITIONAL TH REAR LOADED - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/16" = 1'-0"



KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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01 - 20' TRADITIONAL TH REAR LOADED - TYPICAL REAR ELEVATION

SCALE: 1/16" = 1'-0"



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BLOCK 102, LOTS 5 + 6  
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-26

20' TH ELEVATIONS

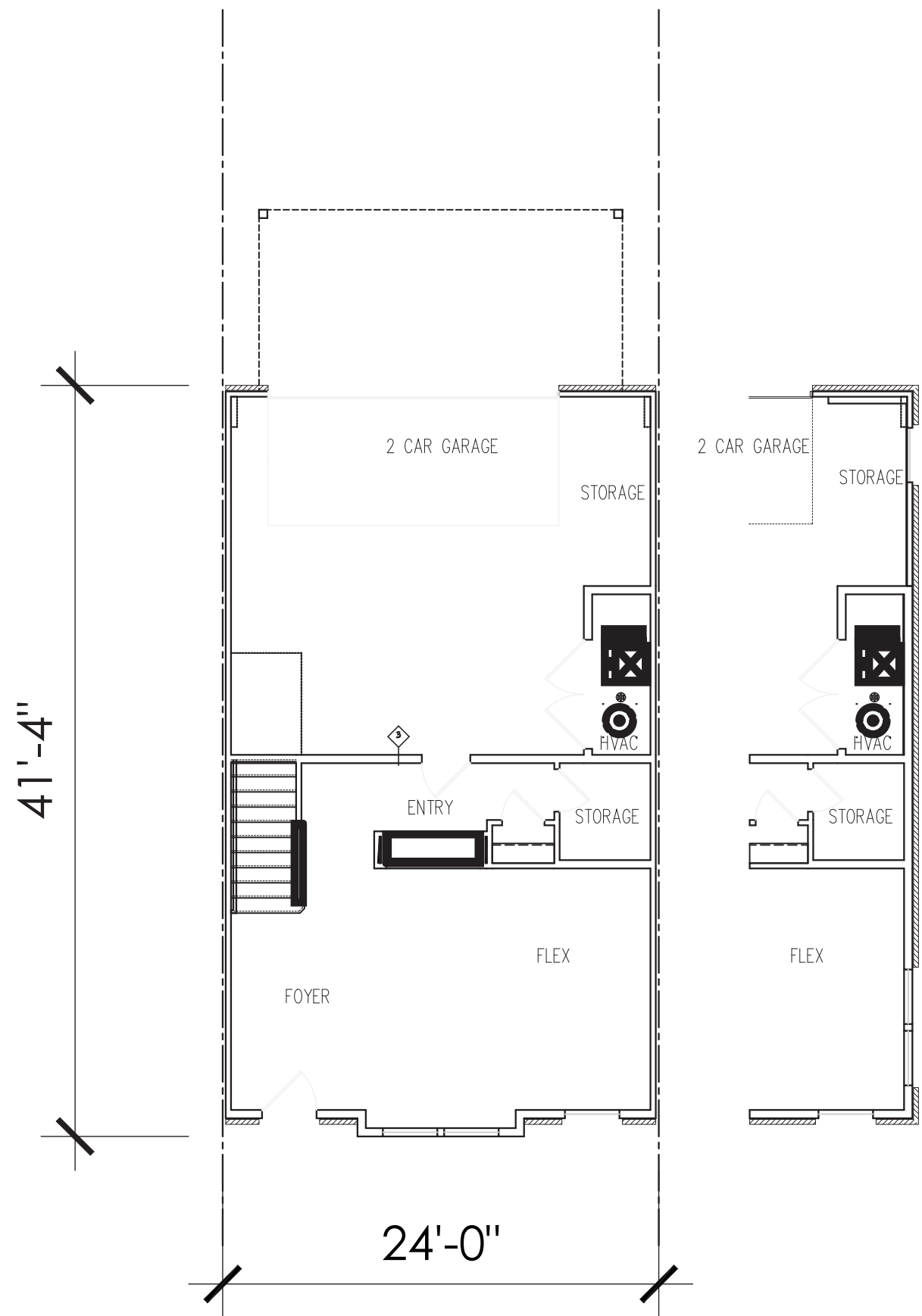
**SITE NOTES:**

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.

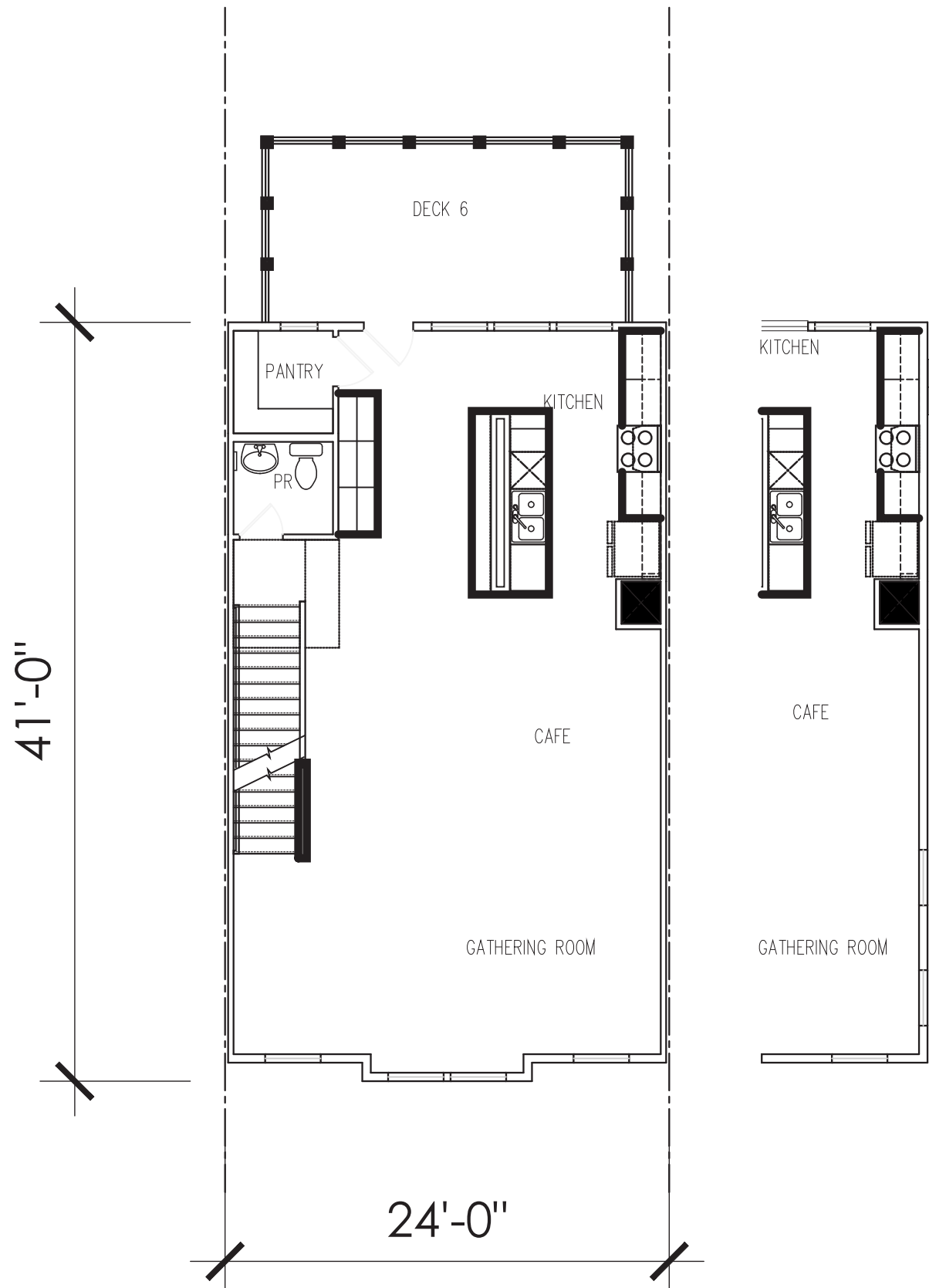
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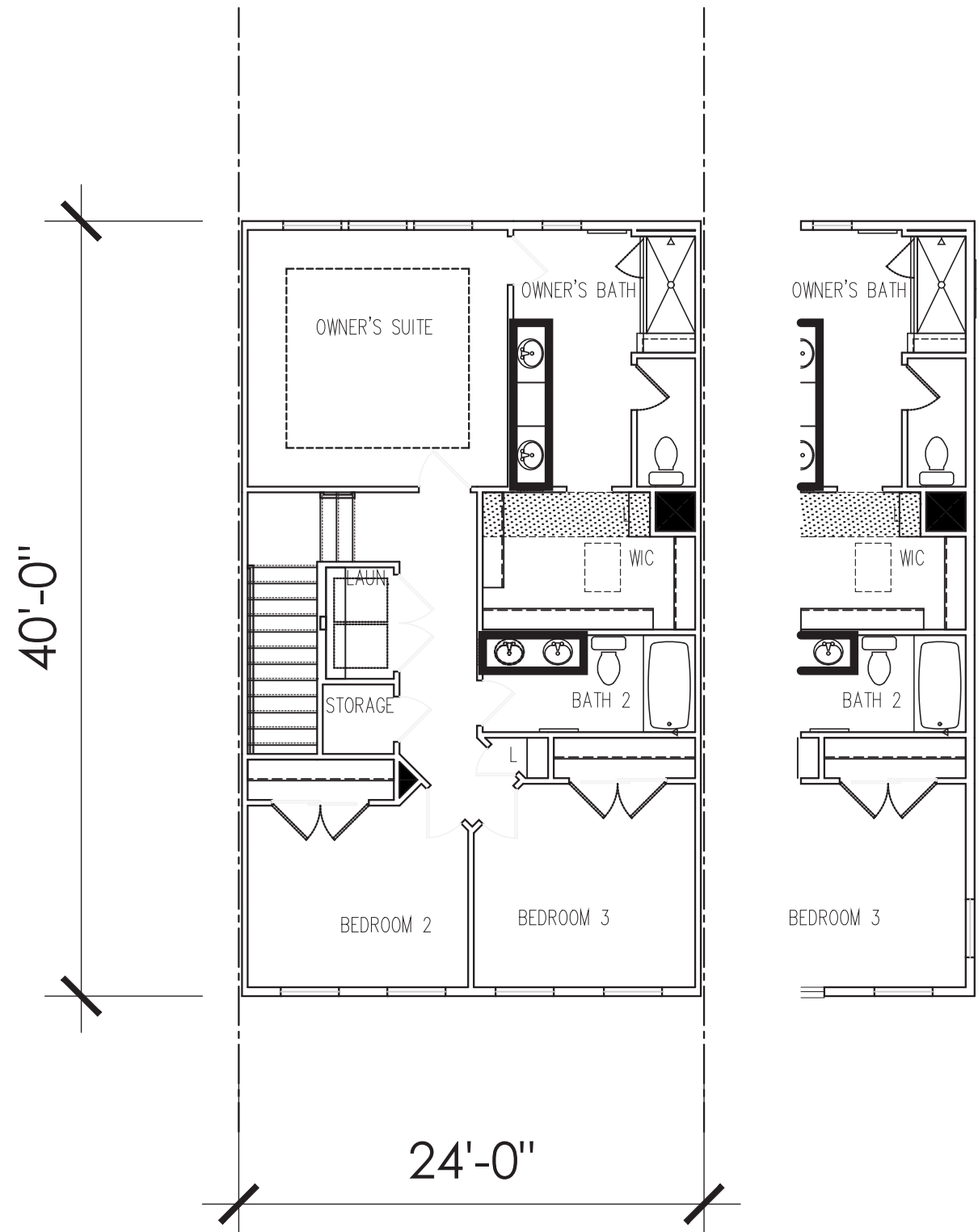
MARKET RATE 24'-0" TRADITIONAL TOWNHOME LAYOUT



01 - GROUND FLOOR PLAN & EDGE CONDITION  
SCALE: 1/8" = 1'-0"



02 - SECOND FLOOR PLAN & EDGE CONDITION  
SCALE: 1/8" = 1'-0"



03 - THIRD FLOOR PLAN & EDGE CONDITION  
SCALE: 1/8" = 1'-0"

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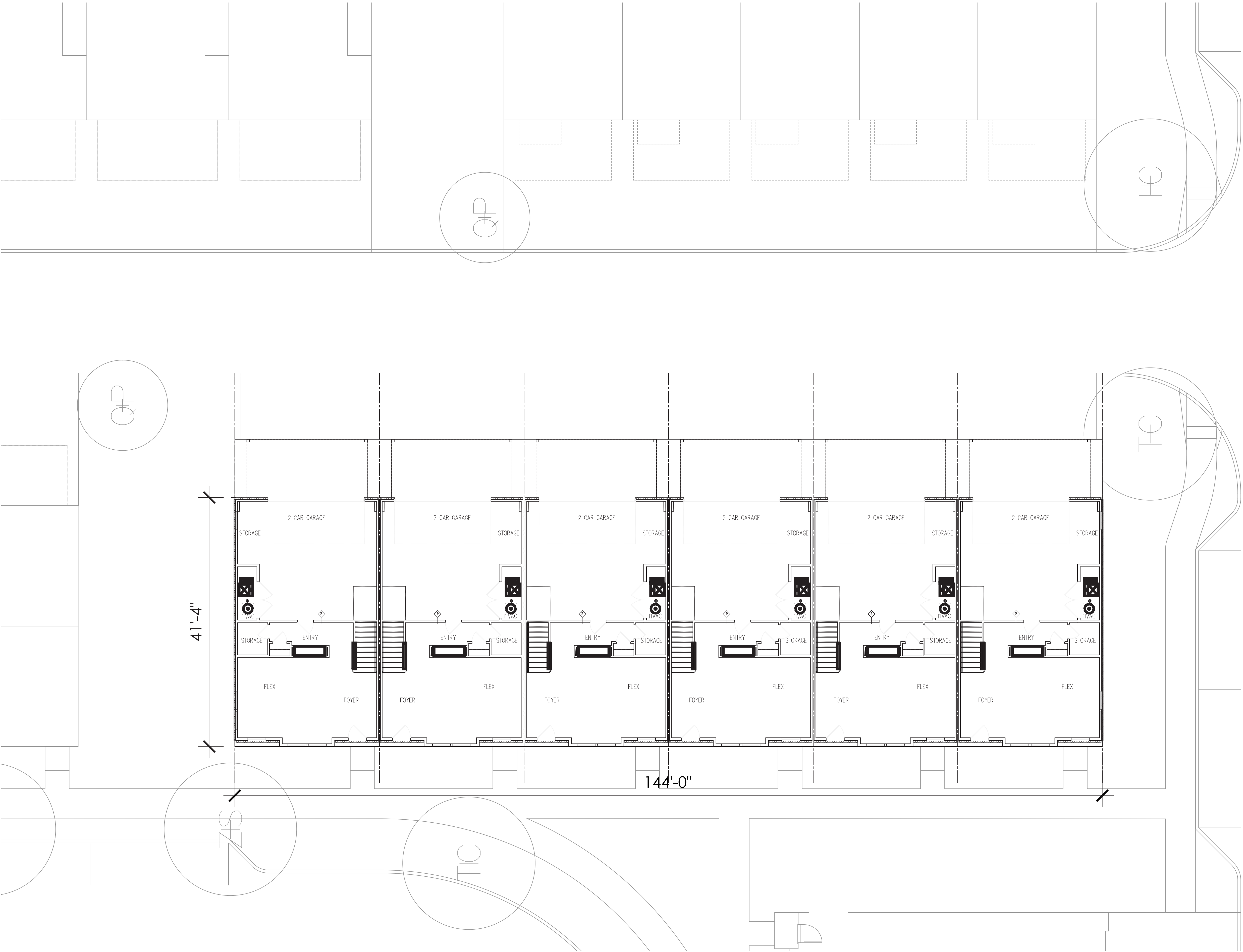
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

A-27

24' TH BUILDING PLAN

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6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'



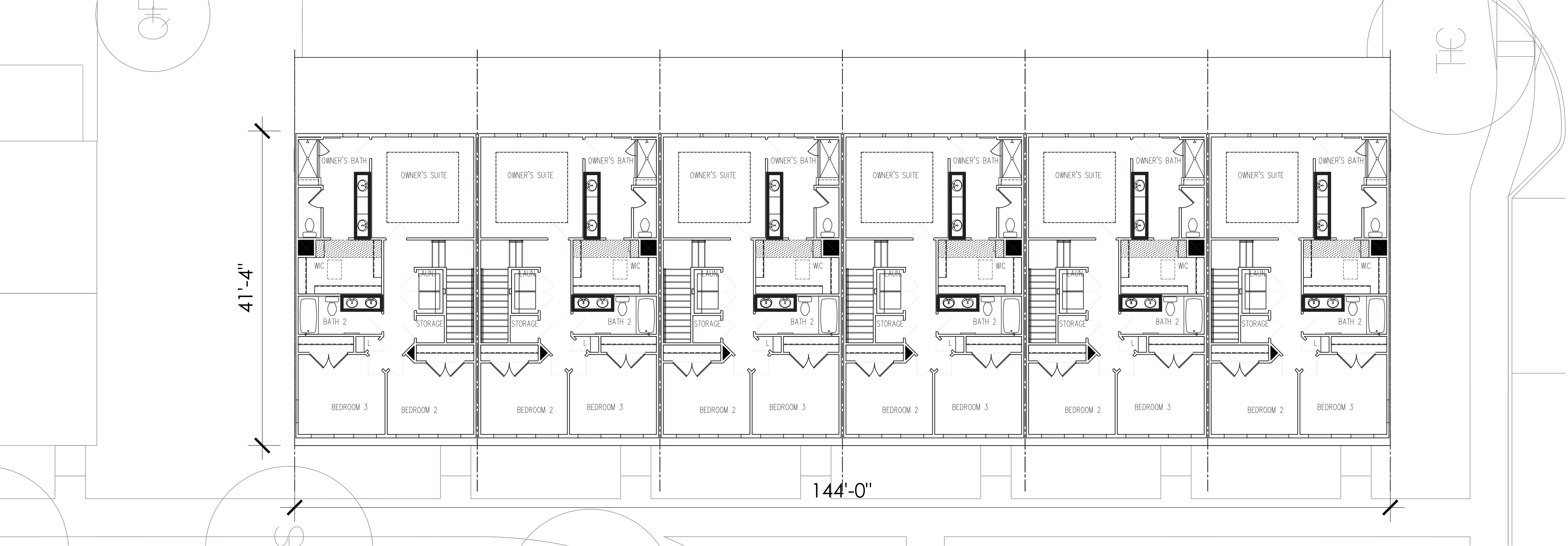
01 - 6 UNIT (24' TOWNHOMES) - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

PREPARED BY:  
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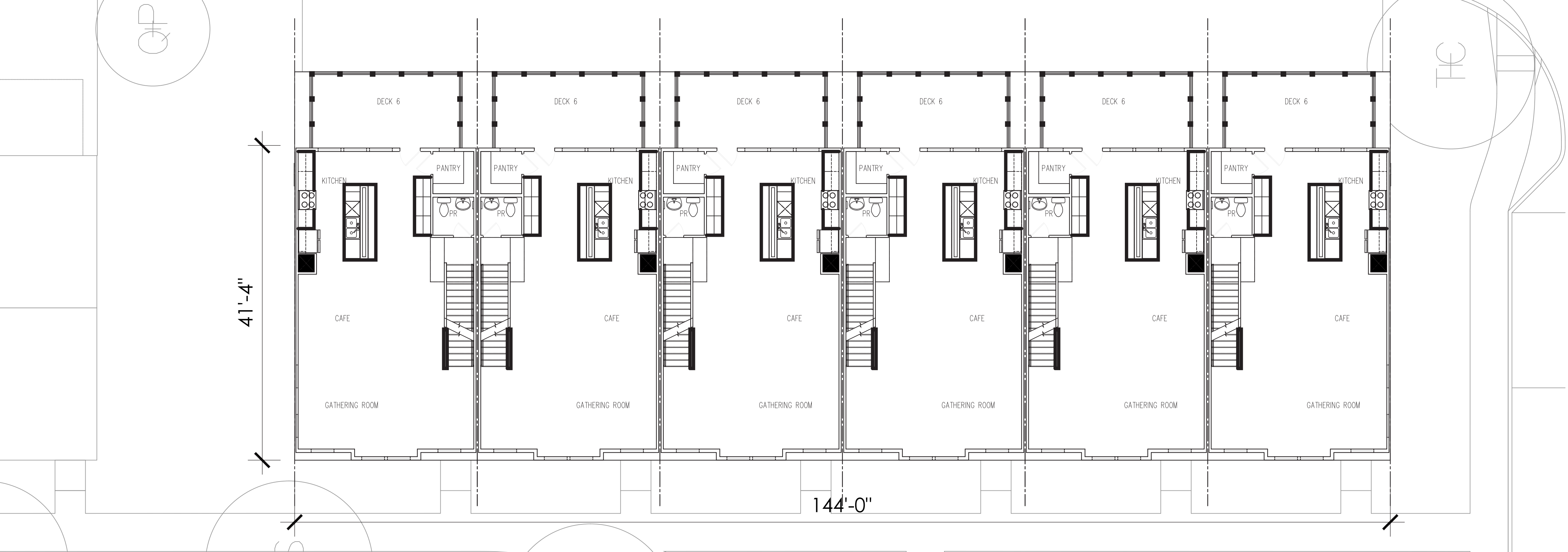
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BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1  
PREPARED FOR:  
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'



02 - 6 UNIT (24' TOWNHOMES) - THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - 6 UNIT (24' TOWNHOMES) - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

PREPARED BY:  
**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
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**PRINCETON NURSERIES**  
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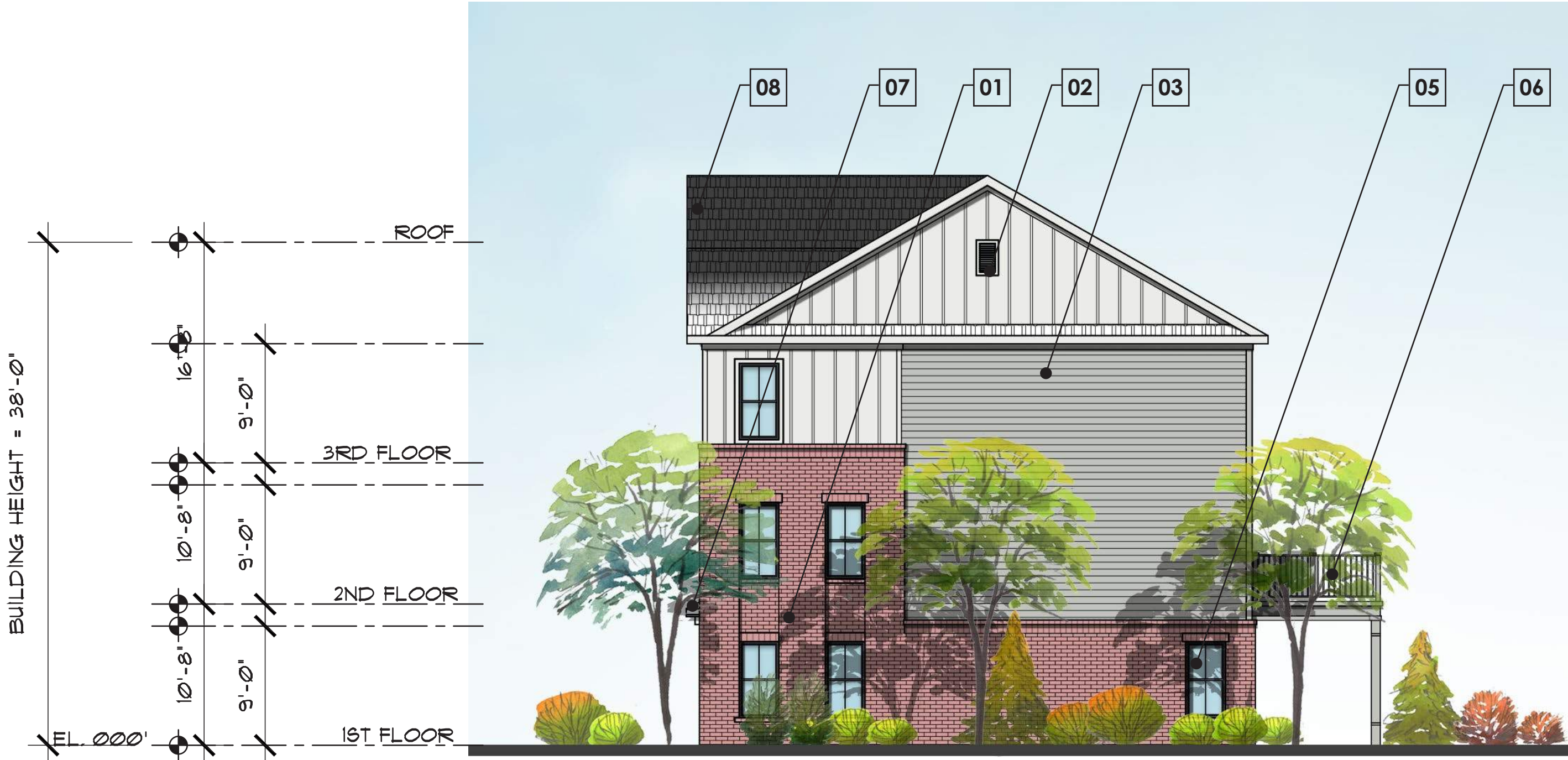
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-29**

24' TH BUILDING PLAN

6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'

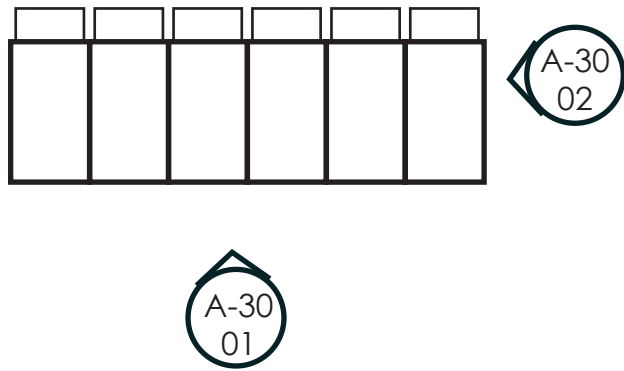


02 - 24' TRADITIONAL TH REAR LOADED - TYPICAL LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - 24' TRADITIONAL TH REAR LOADED - TYPICAL TH REAR LOADED - TYPICAL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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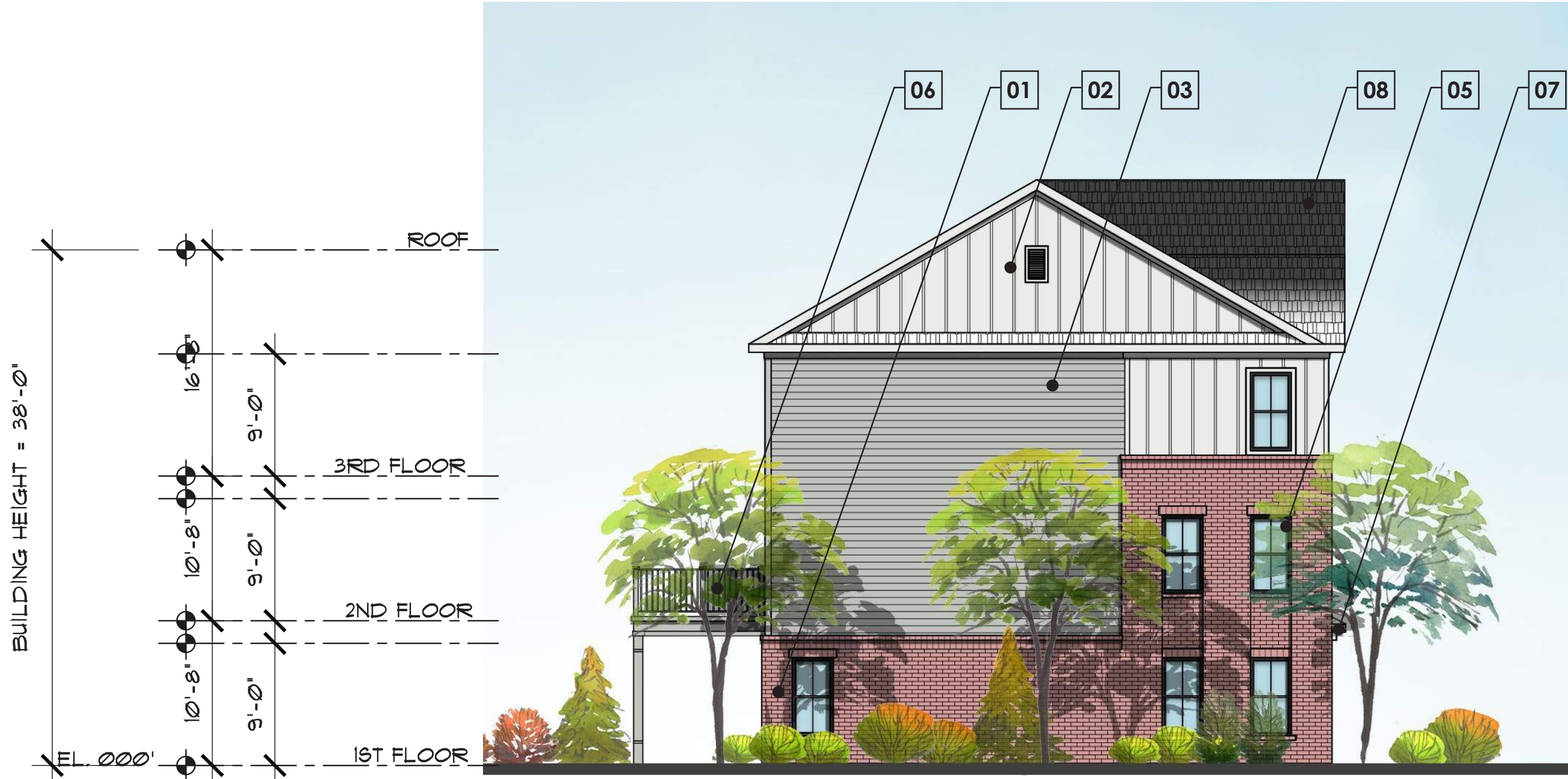
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

6 UNIT TRADITIONAL TOWNHOME BUILDING - 24'

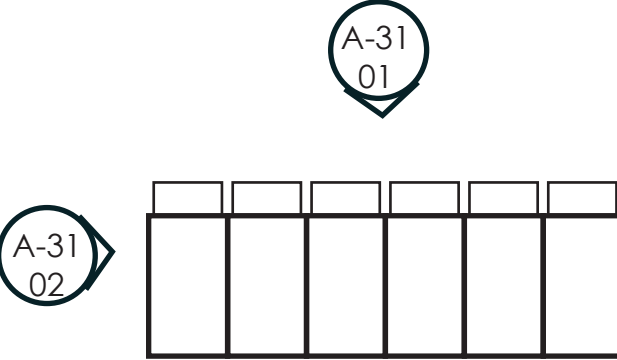


02 - 24' TRADITIONAL TH REAR LOADED - TYPICAL RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - 24' TRADITIONAL TH REAR LOADED - TYPICAL REAR ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
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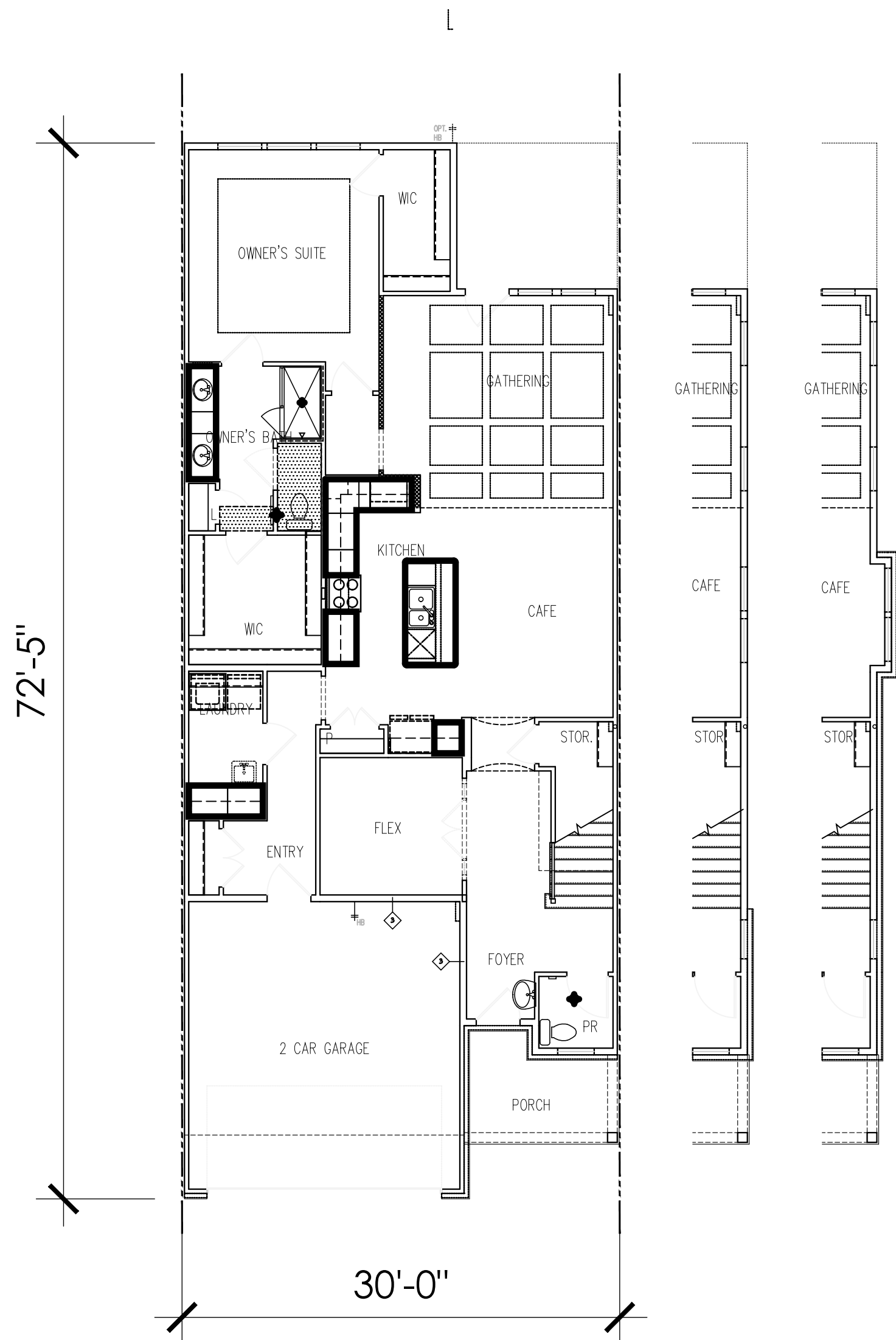
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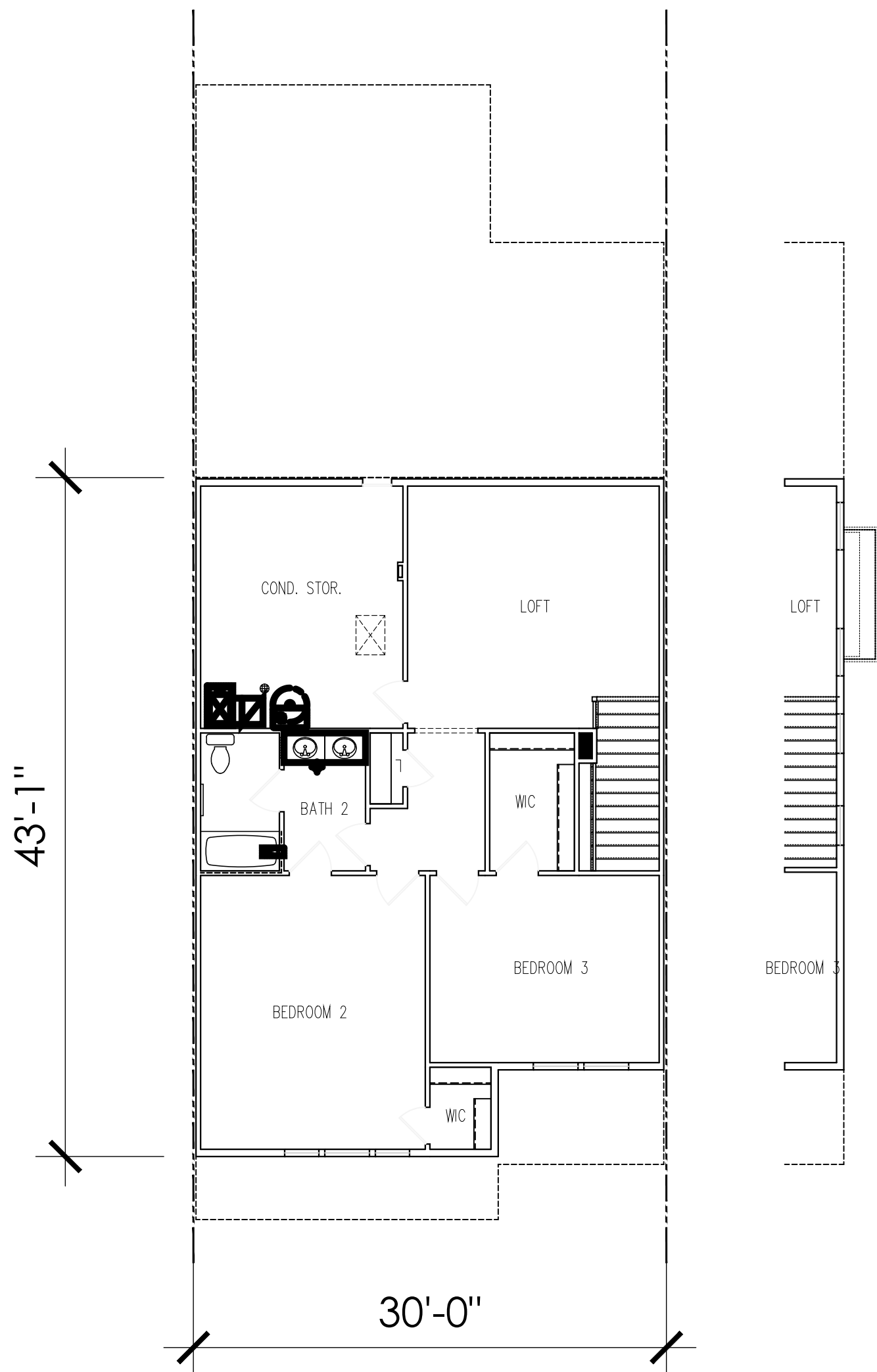
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-31**  
24' TH ELEVATIONS

MARKET RATE 30'-0" TRADITIONAL TOWNHOME LAYOUT



01 - GROUND FLOOR PLAN & EDGE CONDITION  
SCALE: 1/8" = 1'-0"



02 - SECOND FLOOR PLAN & EDGE CONDITION  
SCALE: 1/8" = 1'-0"

SITE NOTES:

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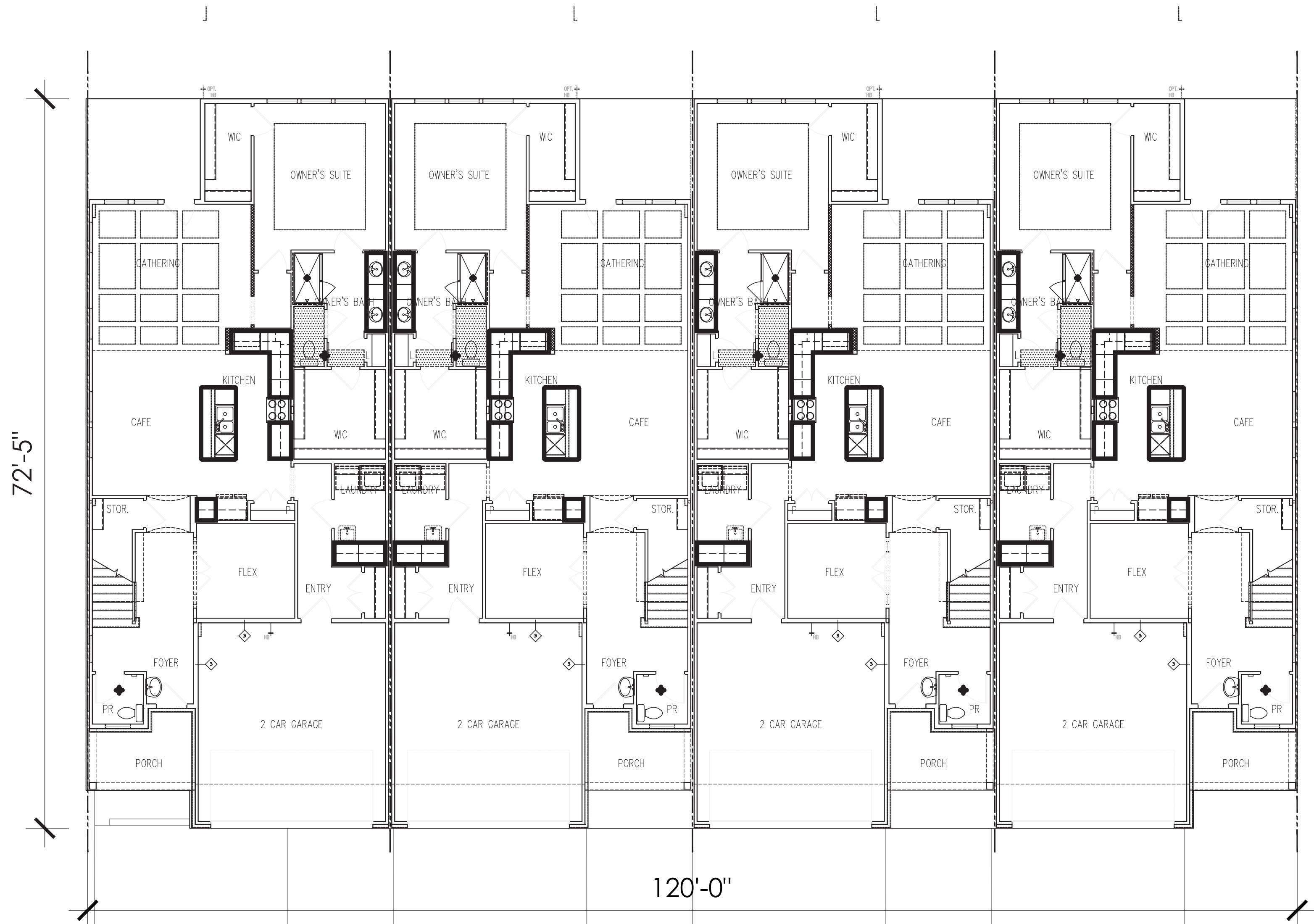
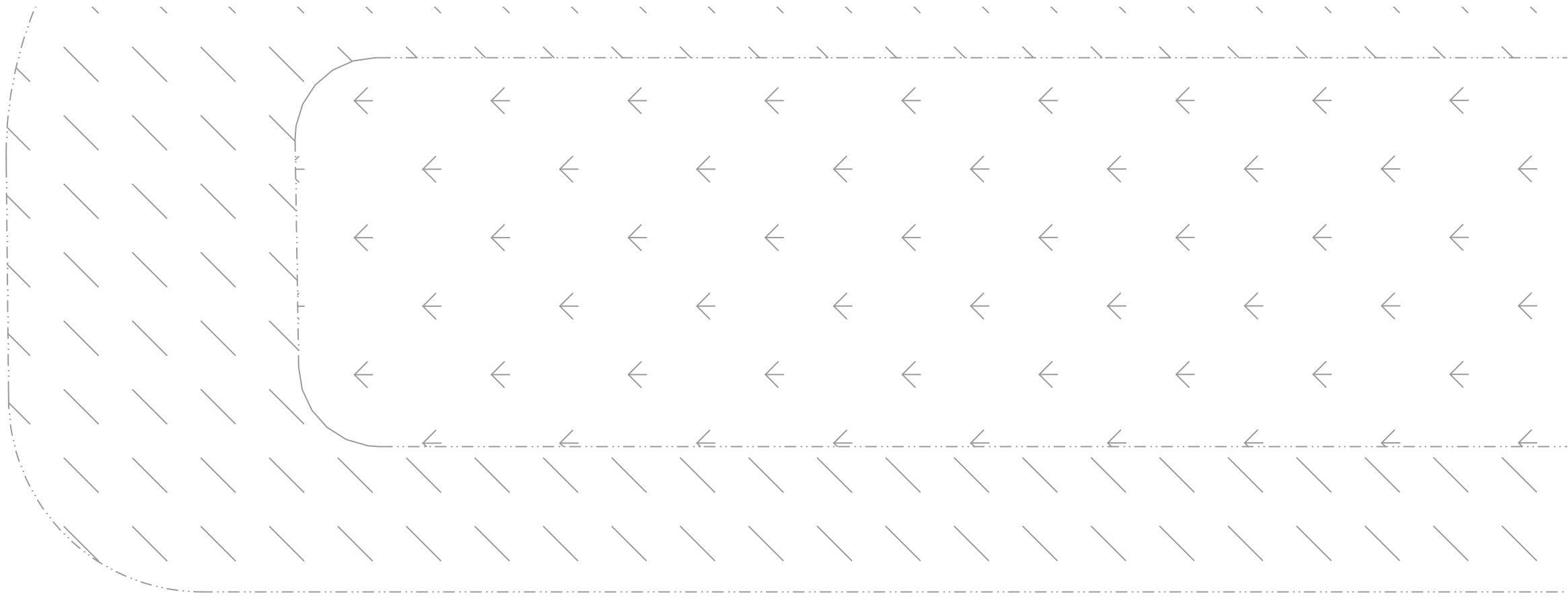
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-32**

30' TH BUILDING PLAN

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4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN



01 - 4 UNIT (30' TOWNHOMES) - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PREPARED BY:  
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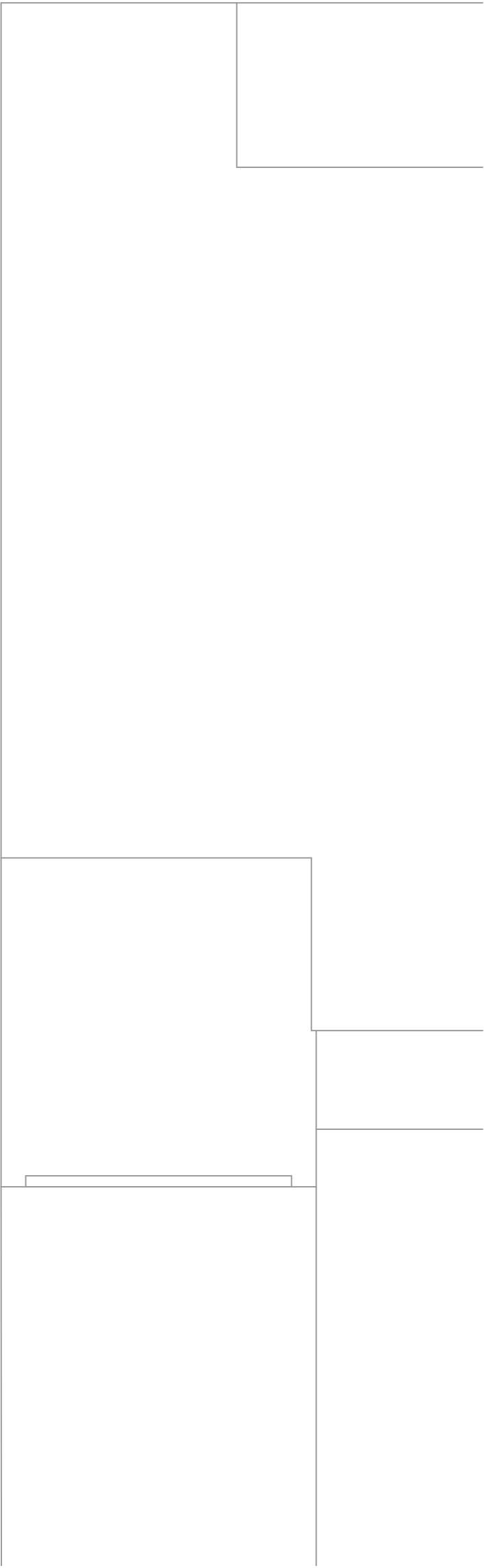
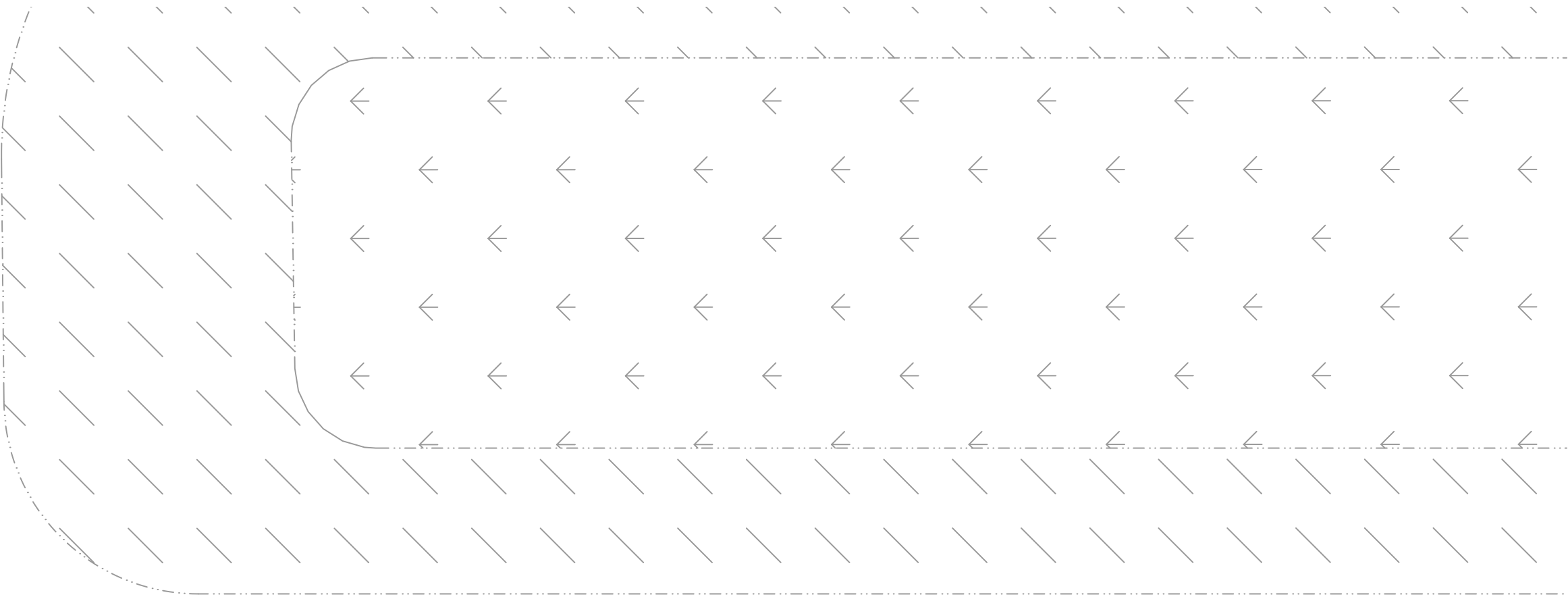
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN



01 - 4 UNIT (30' TOWNHOMES) - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PREPARED BY:  
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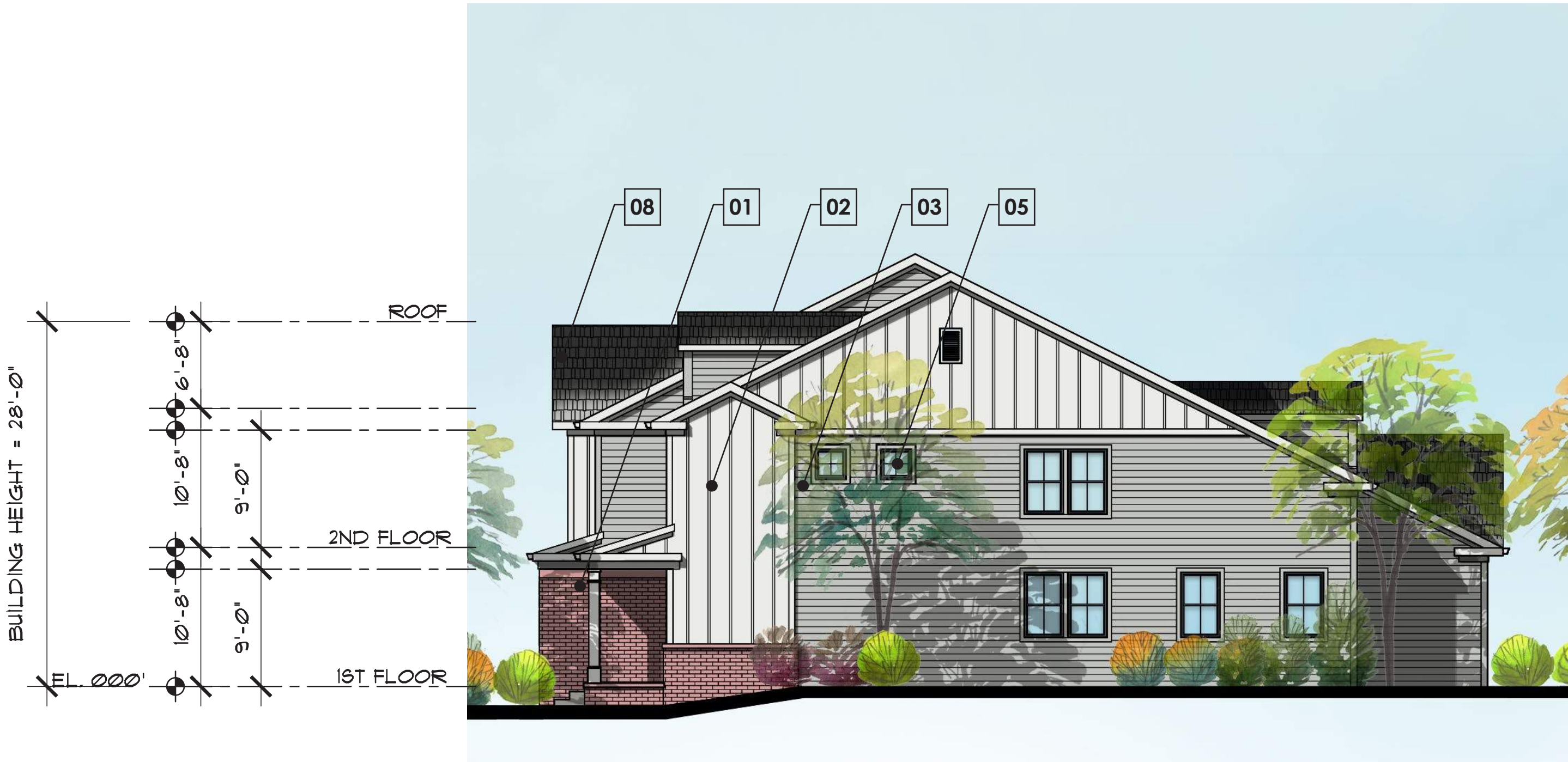
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-34**

30' TH BUILDING PLAN

4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN

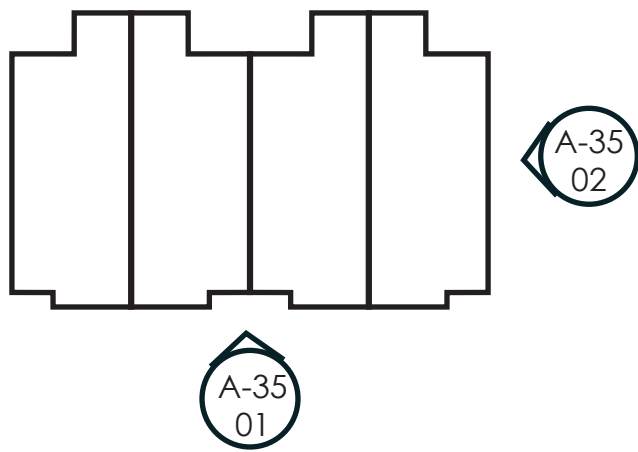


02 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL RIGHT SIDE ELEVATION  
SCALE: 1/16" = 1'-0"  
0 4' 8' 16'



01 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SIGNAGE SHOWN FOR ZONING COMPLIANCE AND APPROVAL ONLY. TEXT MAY CHANGE BASED ON FINAL BRANDING OF THE BUILDING.

PREPARED BY:

MINNO WASKO

ARCHITECTS AND PLANNERS

80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM  
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

ISSUE:	
DATE:	FOR:
07-19-2024	PRELIM + FINAL SITE PLAN
09-27-2024	PRELIM + FINAL SITE PLAN REV 1
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04-18-2025	PRELIM + FINAL SITE PLAN REV 3
05-22-2025	PRELIM + FINAL SITE PLAN REV 4

4 UNIT TRADITIONAL TOWNHOME BUILDING - 30' MASTER DOWN



02 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL LEFT SIDE ELEVATION

SCALE: 1/16" = 1'-0"

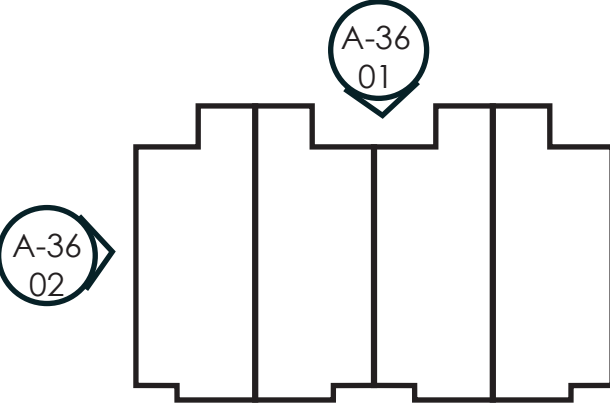


01 - 30' MASTER DOWN TH FRONT LOADED - TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 VINYL WINDOW
- 06 ARCHITECTURAL METAL RAILING
- 07 ARCHITECTURAL METAL ROOF
- 08 ARCHITECTURAL ASPHALT SHINGLES
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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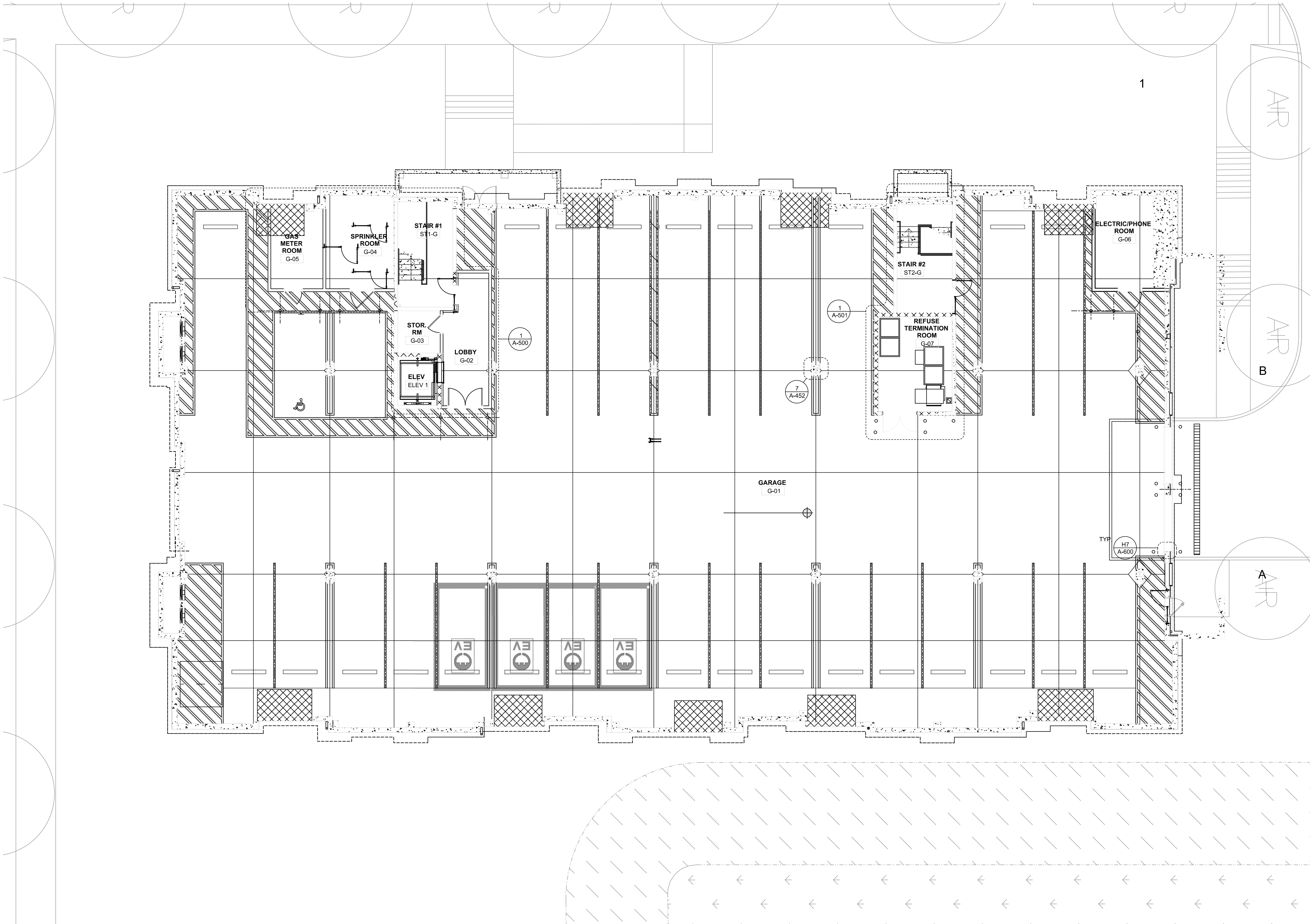
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PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4

**A-36**

30' TH ELEVATIONS



01 - BASEMENT GARAGE FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 8' 16' 24'

#### PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

#### SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
3. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR SITE DETAILS, CONDITIONS, AND LANDSCAPING DETAILS.

#### REFUSE/RECYCLING:

COMPACTOR IS HYDRAULICALLY OPERATED EXTRUDER-TYPE UNIT. SOLID WASTE WILL BE DELIVERED TO UNIT VIA MULTI-STORY TRASH CHUTE WITH OPENINGS ON EACH RESIDENTIAL FLOOR. COMPACTED REFUSE WILL BE EXTRUDED INTO CONTINUOUS PLASTIC TUBING OR INDIVIDUAL PLASTIC BAGS, WHICH WILL BE STORED IN TRASH COMPACTOR ROOM UNTIL PRIVATE HAULER PICKUP. AT PICKUP TIMES, BUILDING MANAGEMENT WILL WHEEL CONTAINERS TO LOADING AREA FOR PICKUP BY PRIVATE HAULER. YARD STORAGE CONTAINERS WILL BE PROVIDED.

RECYCLING BINS WILL BE LOCATED ON EACH FLOOR AND WILL BE COLLECTED BY BUILDING MANAGEMENT AND STORED IN REFUSE/RECYCLING TERMINATION ROOM UNTIL PRIVATE HAULER PICKUP. AT PICKUP TIMES, BUILDING MANAGEMENT WILL WHEEL CONTAINERS TO LOADING AREA FOR PICKUP BY PRIVATE HAULER. YARD STORAGE CONTAINERS WILL BE PROVIDED.

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#### PRINCETON NURSERIES

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BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

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05-22-2025	PRELIM + FINAL SITE PLAN REV 4



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MULTIFAMILY FLAT BUILDING PLAN

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**TOTAL PROPOSED GARAGE PARKING:** XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL  
PROPOSED PARKING/ SHARED PARKING ANALYSIS

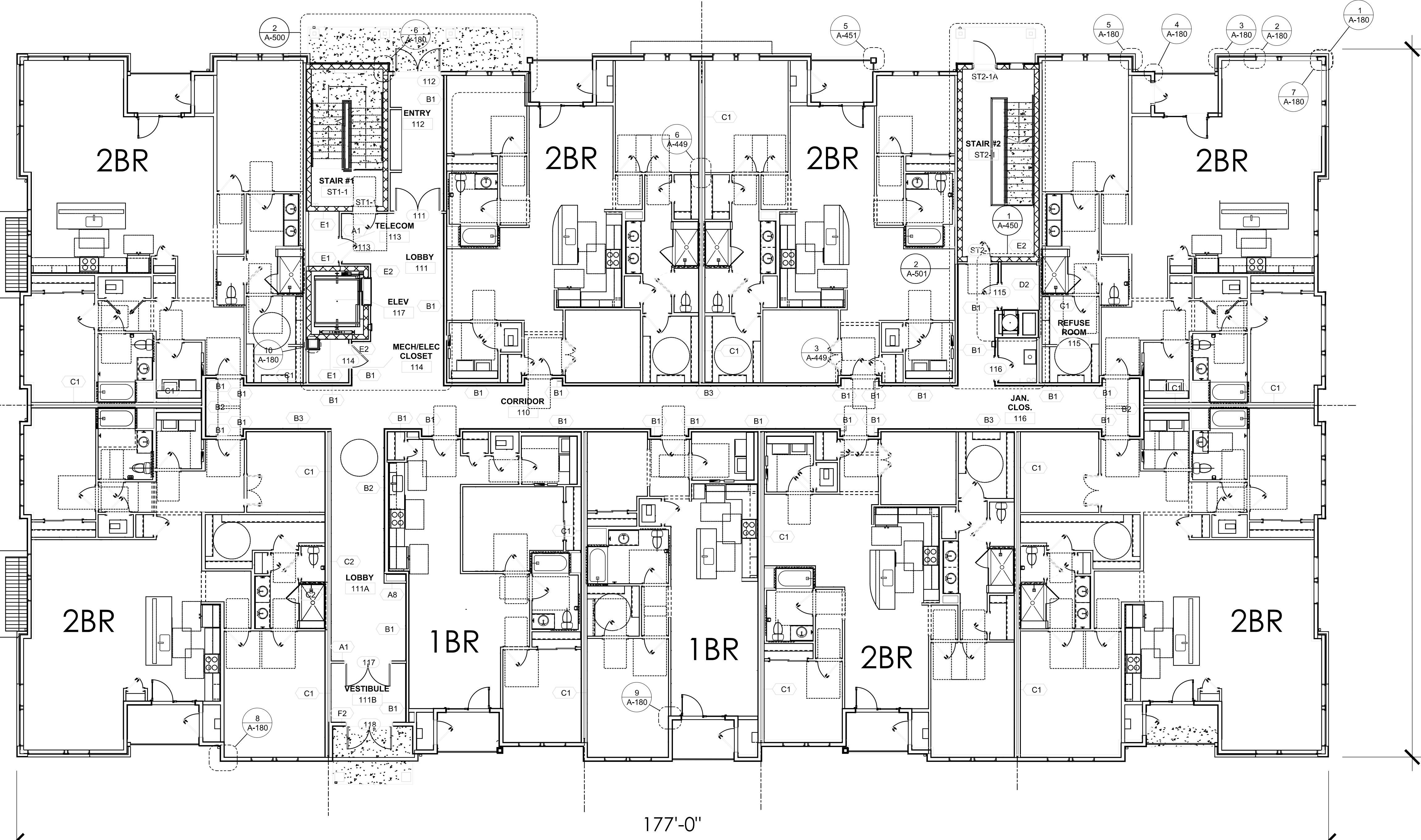
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SCALE: 1/8" = 1'-0"

0                      8'                      16'                      24'



**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
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200 GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

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BLOCK 102, LOTS 5 + 6  
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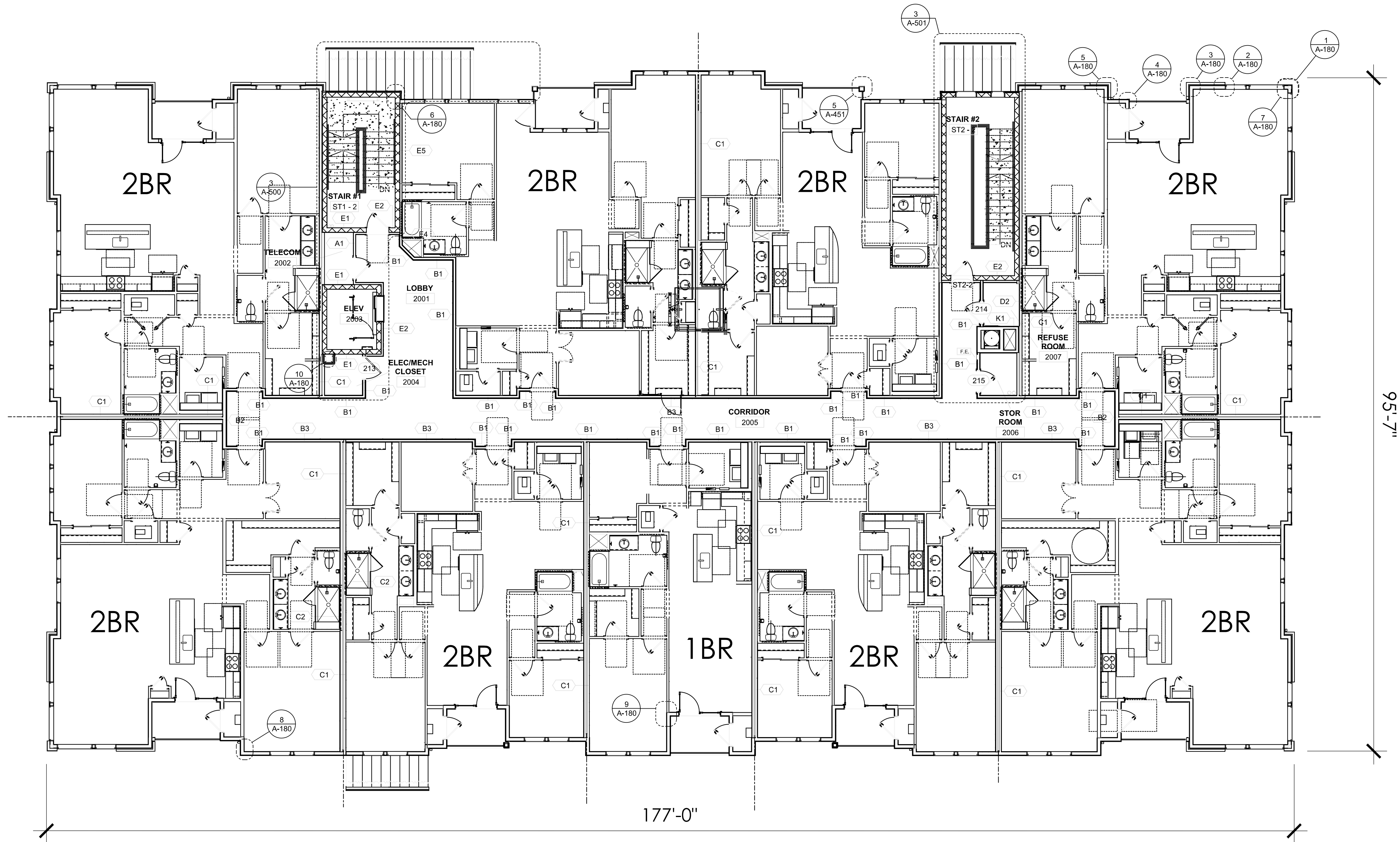
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4



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01 - SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 8' 16' 24'

### PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

### SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
2. REFER TO CIVIL DRAWINGS FOR ALL STORM WATER RUNOFF AND RETENTION INFORMATION.
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TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

### PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

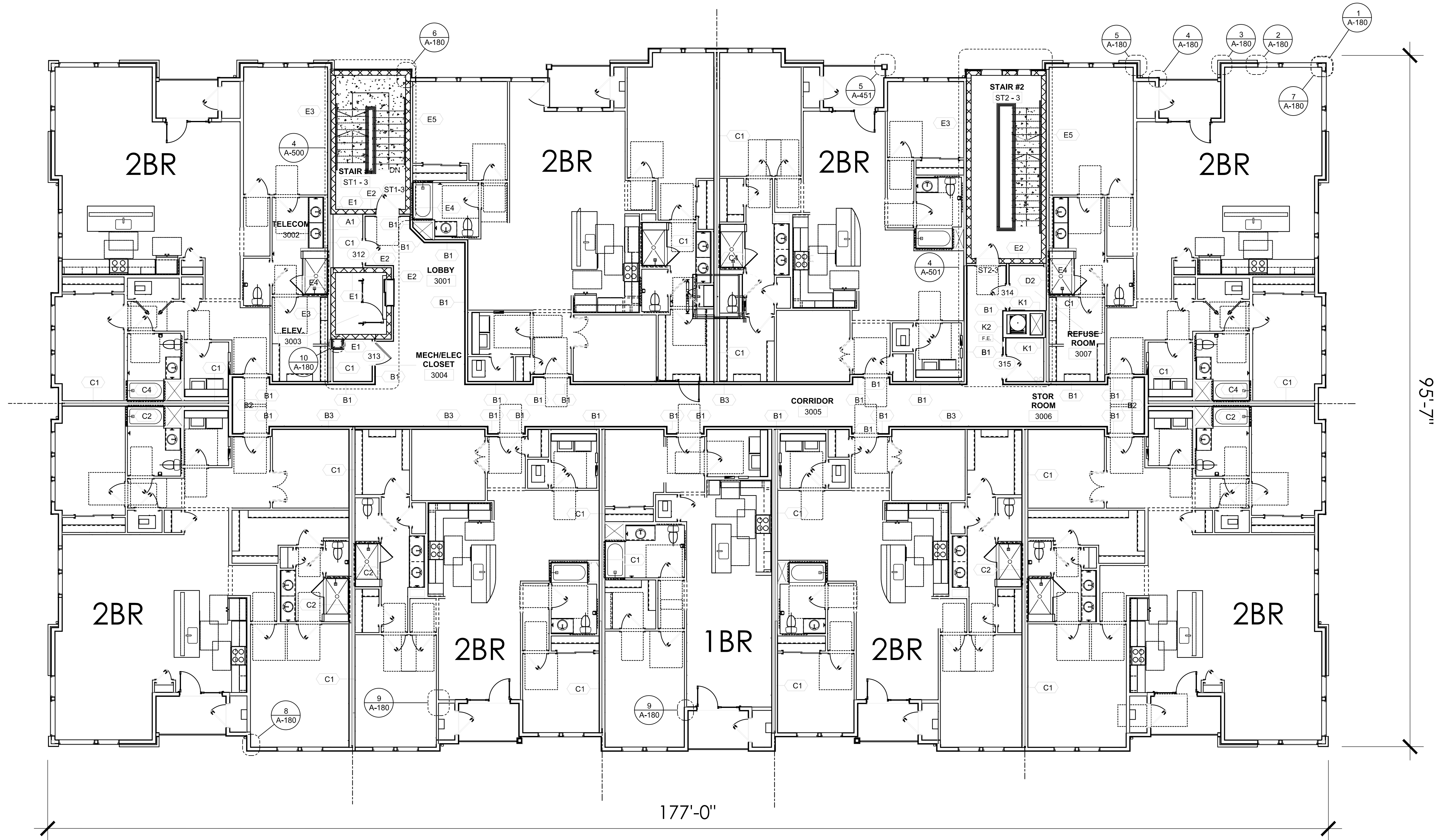
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05-22-2025	PRELIM + FINAL SITE PLAN REV 4



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MULTIFAMILY FLAT BUILDING PLAN

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01 - TYPICAL THIRD & FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
0 8' 16' 24'

#### PARKING CALCULATIONS:

TOTAL PROPOSED GARAGE PARKING: XX SPACES

REFER TO CIVIL DRAWINGS/ TRAFFIC ANALYSIS FOR TOTAL PROPOSED PARKING/ SHARED PARKING ANALYSIS

#### SITE NOTES:

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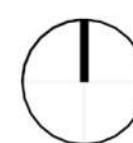
PREPARED BY:  
**MINNO WASKO**  
ARCHITECTS AND PLANNERS  
80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530  
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

#### PRINCETON NURSERIES

PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY  
BLOCK 102, LOTS 5 + 6  
BLOCK 106, LOT 1

PREPARED FOR:  
WRV NURSERIES PLAINSBORO OWNER, LLC

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# A-40

MULTIFAMILY FLAT BUILDING PLAN

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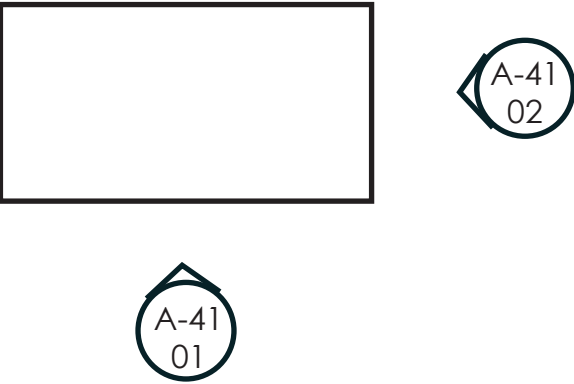


02 - MULTIFAMILY FLATS - TYPICAL LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



01 - MULTIFAMILY FLATS - TYPICAL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 FIBER CEMENT PANEL 04
- 06 VINYL WINDOW
- 07 METAL RAILING
- 08 ARCHITECTURAL METAL ROOF
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

LANDSCAPE BY OTHERS AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

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02 - MULTIFAMILY FLATS - TYPICAL RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

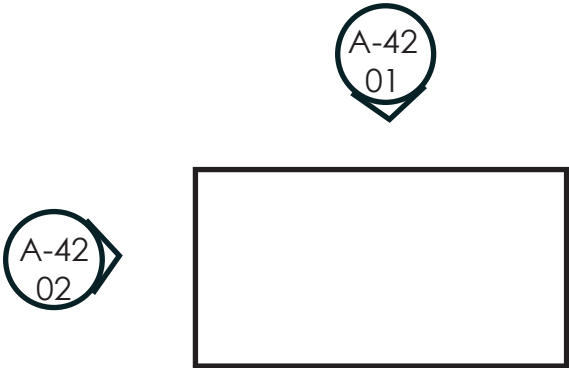


01 - MULTIFAMILY FLATS - REAR ELEVATION

SCALE: 1/8" = 1'-0"



KEY PLAN:



MATERIALS KEY:

- 01 BRICK 1
- 02 FIBER CEMENT PANEL 01
- 03 FIBER CEMENT PANEL 02
- 04 FIBER CEMENT PANEL 03
- 05 FIBER CEMENT PANEL 04
- 06 VINYL WINDOW
- 07 METAL RAILING
- 08 ARCHITECTURAL METAL ROOF
- 09 ARCHITECTURAL GARAGE DOOR

NOTES:

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PRINCETON NURSERIES

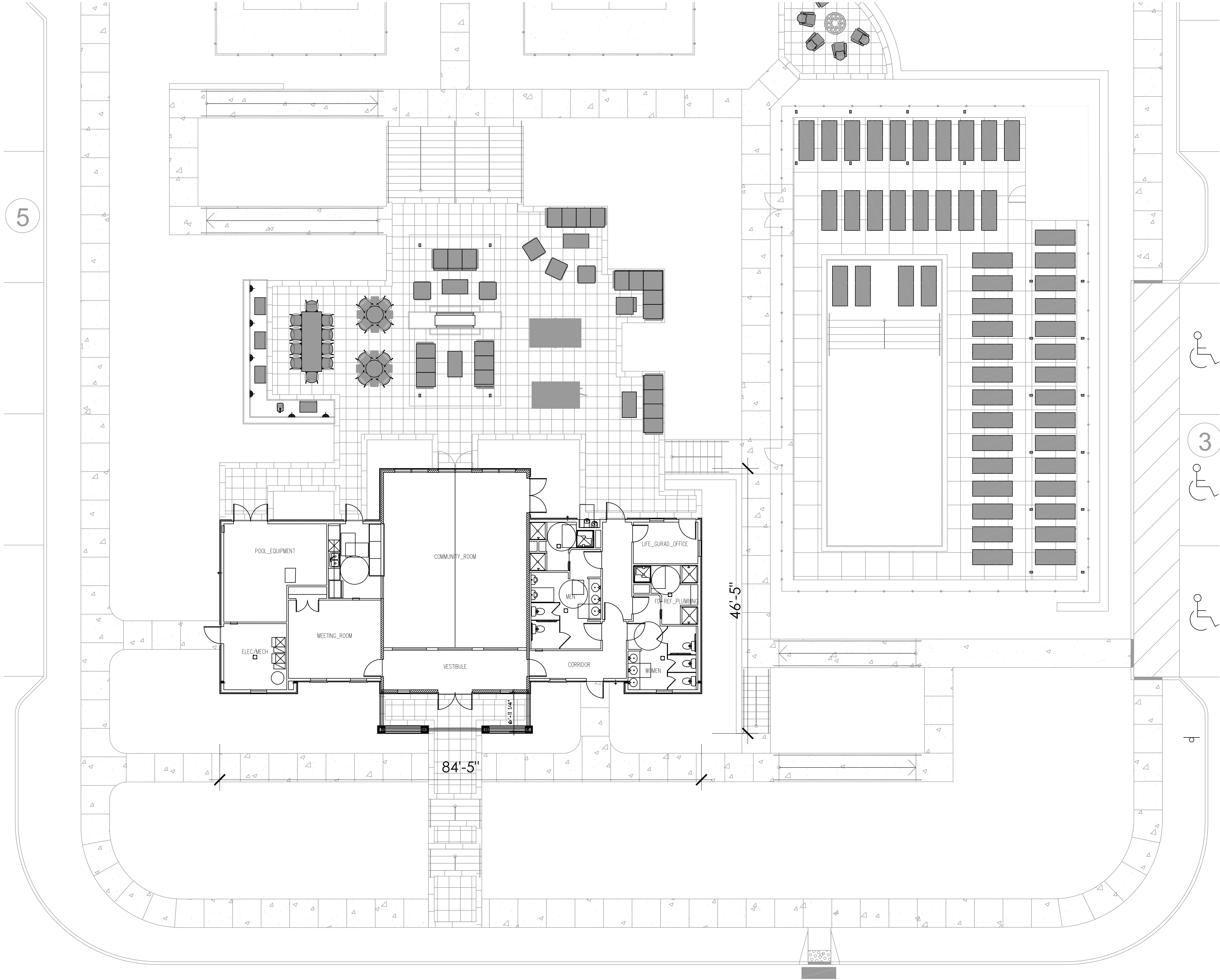
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BLOCK 102, LOTS 5 + 6  
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MULTI-FAMILY FLAT ELEVATIONS



#### SITE NOTES:

1. REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND DETAILING.
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# A-43

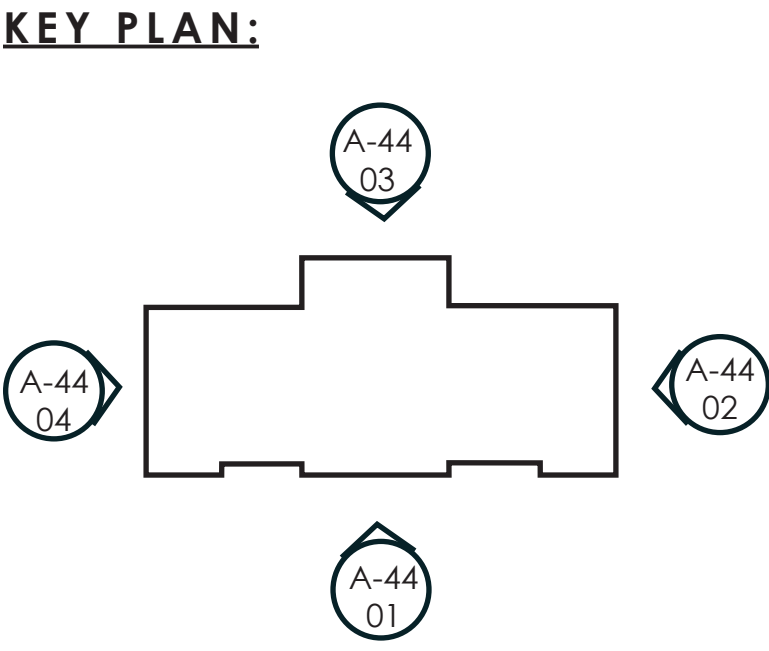
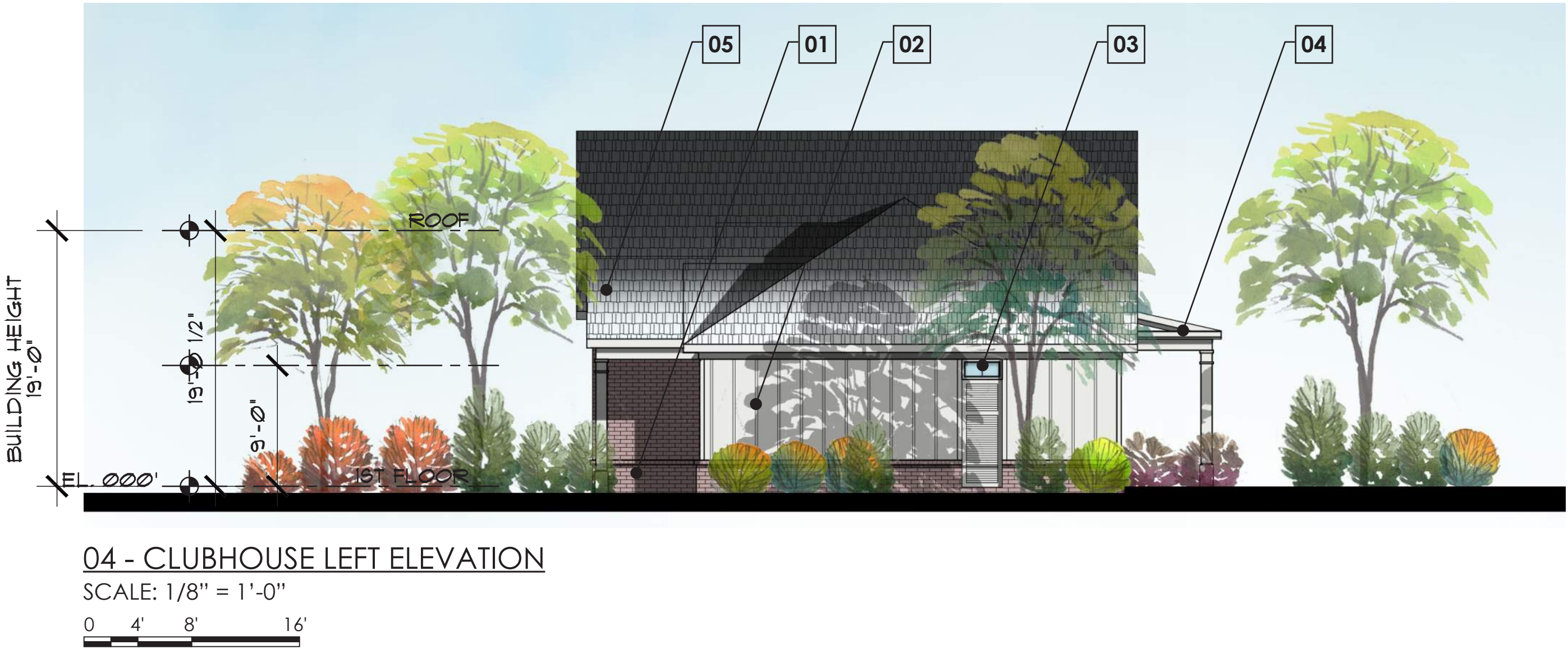
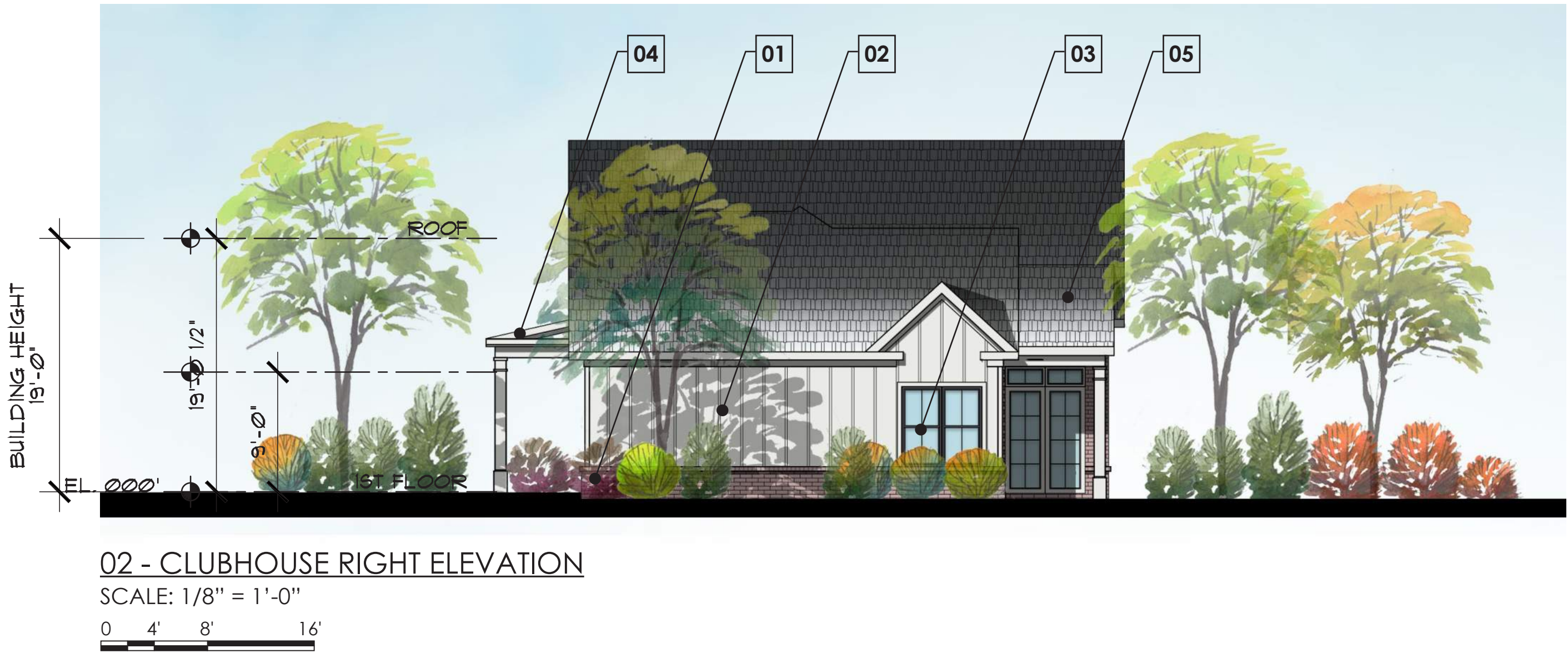
CLUBHOUSE BUILDING PLAN

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#### 01 - GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



- MATERIALS KEY:**
- 01 BRICK
  - 02 FIBER CEMENT PANEL
  - 03 VINYL WINDOW
  - 04 ARCHITECTURAL METAL ROOF
  - 05 ARCHITECTURAL ASPHALT SHINGLES

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